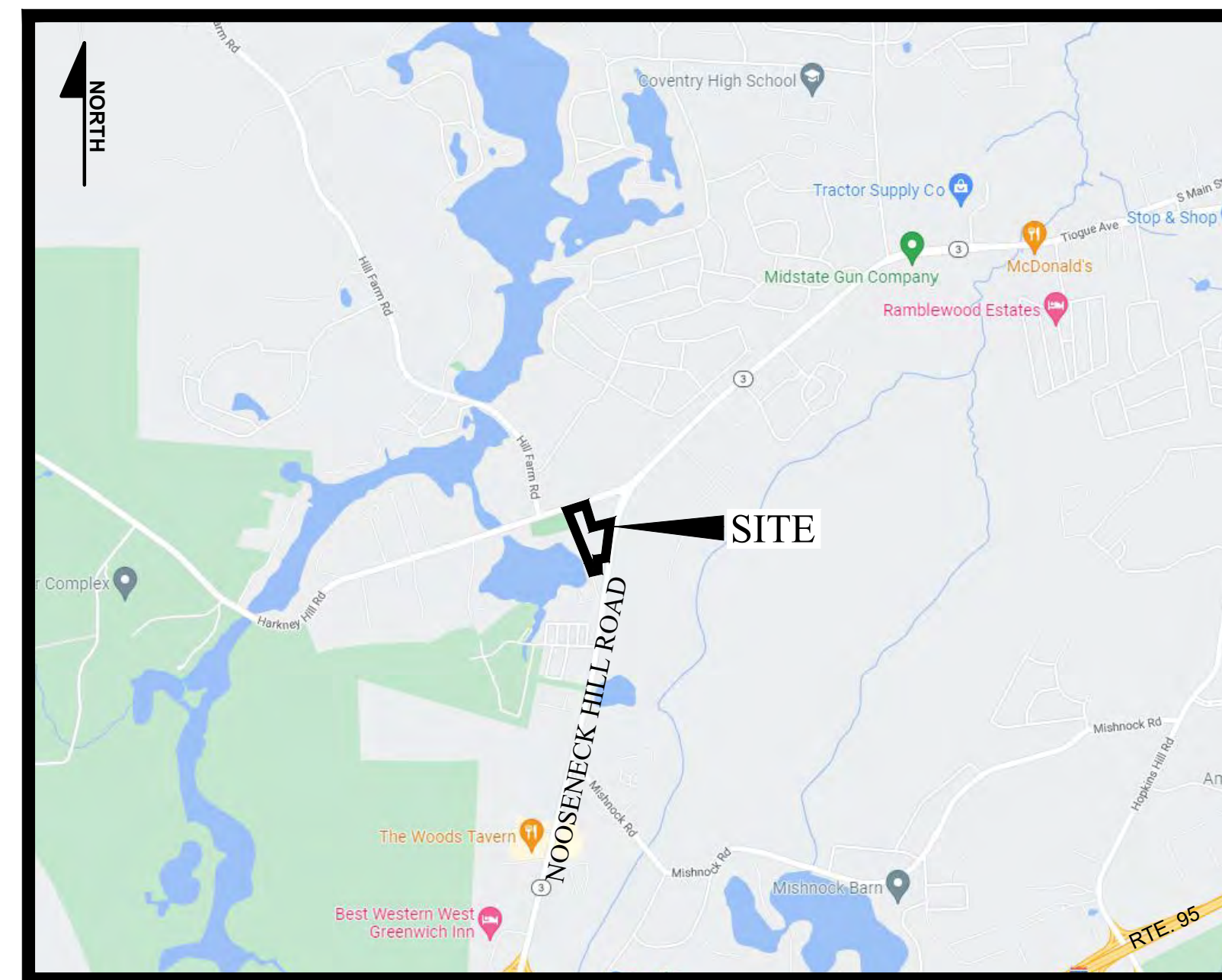


SITE PLANS  
FOR  
**PROSCAPE LANDSCAPING**  
2043 MAPLE ROOT ROAD  
COVENTRY RI 02816  
(A.P.10, LOT 40.11)



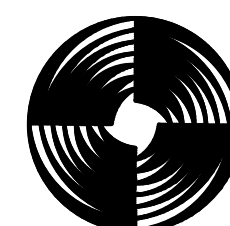
LOCUS MAP  
NOT TO SCALE

OWNER:  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH RI 02818

APPLICANT:  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH RI 02818

LEGAL COUNSEL:  
STEVEN A. MORETTI, ESQ.  
1140 RESERVOIR AVE  
CRANSTON RI 02920

PREPARED BY:



**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS SURVEYORS  
LAND PLANNERS ENVIRONMENTAL SCIENTISTS  
P.O. BOX 6145 PROVIDENCE, R.I. 02940  
1-401-273-6000

JOB NO. 6459-01

DATE: JUNE 12, 2023  
(REV: NOVEMBER 8, 2024)

SHEET INDEX

SHEET	PLAN TITLE	LATEST REVISION
-	COVER SHEET	08-18-23
G-1	VICINITY MAP	-
G-2	AERIAL PLAN	-
C-1	DEMOLITION PLAN	-
C-2	GENERAL NOTES & LEGEND	-
C-3	SITE LAYOUT PLAN	12-20-23
C-4	GRADING & UTILITY PLAN	11-08-24
C-5	SOIL EROSION & SEDIMENT CONTROL PLAN	11-08-24
C-6	CONSTRUCTION DETAILS - 1	06-20-23
C-7	CONSTRUCTION DETAILS - 2	11-17-23
ECS	EXISTING CONDITIONS SURVEY	-
R1	500' RADIUS MAP	08-18-23
1	LANDSCAPE DIAGRAM	11-08-24

TOWN OF COVENTRY, RHODE ISLAND  
RECEIVED FOR RECORD

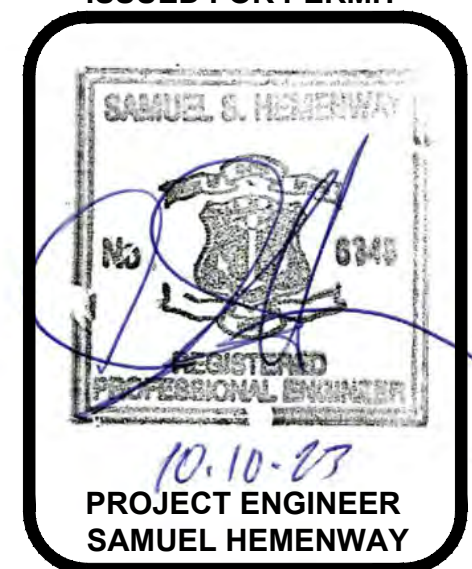
PLANNING COMMISSION CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING COMMISSION SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAN HAS BEEN REVIEW BY THE ADMINISTRATIVE OFFICER AND IS ACCEPTABLE FOR  
RECORDING. THIS REVIEW DOES NOT ENDORSE OR VERIFY THE ACCURACY OF THE SURVEY PLAN.

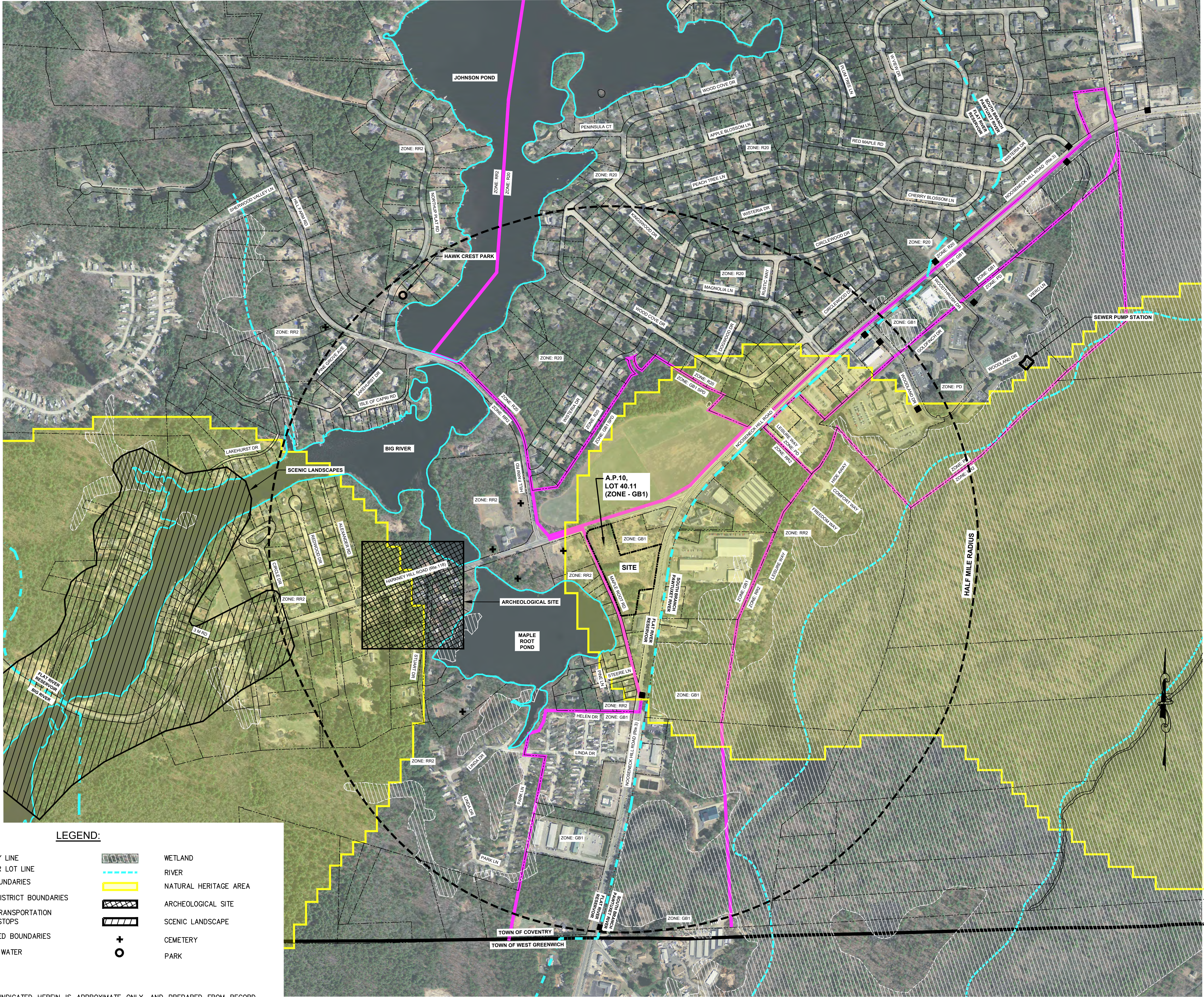
ADMINISTRATIVE OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

ISSUED FOR PERMIT



1 OF 10 SHEETS





LEGEND:			
	PROPERTY LINE		WETLAND
	ASSESSOR LOT LINE		RIVER
	TOWN BOUNDARIES		NATURAL HERITAGE AREA
	ZONING DISTRICT BOUNDARIES		ARCHEOLOGICAL SITE
	PUBLIC TRANSPORTATION ROUTE/ STOPS		SCENIC LANDSCAPE
	WATERSHED BOUNDARIES		CEMETERY
	SURFACE WATER		PARK

- SHEET NOTES:**
1. THE EXISTING CONDITIONS INDICATED HEREIN IS APPROXIMATE ONLY, AND PREPARED FROM RECORD PLANS AND GIS INFORMATION ONLY.
  2. THERE ARE NO SCHOOLS, FIRE/POLICE STATIONS, AND OTHER SIGNIFICANT PUBLIC FACILITIES WITHIN HALF MILE RADIUS OF THE SITE. THE SITE IS LOCATED WITHIN PRIME AGRICULTURAL SOIL AND GROUNDWATER PROTECTION AREA.

VICINITY MAP  
FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE

PROJECT ENGINEER  
SAMUEL HEMENWAY

**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates, Inc.  
These drawings are the property of  
the engineer/surveyor and have been  
prepared for the owner's use only.  
No part of this drawing is to be  
used for any other purpose,  
location or owner without written  
consent of the owner or one of its  
directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 6459-01	DRAWN BY K.Y.Y.
DWG. NO. 6459-01_DPR_Vicinity & Aerial Map	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JUNE 12, 2023	

SHEET

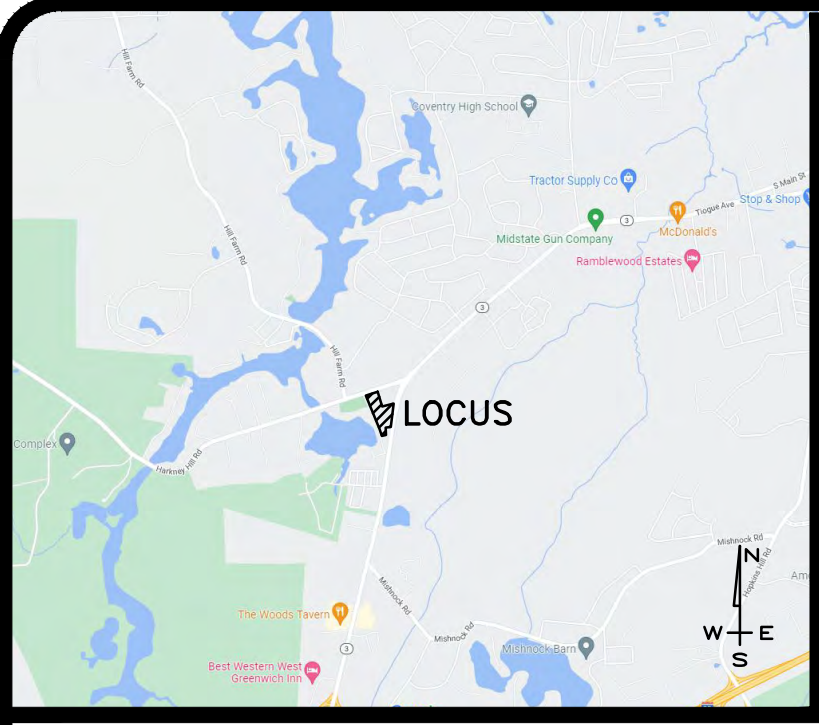
**G-1**

2 OF 10 SHEETS

1" = 400' 0 200 400 800 1600 2400 feet



L:\6459-01 Proscap - Maple Root Rd - Coventry, RI\dwg\01-Current\DPR\_Plan\6459-01\_DPR\_Vicinity & Aerial Map.dwg 11/17/2023 koruda 09:44



LOCUS MAP  
N.T.S.



1" = 200' 0 100 200 400 800 1200 feet

AERIAL PLAN  
FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE

PROJECT ENGINEER  
SAMUEL HEMENWAY

**GAROFALO**

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

Garofalo & Associates ©  
These drawings are the property of  
the engineer/surveyor and have been  
prepared for the owner's use only.  
No part of this drawing is to be  
used for any other purpose,  
location or owner without written  
consent of the owner or one of its  
directors.

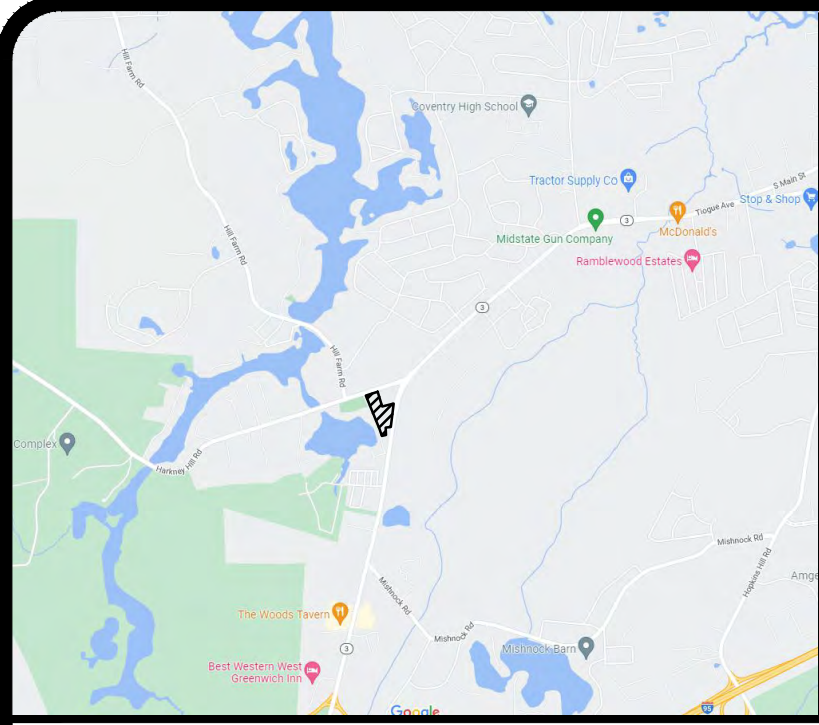
JOB NO. 6459-01	DRAWN BY K.J.A.
DWG. NO. 6459-01_DPR_Vicinity & Aerial Map	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JUNE 12, 2023	

SHEET

**G-2**

3 OF 10 SHEETS

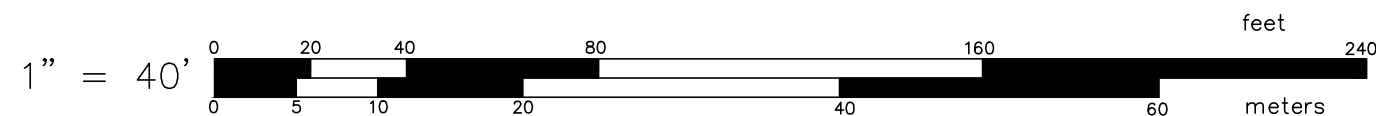
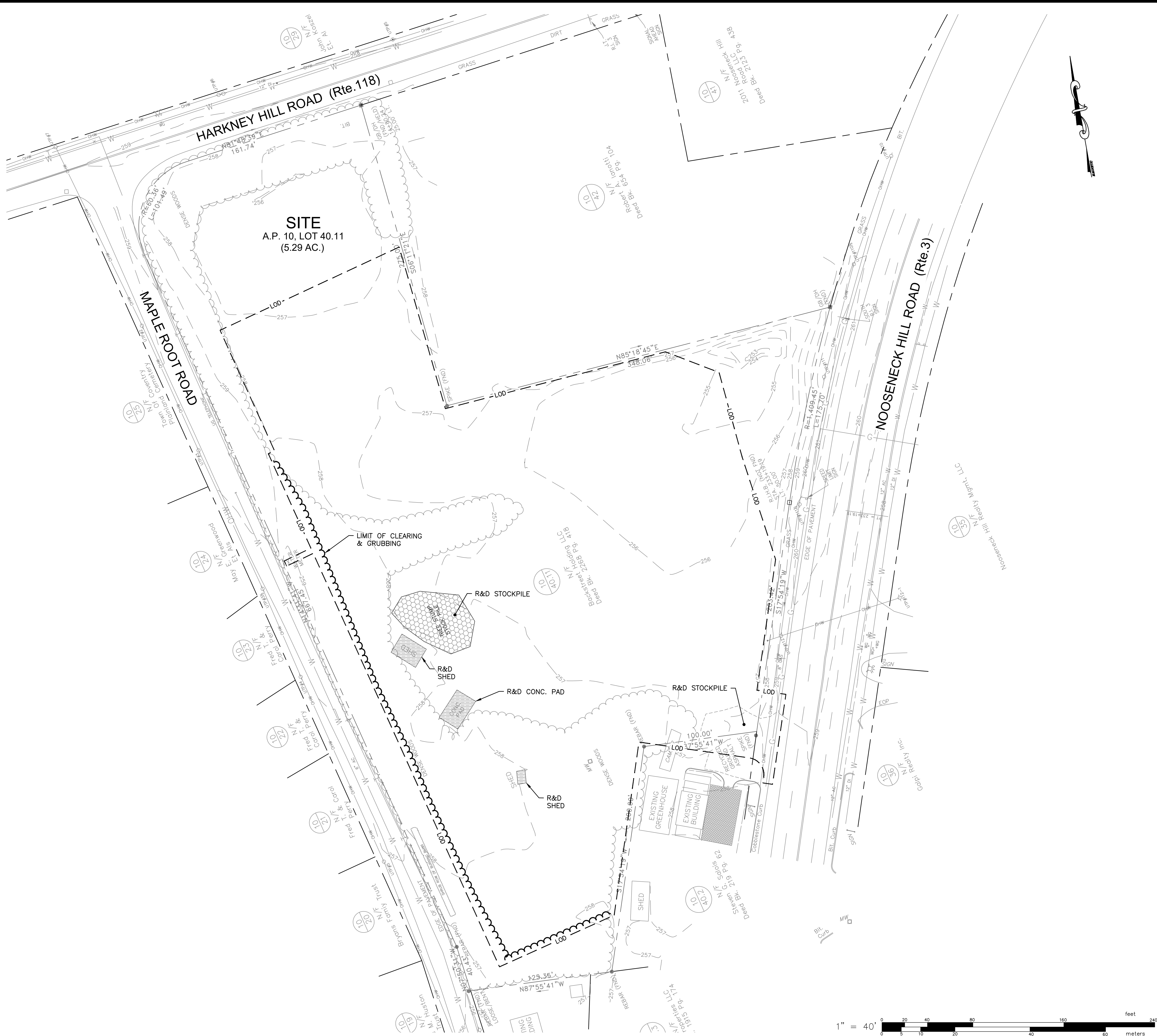




LOCUS MAP  
N.T.S.

SITE DEMOLITION LEGEND

- R&D REMOVE & DISPOSE  
R&R REMOVE & RELOCATE  
R&S REMOVE & SALVAGE  
X REMOVE & DISPOSE SITE FEATURE  
O TREE PROTECTION  
INLET PROTECTION  
REMOVE & DISPOSE LINEAR FEATURE (SEE NOTE 5)  
PAVEMENT/SIDEWALK TO BE REMOVED



**GAROFALO**

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

Garofalo & Associates, Inc.  
These drawings are the property of the engineer/surveyor and have been prepared for the specific project of this site and are not to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

PROJECT ENGINEER  
SAMUEL HEMENWAY

DEMOLITION PLAN

FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)

SITUATED AT  
2043 MAPLE ROOT ROAD

COVENTRY, RI

PREPARED FOR  
BACKSTREET HOLDINGS

910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE

JOB NO. 6459-01	DRAWN BY K.J.A.
DWG. NO. 6459-01_DPR_PLANS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JUNE 12, 2023	

SHEET

**C-1**

4 OF 10 SHEETS



GENERAL CONSTRUCTION NOTES:

1.

AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2.

SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS FROM THE TOWN OF COVENTRY HAVE BEEN SECURED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS OBTAINED FOR ALL SITE WORK.
3.

ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINE (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
4.

THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
5.

THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
6.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
7.

THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
8.

METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE TOWN OF COVENTRY AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION WITH ALL REVISIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
9.

THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
10.

THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT. SITE CONDITIONS THROUGHOUT CONSTRUCTION INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
11.

ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
12.

AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
13.

NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
14.

HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
15.

ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
16.

ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
17.

REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION, AND FOR SITework WITHIN 5'-0" OF BUILDING. .
18.

ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
19.

PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
20.

WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
21.

SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
22.

IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
23.

ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION (AMENDED MARCH 2018) WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS.
24.

ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION, INCLUDING ALL REVISIONS.
25.

ALL EXCAVATED BouldERS WHICH ARE TO BE USED AS COMMON BORROW ON SITE MUST BE CRUSHED/SPLIT LESS THAN 9" IN SIZE.
26.

ALL STUMPS SHALL BE REMOVED AND DISPOSED OFFSITE.

SURVEY REFERENCE :

1.

"EXISTING CONDITIONS PLAN FOR A.P. 10, LOT 40.11 SITUATED AT 2043 MAPLE ROOT ROAD, COVENTRY, RHODE ISLAND", PREPARED BY GAROFALO & ASSOCIATES, INC., DRAWING NO. 6459.01 ECS, DATED APRIL 19, 2007 (REVISED JUNE 2, 2023).

GENERAL UTILITY NOTES:

1.

THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2.

ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
3.

THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4.

BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5.

THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS, ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
6.

COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7.

ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
8.

IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
9.

STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H=20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS. ALL STORM PIPE ENTRY STRUCTURES SHALL BE GASKETED.
10.

WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE TOWN OF COVENTRY PUBLIC OR PRIVATE RIGHT OF WAYS, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT & WALKWAYS DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE TOWN OF COVENTRY AND STATE STANDARDS AND SPECIFICATIONS.
11.

DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY PROVIDENCE WATER. THE ONSITE WATER SYSTEM ON THE PROPERTY IS PRIVATE WATER PIPING AND SHALL BE (AWWA C901) DR9 POLYETHYLENE OR TYPE K COPPER FOR 2" SERVICES OR SMALLER, OR CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS FOR 4" SERVICES OR LARGER. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO PROVIDENCE WATER REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION.
12.

GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO PROVIDENCE WATER AND TOWN OF COVENTRY REGULATIONS, STANDARDS AND SPECIFICATIONS.
13.

ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
14.

ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE NBC REGULATIONS, STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE NBC AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO DISCHARGE TO THE PUBLIC SEWER SYSTEM.
15.

SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER TO PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
16.

SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. CONTRACTOR SHALL INSTALL CLEANOUT AT THE BUILDING FACE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE NBC REQUIREMENTS.
17.

WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION AND 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE OR BE EITHER DUCTILE IRON OR C900 BLUE BRUTE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
18.

GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
19.

ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.

STORMWATER SYSTEM MAINTENANCE NOTES:

1.

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.
- CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:  
(RESPONSIBILITY OF CONTRACTOR)
2.

SILT BARRIER:  
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
3.

PAVED AREAS:  
PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
4.

CATCH BASINS:  
ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
5.

DRAIN MANHOLES:  
DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY OF SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
6.

STORMWATER BMPS:  
NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPS UNTIL UPGRAIDENT AREAS ARE STABILIZED.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:  
(RESPONSIBILITY OF OWNER)

1.

PAVED AREAS:  
PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
2.

CATCH BASINS:  
ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A TWICE-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY. FRAMES AND GRATES ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
3.

DRAIN MANHOLES:  
ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED.
4.

STORMWATER MANAGEMENT FACILITIES – REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER. (NOTE: A LEGALLY ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED IF THE PROPERTY OWNER IS NOT THE PARTY RESPONSIBLE FOR BMP MAINTENANCE AS PRESCRIBED)

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

1.

THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
2.

CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
3.

EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL AND THE ENTIRE AREA IS TO BE SCARIFIED PRIOR TO INSTALLATION.
4.

THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

GENERAL GRADING NOTES:

1.

THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
2.

ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
3.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
4.

ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
5.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
6.

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SITE PLAN LEGEND (RIDOT):

- BCP

BITUMINOUS CONCRETE PAVEMENT
- CM

CUT AND MATCH PAVEMENT
- LS

4" LOAM AND SEEDING, TYPE 2
- 9.9.0

CONSTRUCTION ACCESS
- 12W

12" PAVEMENT MARKINGS-CROSSWALKS & STOP BAR

SITE LEGEND

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		FIRE SERVICE
		FOOTING DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		SITE LIGHTING SERVICE
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		SPOT GRADE (BOT. OF CURB)
		SPOT GRADE (TOP OF CURB)
		SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		PRECAST CONC. CURB
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		BORING LOCATION
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
		WETLAND
		SOIL EVALUATION LOCATION
		TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE (PIV)
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		GROUND CLEANOUT
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		LIMIT OF DISTURBANCE
		PAVEMENT SAWCUT & MATCH TO EXISTING
		RIDOT STD DETAIL REFERENCE

ABBREVIATIONS

CI	CAST IRON PIPE
CLD	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
D.I.	DUCTILE IRON PIPE
EX.	EXISTING
F&I	FURNISH AND INSTALL
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE

GENERAL NOTES & LEGEND

FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE

PROJECT ENGINEER  
SAMUEL HEMENWAY

CAROFALO

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Carofalo & Associates ©  
These drawings are the property of the engineer/surveyor and have been prepared for the specific project at this site and are not to be used for any other purpose, location or owner without written consent of the owner or one of its directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 6459-01	DRAWN BY K.J.A.
DWG. NO. 6459-01_DPR_Cover&Notes	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 12, 2023

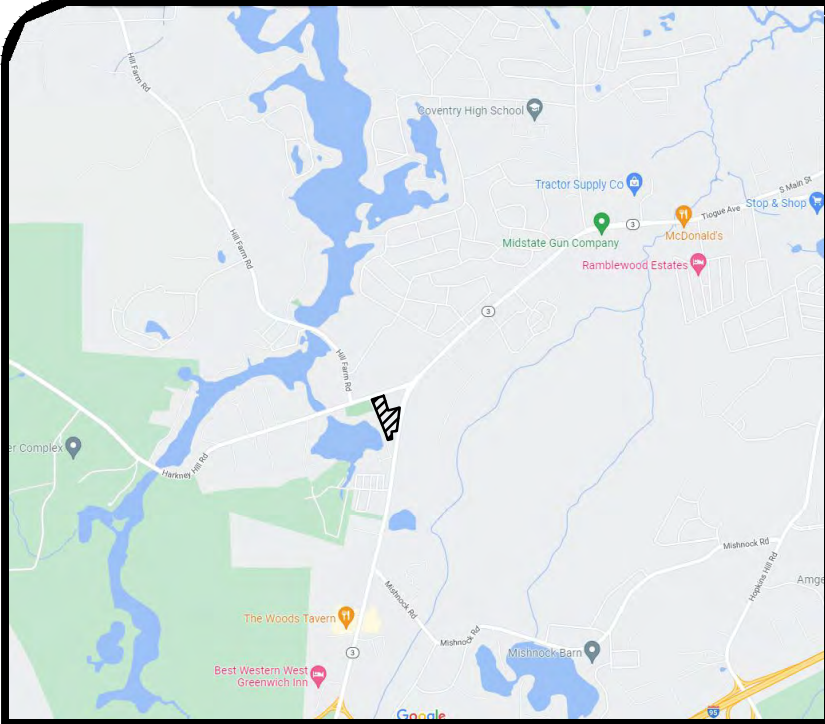
SHEET

C-2

CERTIFICATION:

ALL PLANS AND IMPROVEMENTS CONFORM TO ALL EXISTING AND AMENDED STANDARD OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION OF LAND SURVEYORS.





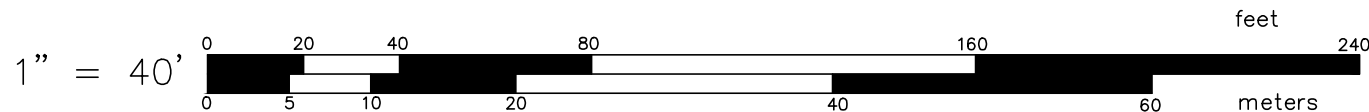
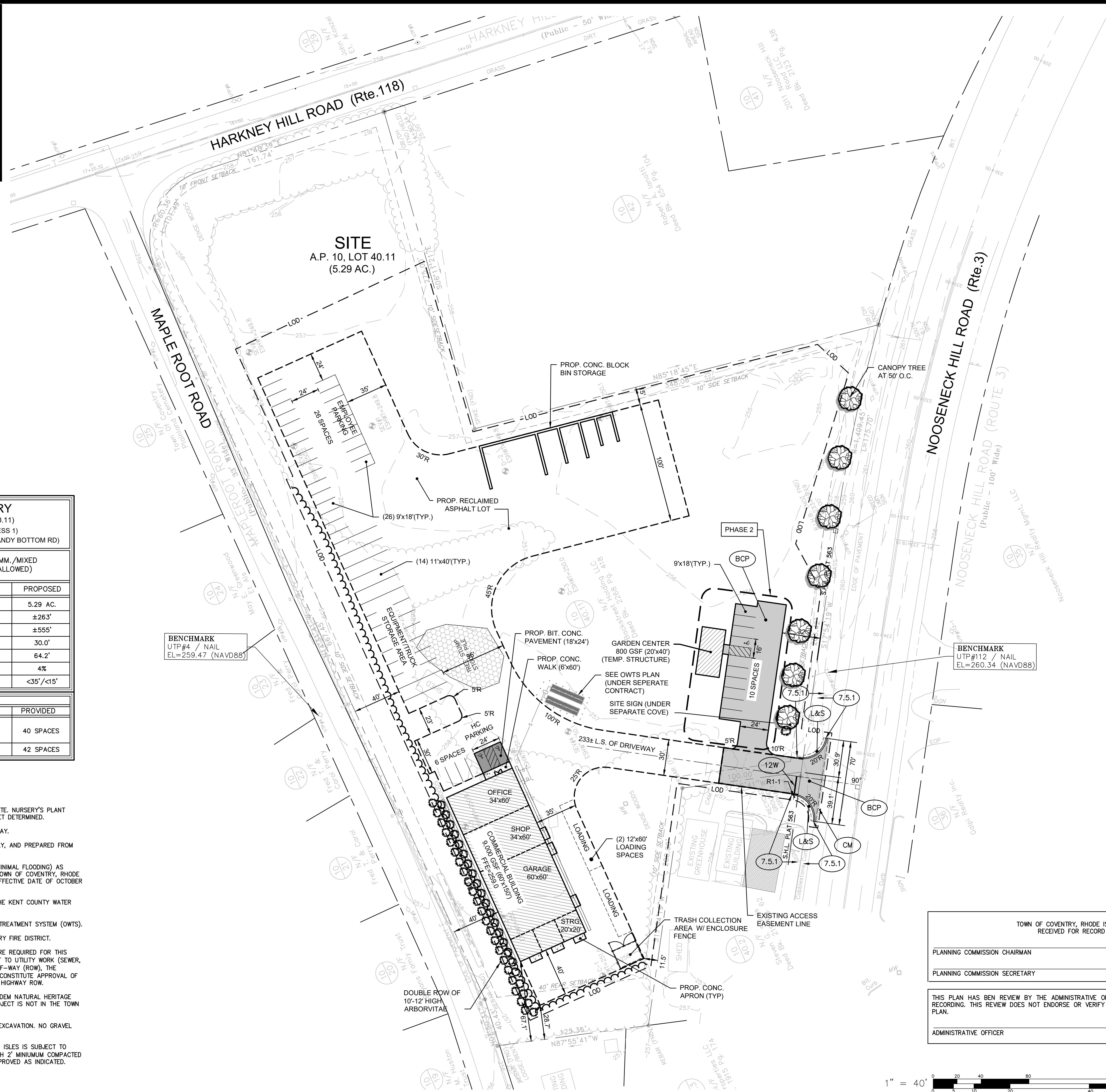
LOCUS MAP  
N.T.S.

DIMENSIONAL SUMMARY		
HARKNEY HILL ROAD (A.P. 10, LOT 40.11)		
EXISTING ZONING: GB1 (GENERAL BUSINESS 1)		
SPECIAL PLANNING OVERLAY DISTRICT (RTE 3 AND SANDY BOTTOM RD)		
USE	COMM./MIXED (ALLOWED)	
SITE DATA	REQUIRED	PROPOSED
MIN. LAND AREA	1 AC.	5.29 AC.
MIN. FRONTAGE	200'	±263'
MIN. FRONT YARD BUILDING SETBACK	10'	±555'
MIN. SIDE YARD BLDG SETBACK	10'	30.0'
MIN. REAR YARD BUILDING SETBACK	40'	64.2'
MAX. LOT COVERAGE	60%	4%
MAX. BLDG HEIGHT: PRIMARY/ACCES.	35'/15'	<35'/<15'
PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROVIDED
COMMERCIAL USES: 1 SP PER 300 S.F. OF GROSS FLOOR AREA (GFA)	33	40 SPACES
TOTAL		42 SPACES

TABLE NOTES:  
1. SEE LANDSCAPE DIAGRAM FOR SITE SIGNAGE

SHEET NOTES:

- THIS PROJECT PROPOSES A LANDSCAPE COMPANY ON THE SITE. NURSERY'S PLANT STOCK WILL BE STORED ON THE PROPERTY IN AREAS NOT YET DETERMINED.
- THE PROJECT IS LOCATED WITHIN GB1 ZONE WITH SPD OVERLAY.
- THE EXISTING CONDITIONS INDICATED AREA APPROXIMATE ONLY, AND PREPARED FROM RECORD PLANS AND GIS INFORMATION ONLY.
- THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, RHODE ISLAND, KENT COUNTY, MAP NO. 44003C0111H, HAVING AN EFFECTIVE DATE OF OCTOBER 02, 2015.
- THE PROJECT PROPOSES SERVICE BY PUBLIC WATER FROM THE KENT COUNTY WATER AUTHORITY.
- THE PROJECT PROPOSED SERVICE BY ON-SITE WASTEWATER TREATMENT SYSTEM (OWTS).
- THE PROJECT SITE IS LOCATED WITHIN THE CENTRAL COVENTRY FIRE DISTRICT.
- RIDOT PHYSICAL ALTERNATION PERMIT AND RIDPES PERMIT ARE REQUIRED FOR THIS PROJECT. WETLAND PERMIT IS NOT REQUIRED. WITH RESPECT TO UTILITY WORK (SEWER, WATER, GAS, ELECTRIC) WITHIN THE STATE HIGHWAY RIGHT-OF-WAY (ROW), THE OWNER/APPLICANT IS REMINDED THAT THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE HIGHWAY ROW.
- THE PROJECT SITE FALLS PARTIALLY WITHIN AN IDENTIFIED RIDEM NATURAL HERITAGE AREA AND RIDEM GROUNDWATER PROTECTION AREA. THE PROJECT IS NOT IN THE TOWN HISTORIC DISTRICT (SEE SHEET G-1).
- THE PROJECT SITEMARK DO NOT REQUIRED ROCK OR LEDGE EXCAVATION. NO GRAVEL WAS BROUGHT ON OR EXCAVATED FROM SITE.
- USE OF RECLAIMED AGGREGATE FOR PARKING SURFACES AND ISLES IS SUBJECT TO TOWN APPROVAL AND THOSE AREAS SHALL BE OVERLAIN WITH 2" MINIMUM COMPACTED THICKNESS OF BITUMINOUS CONCRETE PAVEMENT UNLESS APPROVED AS INDICATED.



SITE LAYOUT PLAN  
FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE
1	GRADING/BMP REVISIONS	RAS	6/20/23
2	TOWN COMMENTS	KYY	10/10/23
3	DPR CONDITIONS	KJA	11/16/23
4	RECORDING RQMTS PER TOWN	SSH	12/20/23

PROJECT ENGINEER  
SAMUEL HEMENWAY

**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates ©  
These drawings are the property of the engineer/surveyor and have been prepared for the specific project at this site and are not to be used for any other purpose, location or owner without written consent of the owner or one of its directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

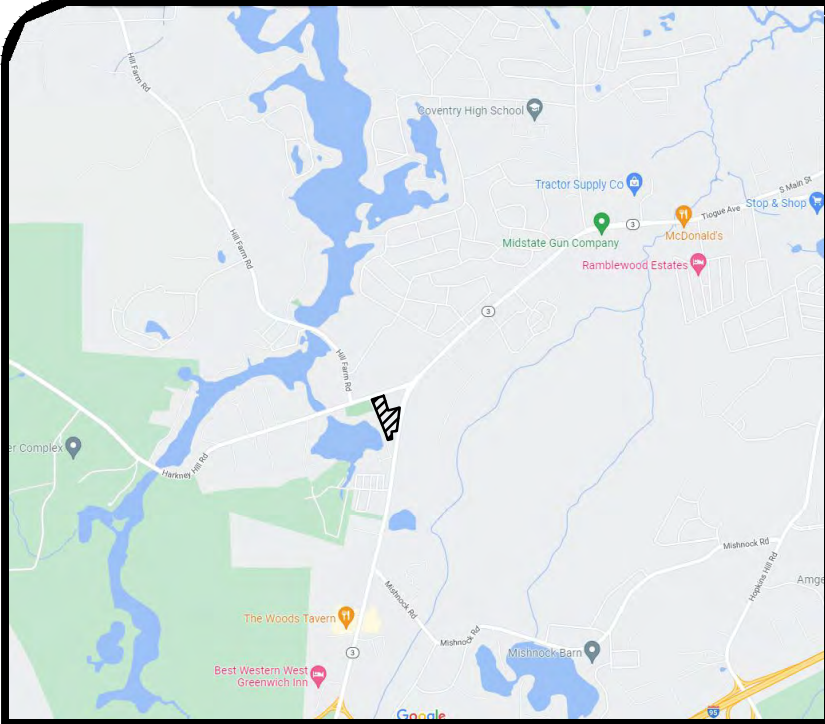
OWNER:  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH RI 02818  
  
APPLICANT:  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH RI 02818  
  
LEGAL COUNSEL:  
STEVEN A. MORETTI, ESQ.  
1140 RESERVOIR AVE  
CRANSTON RI 02920

TOWN OF COVENTRY, RHODE ISLAND RECEIVED FOR RECORD	
PLANNING COMMISSION CHAIRMAN	DATE
PLANNING COMMISSION SECRETARY	DATE
THIS PLAN HAS BEN REVIEW BY THE ADMINISTRATIVE OFFICER AND IS ACCEPTABLE FOR RECORDING. THIS REVIEW DOES NOT ENDORSE OR VERIFY THE ACCURACY OF THE SURVEY PLAN.	
ADMINISTRATIVE OFFICER	DATE

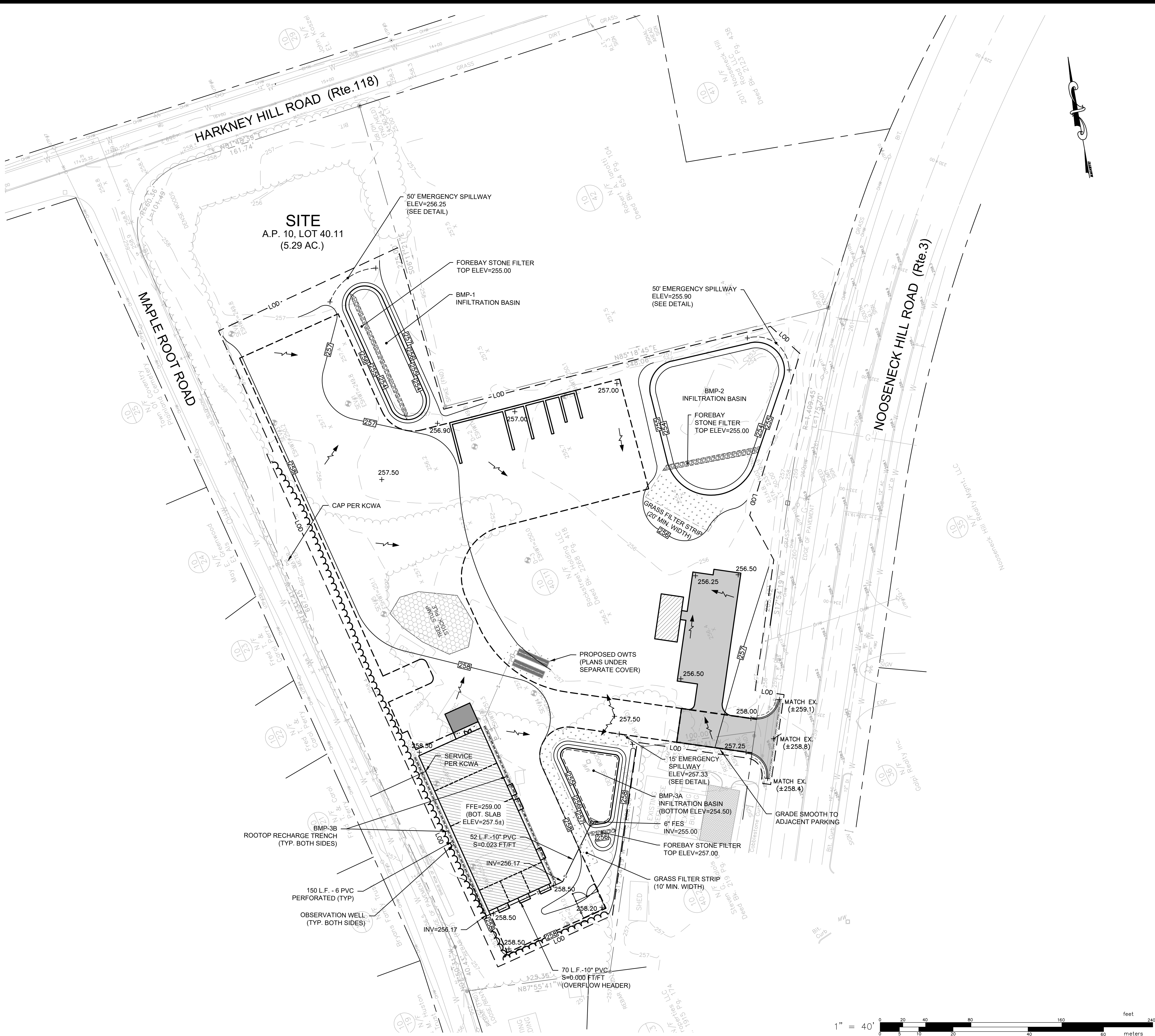
JOB NO. 6459-01  
DWG. NO. 6459-01\_DPR\_PLANS  
SCALE: AS SHOWN  
DRAWN BY K.J.A.  
CHECK BY S.S.H.  
APPROVED S.B.G.  
DATE: JUNE 12, 2023

SHEET  
**C-3**  
6 OF 10 SHEETS





LOCUS MAP  
N.T.S.



GRADING, DRAINAGE  
& UTILITY PLAN  
FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE
1	GRADING/BMP REVISIONS	RAS	6/20/23
2	RIDEM COMMENTS	RAS	7/27/23
3	RIDEM & MISC.	SSH	11/16/23
5	BASIN PER OWN.	SSH	11/08/24

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

PROJECT ENGINEER  
SAMUEL HEMENWAY

Garofalo & Associates ©  
These drawings are the property of  
the engineer/surveyor and have been  
prepared for the owner's use only.  
No part of this drawing is to be  
reproduced or used for any other purpose,  
location or owner without written  
consent of the owner or one of its  
directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

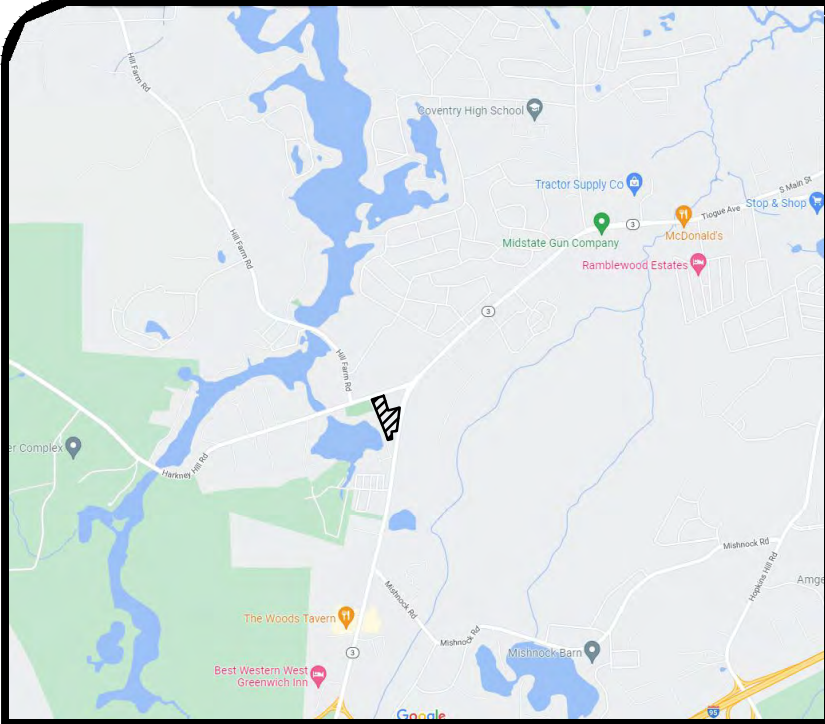
JOB NO. 6459-01	DRAWN BY K.J.A.
DWG. NO. 6459-01_DPR_PLANS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 12, 2023

SHEET

C-4

7 OF 10 SHEETS





LOCUS MAP  
N.T.S.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PERFORM SITEWORK DEMOLITION & CLEARING.
3. BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
4. INSTALL BMPs IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
5. COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
6. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

SEDIMENTATION CONTROL PROGRAM:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

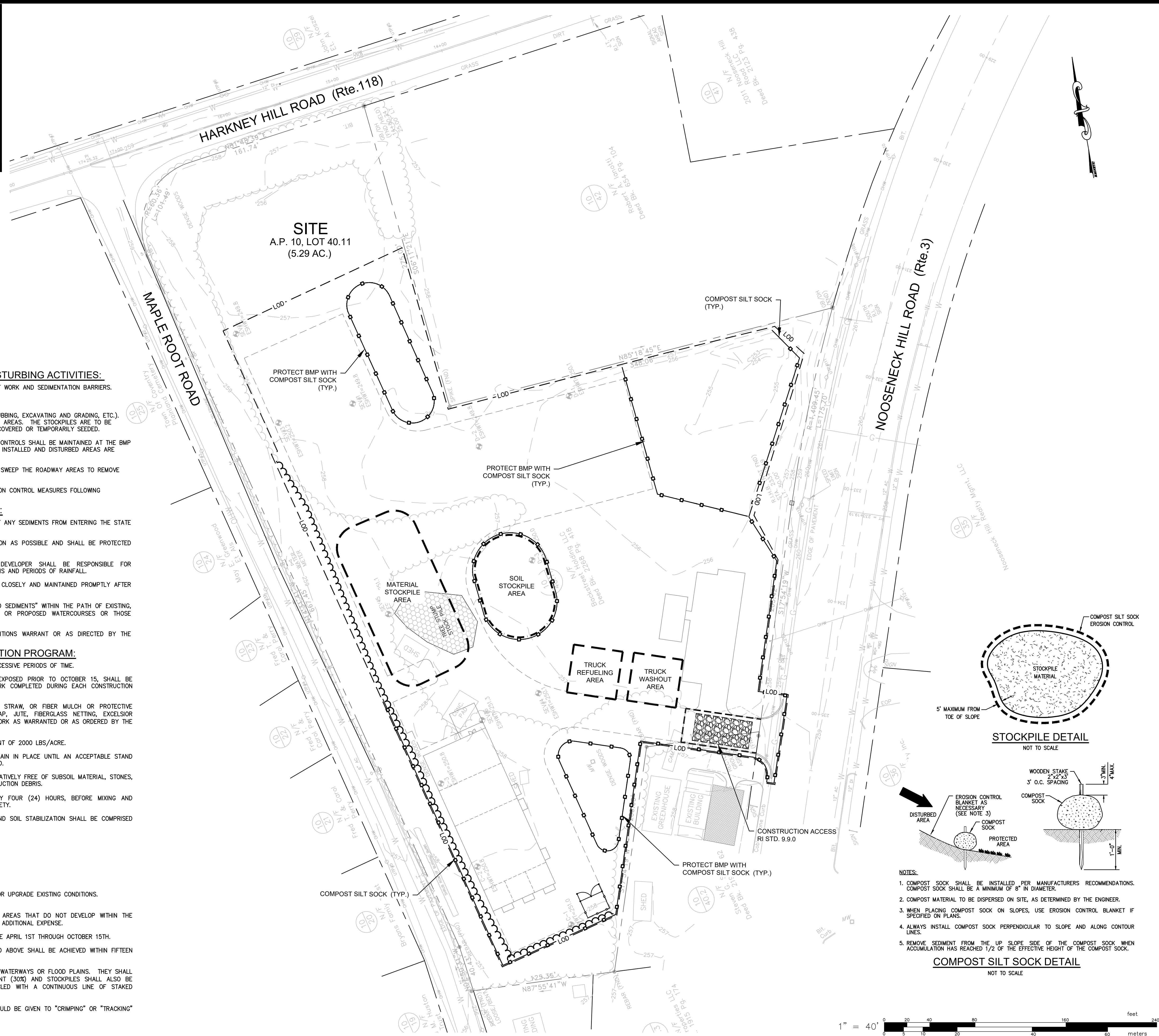
EROSION CONTROL & SOIL STABILIZATION PROGRAM:

1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREEFOIL	15
PERENNIAL RYEGRASS	10
APPLICATION RATE	100 LBS/ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCIRCLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

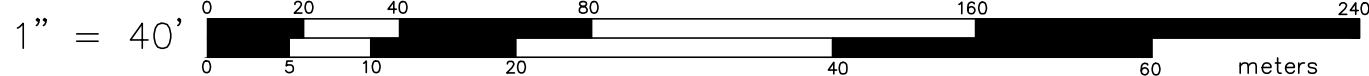


NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS' RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
5. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.

COMPOST SILT SOCK DETAIL

NOT TO SCALE



SOIL EROSION & SEDIMENT  
CONTROL PLAN  
FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE
1	GRADING/BMP REVISIONS	RAS	6/20/23
2	DPR CONDITIONS	KJA	11/16/23
5	BASIN PER OWN.	SSH	11/08/24

PROJECT ENGINEER  
SAMUEL HEMENWAY

GAROFALO  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Coriofalo & Associates ©  
These drawings are the property of  
the engineer/surveyor and have been  
prepared for the owner's use only.  
No part of this drawing is to be  
used for any other purpose,  
location or owner without written  
consent of the owner or one of its  
directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, RI 02940  
TEL. 401-273-6000

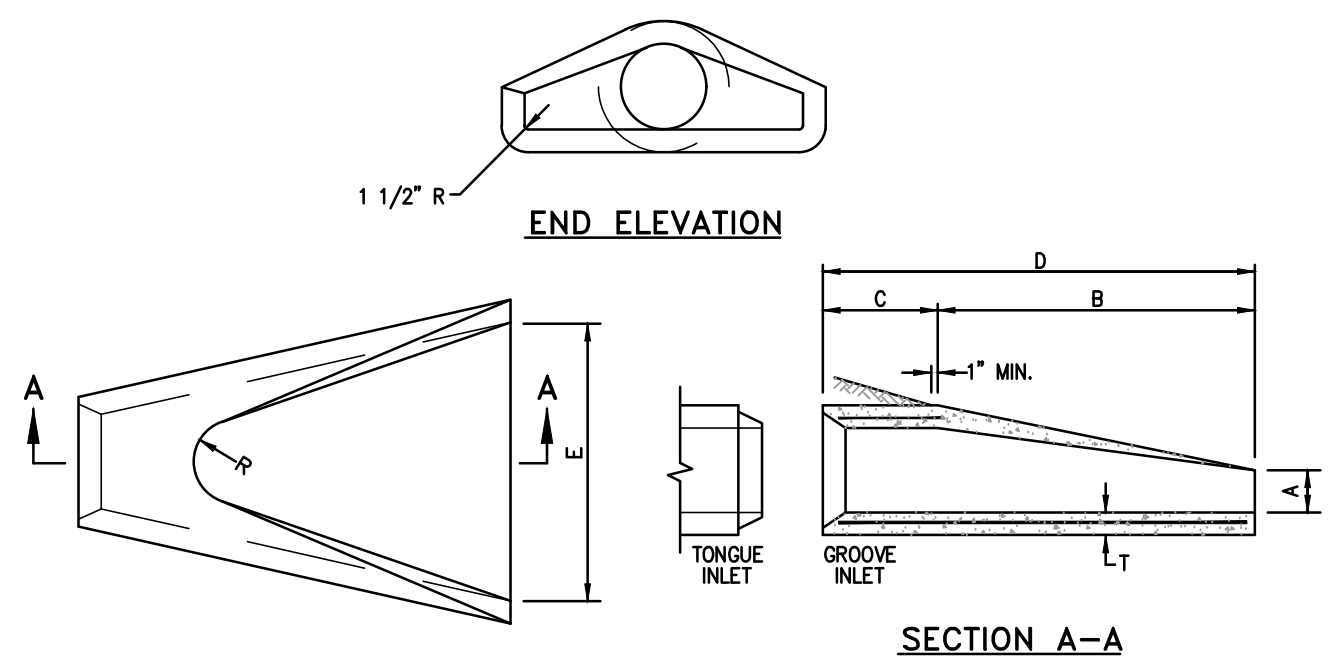
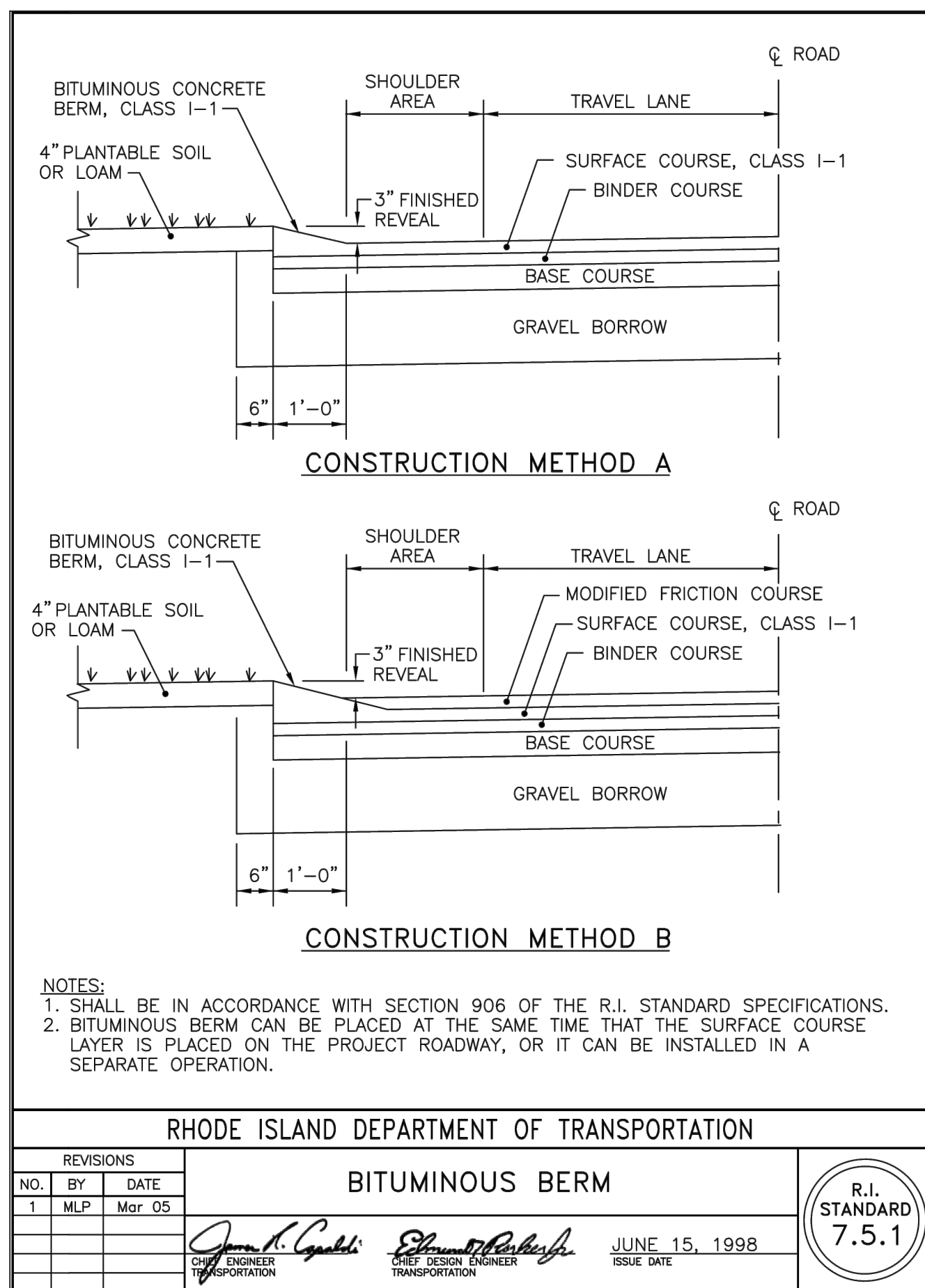
JOB NO. 6459-01	DRAWN BY K.J.A.
DWG. NO. 6459-01_DPR_PLANS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 12, 2023

SHEET

C-5

8 OF 10 SHEETS





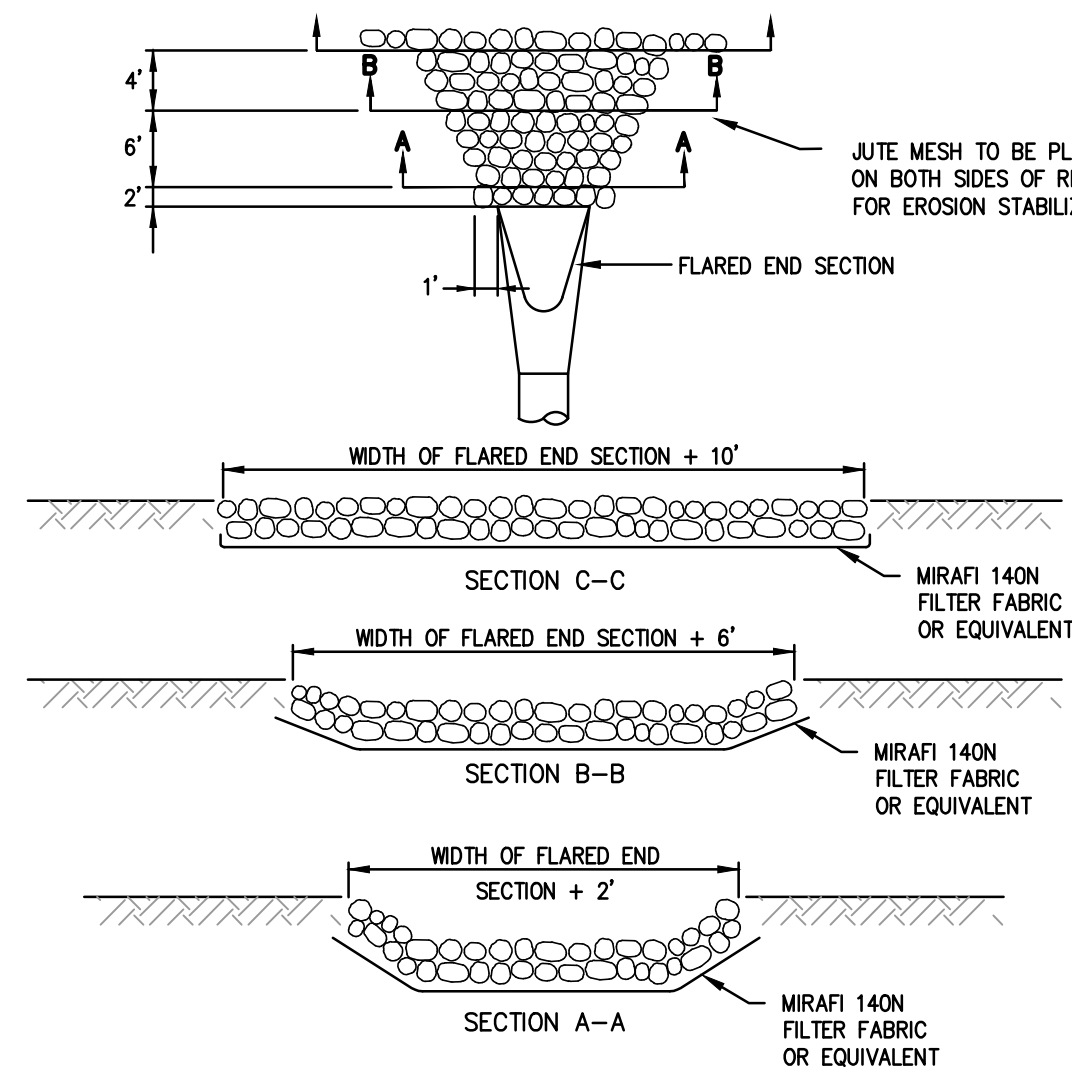
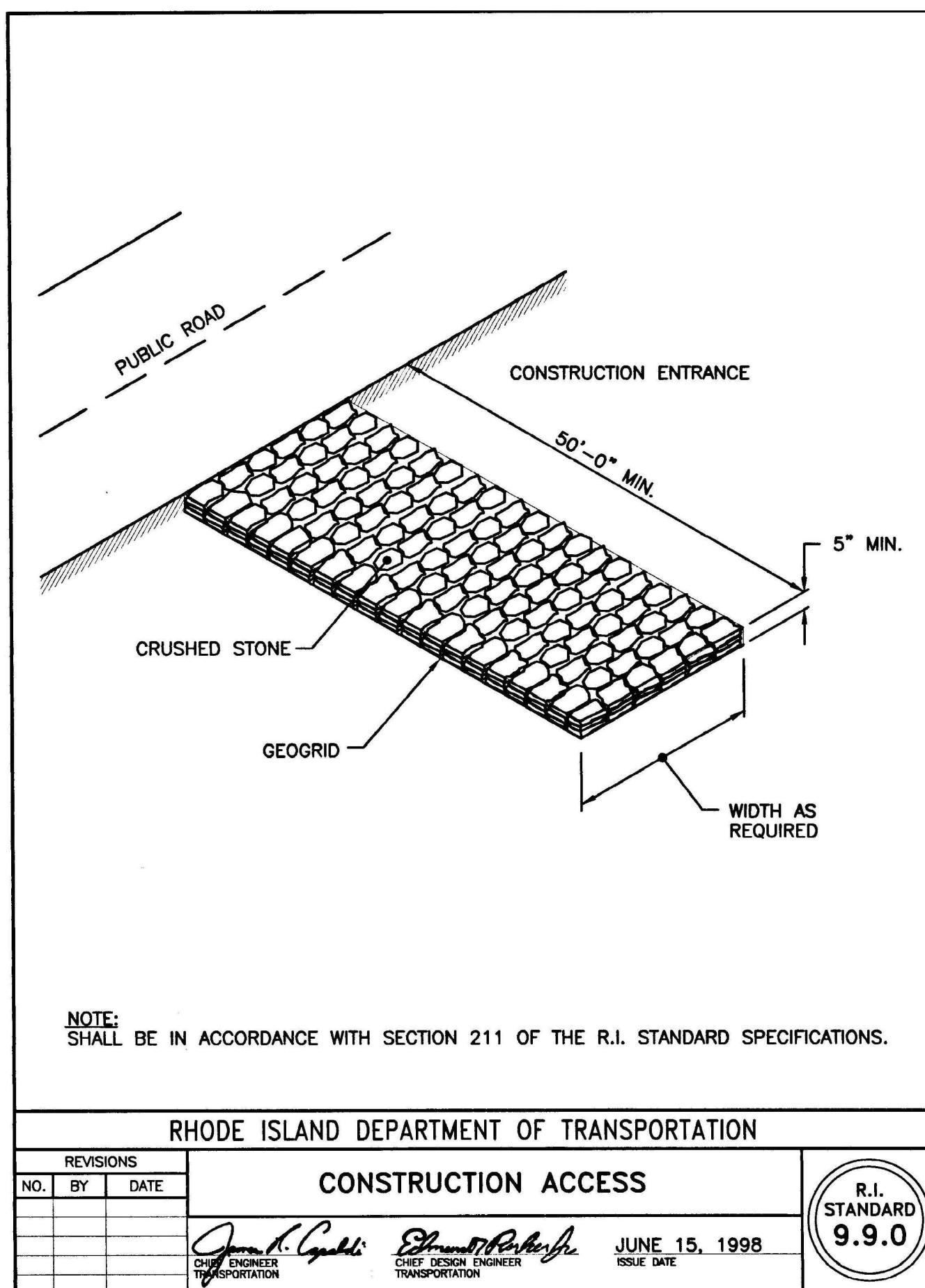
DIMENSIONS								REINFORCEMENT
DIA.	A	B	C	D	E	R	T	ONE LAYER REINFORCEMENT IN CENTER OF WALL MIN. AREA OF EACH WAY (SQ. IN./FT.)
1'-0"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	2"	0.048
1'-3"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	2 1/4"	0.054
1'-6"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	2 1/2"	0.060
2'-0"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	1'-2"	3"	0.072
2'-6"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	1'-3"	3 1/2"	0.084
3'-0"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	1'-8"	4"	0.096
3'-6"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	1'-10"	4 1/2"	0.108
4'-0"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	1'-10"	5"	0.120
4'-6"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	2'-0"	5 1/2"	0.132
5'-0"	2'-6"	5'-0"	3'-3"	8'-3"	8'-0"	2'-0"	6"	0.144

**NOTE:**

SHALL BE IN ACCORDANCE WITH SECTION 701 OF THE R.I. STANDARD SPECIFICATIONS.

### PRECAST CONCRETE FLARED END SECTION

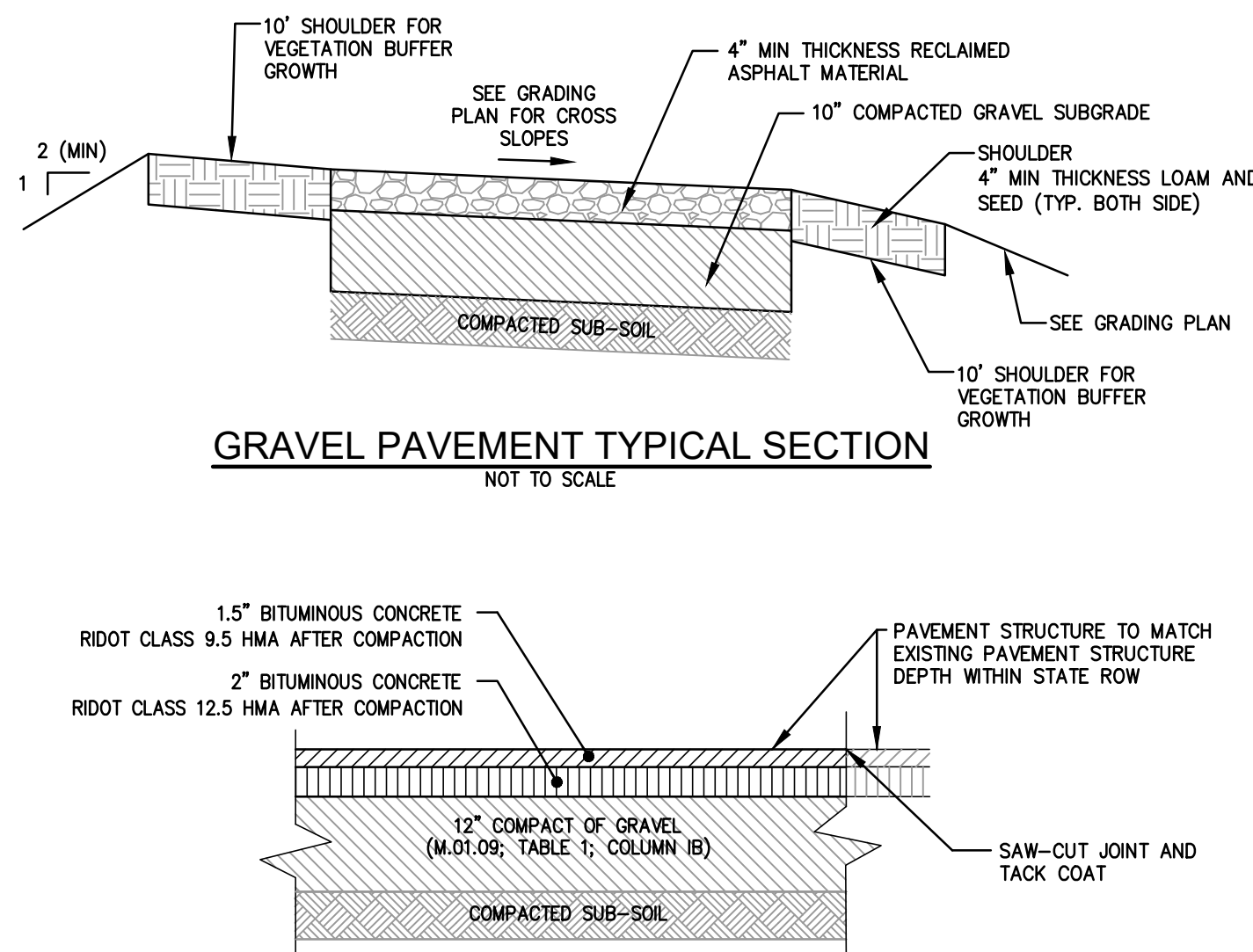
NOT TO SCALE (RIDOT STD. 2.3.0)



- NOTES:**
1. UNLESS OTHERWISE SPECIFIED, CLASS "C" RIP-RAP IS TO BE USED FOR ALL FLARED ENDS.
  2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
  3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.
  4. USE ONLY SECTION A-A FOR ROOF DRAINS.

### RIP RAP AT FLARED END SECTION

NOT TO SCALE

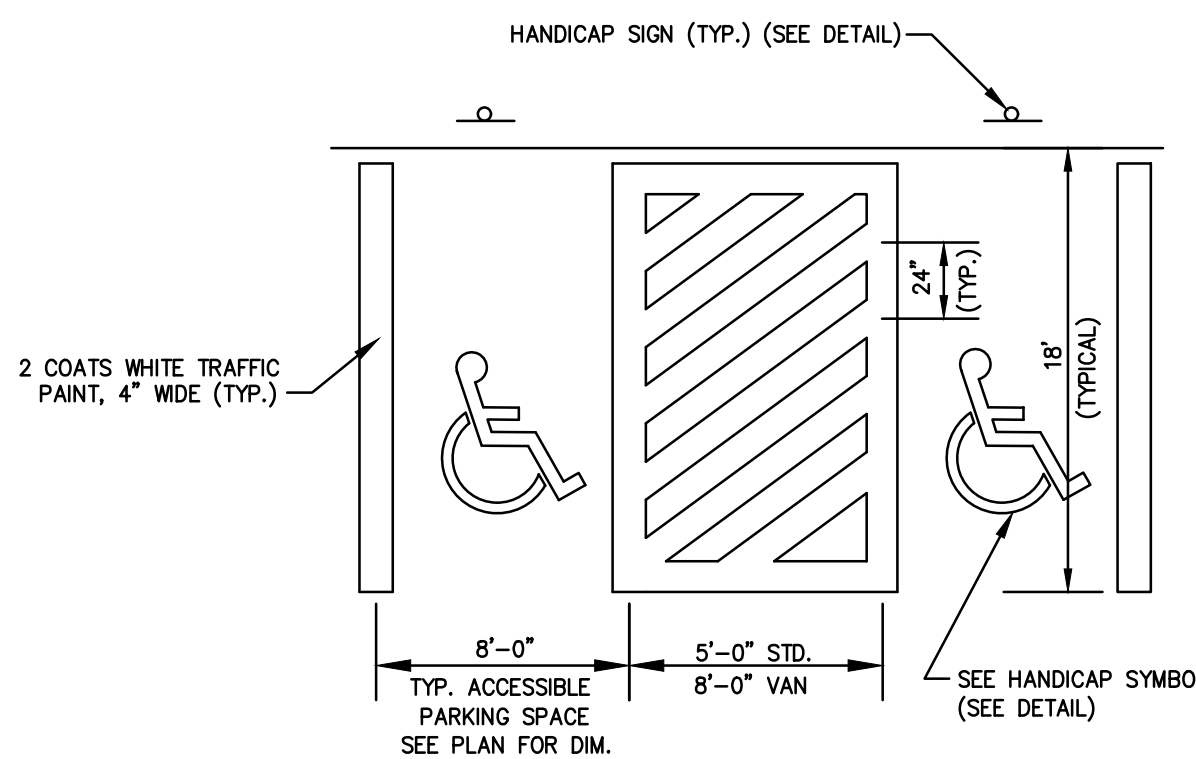


#### NOTES:

1. SUB-SOIL FILLS SHALL BE COMPRISED OF SELECT GRANULAR MATERIALS, CLASSIFIED AS SM OR MORE GRANULAR BY ASTM D 2487 AND PLACED IN 12-INCH MAXIMUM LIFTS AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698.
2. WITHIN SUBSOIL FILL AREAS, THE CONTRACTOR SHALL PROVIDE AT LEAST ONE COMPACTION TEST PER 100 LINEAR FEET, OR FRACTION THEREOF, OF EACH LIFT OF BACKFILL FOR ROADS. COMPACTION TESTING SHALL BE PERFORMED BY A RIDOT VALIDATED COMMERCIAL TESTING LABORATORY.
3. TACK COAT SHALL BE APPLIED TO VERTICAL FACES OF EXISTING PAVEMENTS IN CONFORMANCE WITH SECTION 400 OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION

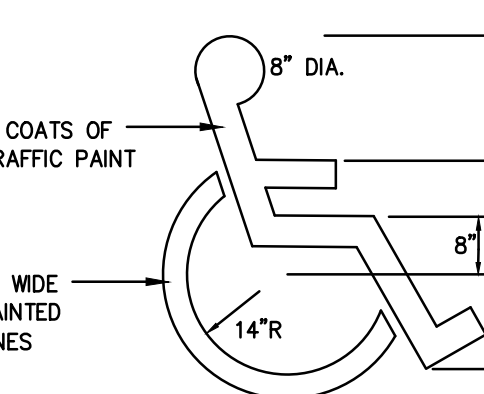
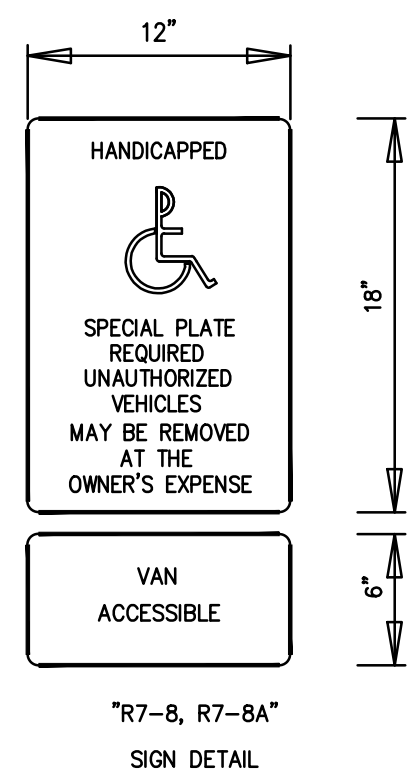
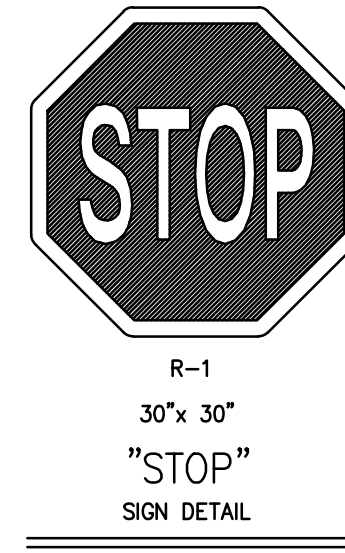
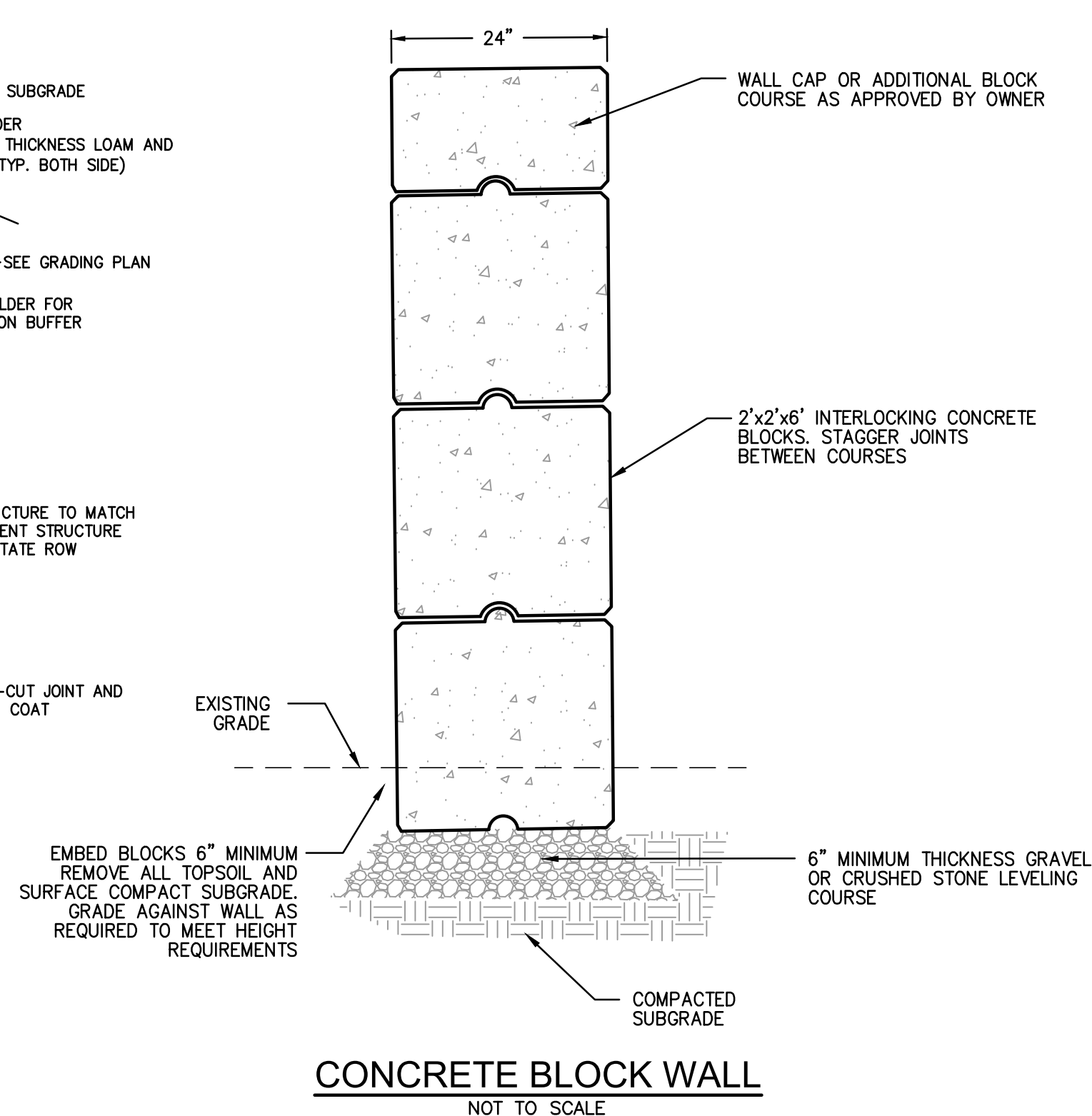
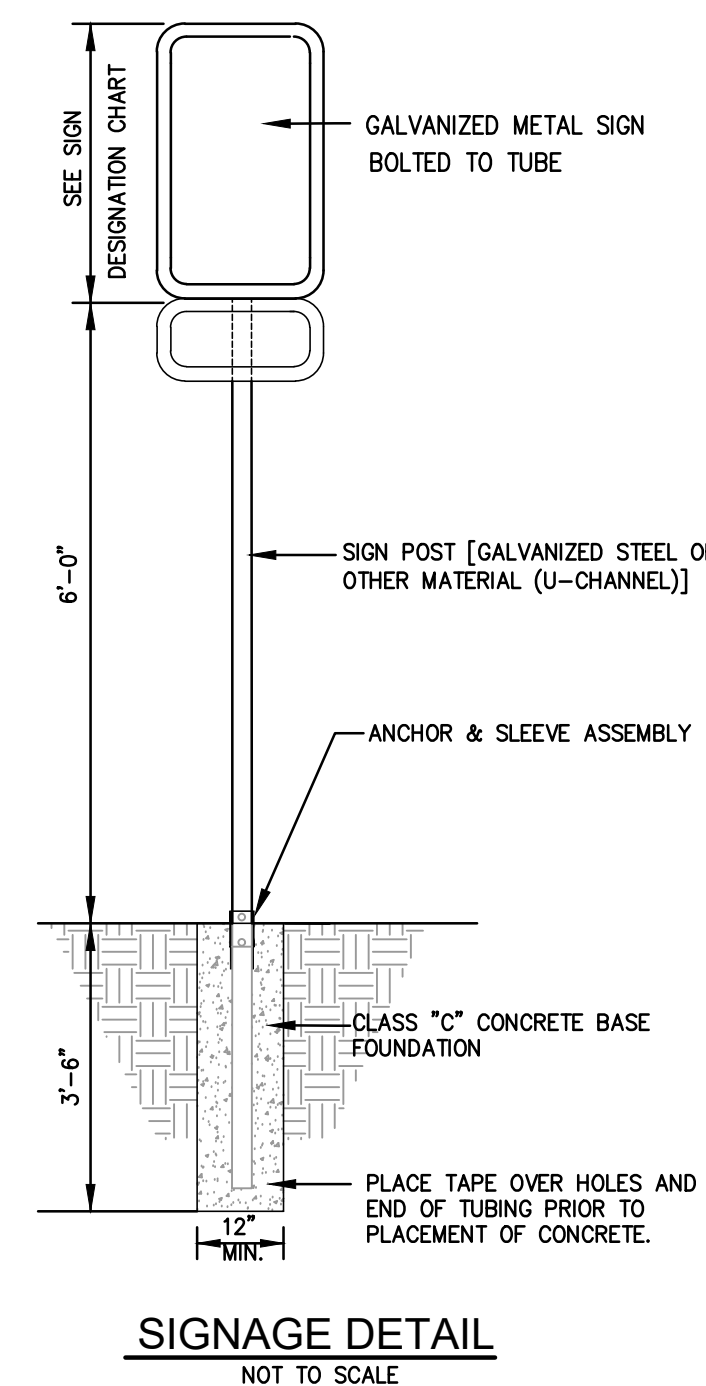
### STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT SECTION (BCP)

NOT TO SCALE



### PARKING SPACE STRIPING

NOT TO SCALE



## CONSTRUCTION DETAILS - 1

FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)

SITUATED AT

2043 MAPLE ROOT ROAD

COVENTRY, RI  
PREPARED FOR

BACKSTREET HOLDINGS

910 SOUTH ROAD  
EAST GREENWICH, RI 02818

**GAROFALO**

**GAROFALO & ASSOCIATES, INC.**  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

**PROJECT ENGINEER**  
SAMUEL HEMENWAY

Garofalo & Associates ©  
These drawings are the property of the engineer/surveyor and have been prepared for the owner's use only. No part of this drawing is to be used for any other purpose, location or owner without written directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 6459-01	DRAWN BY K.J.A.
DWG. NO. 6459-01_DPR_DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 12, 2023

SHEET

**C-6**


















9 OF 10 SHEETS









N/Y	NOW OR FORMERLY	-----	LOCUS PROPERTY LINE		TREE (VARIOUS SPECIES)
A.P.	ASSESSOR PLAT	-----	ASSESSORS LINE		TELEPHONE MANHOLE
S.F.	SQUARE FEET	-----	EASEMENT LINE		ELECTRIC MANHOLE
Ac.	ACRES	----- 10 -----	CONTOUR (5')		SEWER MANHOLE
BIT.	BITUMINOUS	----- 8 -----	CONTOUR (1')		CATCH BASIN
CONC.	CONCRETE	----- x 10.3 -----	SPOT GRADE		DRAIN MANHOLE
G.F.A.	GROSS FLOOR AREA	-----	GUARD RAIL		COMMUNICATIONS MANHOLE
C.L.F.	CHAIN LINK FENCE	----- x ----- x -----	CHAIN LINK FENCE		UNKNOWN MANHOLE
C.I.	CAST IRON	----- x ----- x -----	IRON RAIL FENCE		FIRE HYDRANT
PL.	PLASTIC	----- o ----- o -----	POST & RAIL FENCE		WATER GATE
R.C.P.	REINFORCED CONCRETE PIPE	----- o ----- o -----	STOCKADE/WOOD FENCE		GAS WATER
V.C.	VITRIFIED CLAY	----- S -----	SEWER LINE		LIGHT POLE
TRANS.	TRANSITE	----- D -----	DRAIN LINE		TRAFFIC SIGNAL POLE
C.M.P.	CORRUGATED METAL PIPE	----- W -----	WATER LINE		TEST PIT
(FND)	FOUND	----- G -----	GAS LINE		SIGN
GBG	GRANITE BOUND	----- T -----	TELEPHONE LINE		TRAFFIC CONTROLLER
D.R.I.H.B.	RHODE ISLAND HIGHWAY BOUND	----- E -----	ELECTRIC LINE		UTILITY POLE
IP	IRON PIPE	----- T -----	COMMUNICATIONS LINE		
OH	DRILL HOLE	----- OHW -----	OVERHEAD WIRES		
H&T	HUB & TACK	-----	TREE LINE		
REBAR	REBAR	-----			

## PLAN REFERENCES

1. POND VIEW COMMONS COMMERCIAL SUBDIVISION  
CONCEPTUAL LAND DEVELOPMENT PLAN  
ASSESSOR'S PLAT 10 LOT 40.11 NOOSENECK HILL  
ROAD (R.I. ROUTE 3) COVENTRY, RHODE ISLAND  
PREPARED FOR JOHN GAUVIN DATED 2-24-06 BY  
CARRIGAN ENGINEERING, INC.
2. POND VIEW COMMONS COMMERCIAL SUBDIVISION  
EXISTING CONDITIONS MAP NOOSENECK HILL ROAD  
COVENTRY R.I. DATED 2-23-06 BY CARRIGAN  
ENGINEERING, INC.
3. STATE HIGHWAY PLATS 563, 853 AND 448.
4. MAP OF LAND ON NOOSENECK HILL ROAD IN  
THE TOWN OF COVENTRY RHODE ISLAND  
PREPARED FOR PIERRE ST. PIERRE PREPARED BY  
CARRIGAN ENGINEERING, INC. DATED JUNE 13,  
2000 SCALE E.1"=50'

### LEGEND & ABBREVIATIONS

_____	LOUIS PROPERTY LINE
-----	ASSESSORS LINE
----- 10 -----	EASEMENT LINE
----- 8 -----	CONTOUR (5')
----- 10 -----	CONTOUR (1')
----- x 10.3 -----	SPOT GRADE
=====	GUARD RAIL
----- x ----- x -----	CHAIN LINK FENCE
----- x ----- x -----	IRON RAIL FENCE
----- o ----- o -----	POST & RAIL FENCE
----- o ----- o -----	STOCKADE/WOOD FENCE
----- S -----	SEWER LINE
----- D -----	DRAIN LINE
----- W -----	WATER LINE
----- G -----	GAS LINE
----- T -----	TELEPHONE LINE
----- E -----	ELECTRIC LINE
----- T -----	COMMUNICATIONS LINE
----- OHW -----	OVERHEAD WIRES
~~~~~	TREE LINE

TREE (VARIOUS SPECIES)  
TELEPHONE MANHOLE  
ELECTRIC MANHOLE  
SEWER MANHOLE  
CATCH BASIN  
DRAIN MANHOLE  
COMMUNICATIONS MANHOLE  
UNKNOWN MANHOLE  
FIRE HYDRANT  
WATER GATE  
GAS GATE  
LIGHT POLE  
TRAFFIC SIGNAL POLE  
TEST PIT  
SIGN  
TRAFFIC CONTROLLER  
UTILITY POLE

ZONING DATA

GENERAL BUSINESS 1  
MIN. LOT SIZE: 43,560 SF.\*  
MINIMUM FRONTAGE 200 LF  
SETBACKS  
FRONT YARD: 30 FT.  
SIDE/CORNER SIDE: 25 FT.  
REAR YARD: 40 FT.  
MAX. BLDG. HEIGHT: 35 FT.  
MAX. LOT COVERAGE 60%  
\* PLEASE REFER TO ZONING REGS.  
FOR ADDITIONAL INFORMATION.

## PARCEL DATA

A.P.10 LOT 40.11  
N/F  
DAVID CESARIO  
DEED BK. 1750 PG. 572  
#2043 NOOSENECK HILL ROAD  
LOT AREA:  
230.522± S.F. OR

NOTES:

- 1.) THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, RHODE ISLAND, KENT COUNTY, MAP NO. 440030111H, HAVING AN EFFECTIVE DATE OF OCTOBER 02, 2015.
- 2.) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES, EITHER ABOVE OR BELOW GROUND. THE SURVEYOR'S FIELD WORK AND FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR DOES NOT PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. (PLEASE CONTACT DISSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
- 3.) HORIZONTAL DATUM IS BASED ON AN ASSUMED SYSTEM VERTICAL DATUM IS BASED ON NOS MONUMENT DESIGNATED AS 220 PD LW1360 NAVD 88 ELEVATION OF 265.50.

**CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015. AS FOLLOWS:

TYPE OF BOUNDARY SURVEY  
BOUNDARY SURVEY  
DATA ACCUMULATION SURVEY  
TOPOGRAPHIC SURVEY ACCURACY

MEASUREMENT SPECIFICATION  
CLASS I  
CLASS III  
CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE A BOUNDARY EXISTING CONDITIONS SURVEY FOR ASSESSORS LOT 40.11 PLAT 10 COVENTRY, RHODE ISLAND.

BY: Samuel A. White, Jr  
SAMUEL A. WHITE LICENSE NO. 1781  
LS A59-COA

## EXISTING CONDITIONS PLAN

FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)

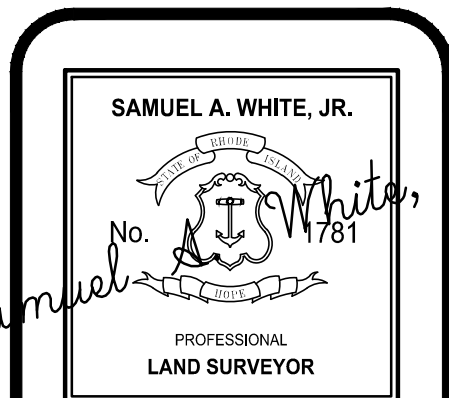
SITUATED AT  
2043 MAPLE ROOT ROAD

COVENTRY, RI  
PREPARED FOR

## BACKSTREET HOLDINGS

910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE
1	PER TOWN COMMENTS	SLC	5-15-07
2	SIGNS PER RI DOT COMMENTS	PJD	10-25-07
3	ABUTTERS NAME & MAP LOT #	PJD	02-22-08
4	MISC. UPDATES	SAW	02-13-23
5	ADD'L LOCATIONS	SAW	06-02-23



Garofalo & Associates © These drawings are the property of the engineer/surveyor and have been prepared for the owner, for this project at this site and are not to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

85 CORLISS STREET

**P.O. BOX 6145**

PROVIDENCE, R.I. 02940

**TEL. 401-273-6000**

# GROFALB

**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS|SURVEYORS**  
**LAND PLANNERS|ENVIRONMENTAL SCIENTISTS**

**JOB NO.**  
6459-01

**DWG. NO.**  
6459.01 ECS

**DRAWN BY** S.L.C.  
**CHECK BY** S.A.W.

**SCALE:** **APPROVED** S.A.W.

DATE: APRIL 19, 2007

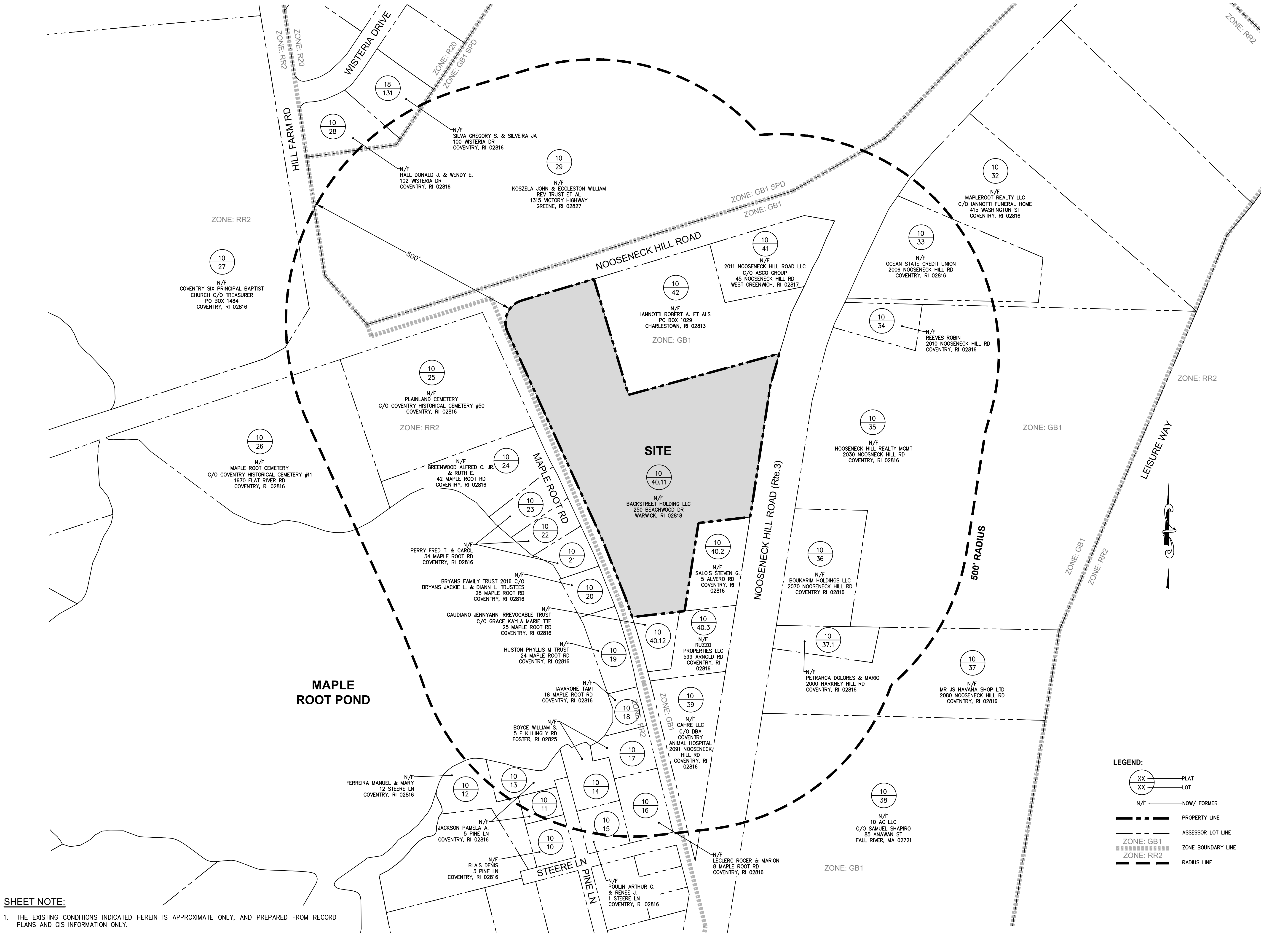
**SHEET**

# ECS

1 OF 1 SHEETS



L:\6459-01 Proscapes - Maple Root Rd - Coventry, RI\dwg\01-Current\01-500' Radius Map.dwg 11/17/2023 krusda 09:48



**SHEET NOTE:**

1. THE EXISTING CONDITIONS INDICATED HEREIN IS APPROXIMATE ONLY, AND PREPARED FROM RECORD PLANS AND GIS INFORMATION ONLY.

**500' RADIUS MAP**

FOR  
**PROSCAPE LANDSCAPING**  
(A.P.10, LOT 40.11)

SITUATED AT

**2043 MAPLE ROOT ROAD**

COVENTRY, RI

PREPARED FOR  
**BACKSTREET HOLDINGS**

910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE
1	SHEET ADDED	KYY	8/18/23

**PROJECT ENGINEER**  
**SAMUEL HEMENWAY**

**GAROFALO**

**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**LAND PLANNERS/ENVIRONMENTAL SCIENTISTS**

Garofalo & Associates ©  
These drawings are the property of  
the engineer/surveyor and have been  
prepared for the specific use of the  
project at this site and are not to  
be used for any other purpose,  
location or owner without written  
consent of the owner or one of its  
directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

**LEGEND:**

XX	PLAT
XX	LOT
N/F	NOW/ FORMER
---	PROPERTY LINE
---	ASSESSOR LOT LINE
---	ZONE: GB1
---	ZONE: RR2
---	RADIUS LINE

1" = 100'

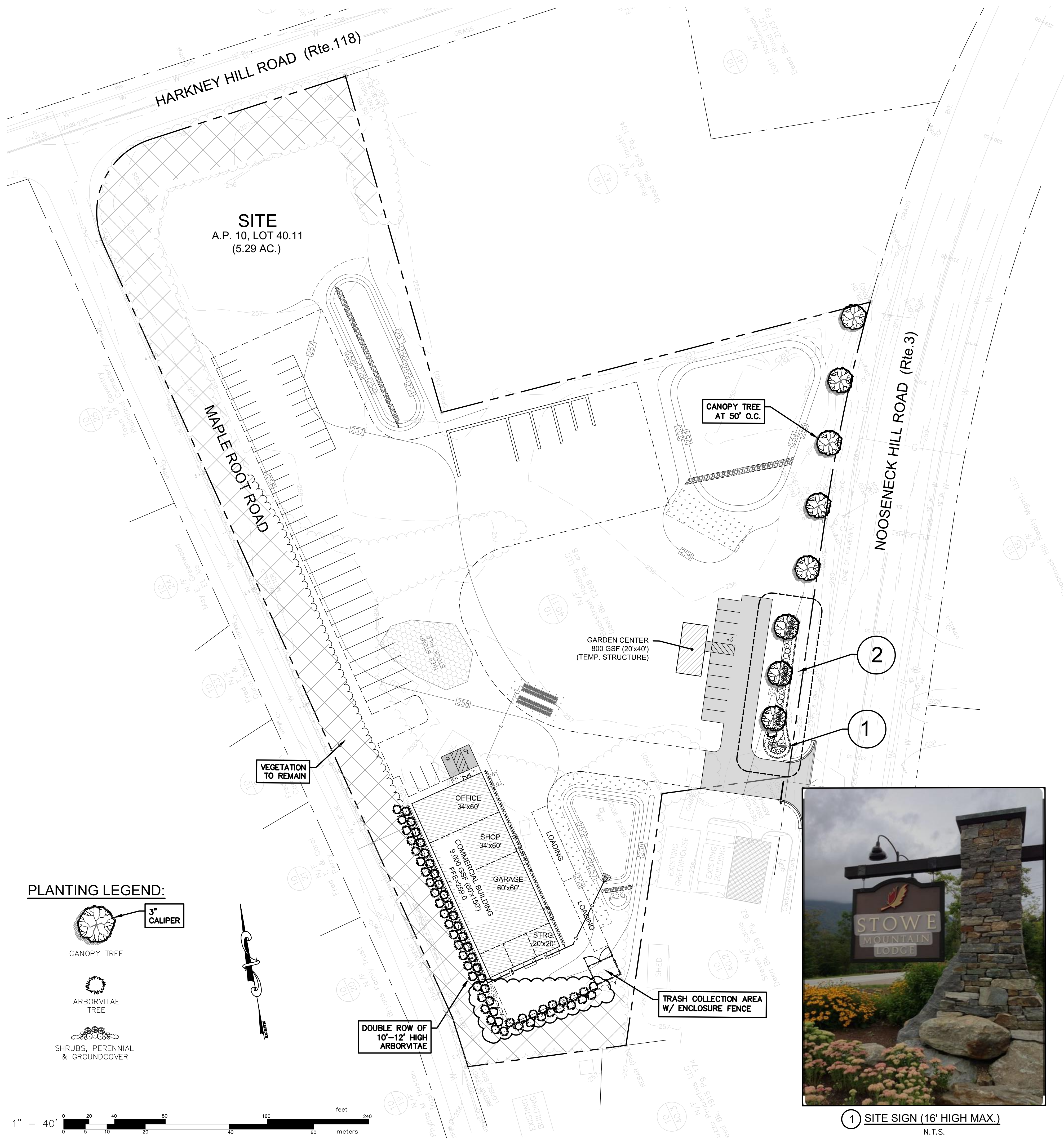
0 50 100 200 400 600  
feet

0 10 20 50 100 150 200  
meters

**R-1**

1 OF 1 SHEET





**SHEET NOTE:**  
PROJECT LANDSCAPING SHOWN INTENDED TO REPRESENT THE GENERAL PLANTING INTENT PROPOSED BY THE OWNER/APPLICANT (AKA PROSCAPE LANDSCAPING) IN ASSOCIATION WITH THE PROJECT DEVELOPMENT. FINAL MATERIAL AND LAYOUT MAY VARY AS DETERMINED BY THE LANDSCAPER, BUT LAYOUT AND MASSING SHALL BE IN GENERAL CONFORMANCE TO THE LANDSCAPING SHOWN. INSTALLATION SHALL BE PERFORMED BY PROSCAPE LANDSCAPING.



Landscape and Signage Proposals  
Proscape Landscaping  
Maple Root Road Project

- 1) Rendering of landscaping at the property located at Maple Root Road project. Our goal is to have a consistent color display seasonally with some anchored landscape shrubbery and trees. The view is from Nooseneck Hill Road in Coventry.
- 2) Example of what our sign will look like on Nooseneck Hill Road. We will have our company name, Proscape Landscape Management Corp. on the sign.

401-886-7000 Proscape Landscaping Management Corp. www.proscape-ne.com



1 SITE SIGN (16' HIGH MAX.)  
N.T.S.



2 ENTRANCE  
N.T.S.

LANDSCAPE DIAGRAM  
FOR  
PROSCAPE LANDSCAPING  
(A.P.10, LOT 40.11)  
SITUATED AT  
2043 MAPLE ROOT ROAD  
COVENTRY, RI  
PREPARED FOR  
BACKSTREET HOLDINGS  
910 SOUTH ROAD  
EAST GREENWICH, RI 02818

NO.	REVISION	BY	DATE
1	DPR CONDITIONS	KYY	11/16/23
5	BASIN PER OWN.	KYY	11/08/24
6	SCREEN PER AGREEMENT	KYY	03/31/25

PROJECT ENGINEER  
SAMUEL HEMENWAY

**GAROFALO**

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates ©  
These drawings are the property of the engineer/surveyor and have been prepared for the owner's use only. No part of this drawing is to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 6459-01	DRAWN BY K.Y.Y.
DWG. NO. 6459-01_DPR_Land-Diagram	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: OCTOBER 05, 2023

SHEET

1

1 OF 1 SHEET