



ZONING BOARD OF REVIEW APPLICATION



RETURN TO
 COVENTRY PLANNING

PROJECT INFORMATION

Application Type:

- Special Use Permit (See Zoning Ordinance, Section 430)
- Use Variance (see Zoning Ordinance, Section 450)
- Dimensional Variance (see Zoning Ordinance, Section 455B)
- Appeal of Building Inspector/Zoning Enforcement Decision (see Zoning Ordinance, Section 412)
- Time Extension Request

Project Name Plat Lot(s)
 Street address /location
 Zoning District
 Width of Lot: Depth of Lot: Area (s.f.):

APPLICANT INFORMATION

Note: An individual may represent him/herself before the Coventry Zoning Board with respect to any application involving his/her property. If the applicant is anyone OTHER than the landowner, or if the applicant is a limited partnership, corporation, LLC or other business, social or fraternal organization, then the owner/applicant must be represented by legal counsel.

Applicant Name Phone
 Company Email
 Authorized Corp./LLC Officer
 Corp/LLC Contact Email
 Corp/LLC Contact Phone
 Company Address
 City State Zip code

OWNER INFORMATION (if NOT the Applicant)

Owner Name Phone
 Company Email
 Address
 City State Zip code

ZONING ORDINANCE RELIEF REQUESTED

Specify the Zoning Code Reference for the relief sought, including the Zoning Ordinance Article, Section and Use Code (if applicable)

Article IX, Chapter 255-Zoning
A. General Development Regulations
 Accessory Structures
 1. Dimensional regulations for detached accessory structure
 e. Height

Describe the proposed alterations, additions, new buildings or other activity requested (including size and height):

Be sure to explain the relief that is being requested and how it is different from the Zoning Ordinance

See attached project narrative

List other TOWN Committees or Boards that will review the proposal:

Boards and
Commissions

zoning

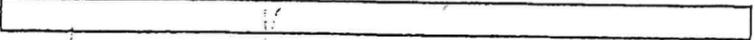
Describe the conditions or hardship that requires the applicant to deviate from the Zoning Ordinance, such as the physical condition of the property, loss of property use, effect on surrounding properties.

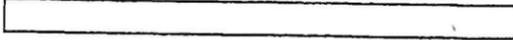
See attached project narrative

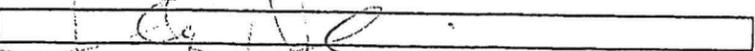
By signing this application, I understand that plans cannot be altered once the Board has approved or disapproved of them. They are incorporated as part of the decision and are final.

Applicant Signature:

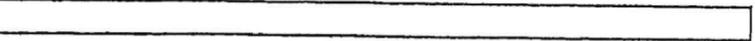

Date:
1/12/26

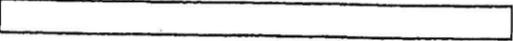
Applicant Signature:


Date:


Owner Signature:


Date:
1/12/26

Owner Signature:


Date:


Application for a Dimensional Variance from the Zoning Code

Rhode Island General Law §45-24-41 states that "An application for relief from the literal requirements of a zoning ordinance because of hardship may be made by any person, group, agency, or corporation by filing with the zoning enforcement officer or agency an application describing the request and supported by any data and evidence as may be required by the zoning board of review or by the terms of the ordinance."

There are four criteria that the Zoning Board of Review will take into consideration when reviewing an application for a Dimensional Variance. Please note that all four criteria must be answered. Failure to do so may result in an application being deemed incomplete.

§45-24-41(d)(1): "That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(a)(16)":

The application is for relief from the dimensional height requirement. The ADU is set on an existing foundation. The existing footprint is smaller even by ADU standards. The main building, existing, is a single-story ranch. The need for the second floor on the ADU is due to the compact size of the ADU footprint.

§45-24-41(d)(2): "That the hardship is not the result of any prior action of the applicant":

The state law allowing for conversion of existing structures into an ADU did not exist when the on-site summer structure was constructed.

§45-24-41(d)(3): "That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based.":

The lot on which this ADU is being constructed is already unusual with two residences on one lot after merger by the Town. The requested height of the ADU is within the height allowed for a newly built two-story residence.

545-24-41(e)(2): "In granting a dimensional variance, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted is not grounds for relief."

The hardship suffered by the applicant if the relief in the form of variance for height would be more than a mere inconvenience. The footprint of the ADU is slightly less than 650 square feet. A kitchen and bath taking up a good amount of the floor space would leave the applicant without a separate bedroom with closets for storage for this permanent home for applicant's daughter to live adjacent with the support she needs.

Project Narrative

This is an application for a dimensional variance for height for an accessory dwelling unit (ADU) on AP 30 Lot 155.002 Coventry, Rhode Island. The application is made pursuant to RIGL 45-24-73 consistent with Statewide Treatment of Accessory Dwelling Units.

RIGL 45-24-74(b) states ADU's shall be a permitted use in any residential district with a minimum lot size of 20,000 square feet or more where the ADU is located within an existing footprint of ... [an] existing secondary ... detached structure and [that] does not expand the footprint of the structure.

AP 30 Lot 155.002 is .65 acres or 28,314 square feet in area in the R-20 zone. The lot has three structures on the lot.

35 Dixie Road is a single family, one bedroom, single story ranch style home. It is occupied by Kimberly Sion and her adult daughter. Kimberly Sion's daughter has disabilities and cannot live completely independently. 35 Dixie Road is located on old Plat 12, Lot 84. It was created as Lot 4 on the Plat of Sandy Beach belonging to Peter and Duncan W. Beaton, Washington, RI, July 1931. The lot upon which the home was built has been merged by the Town of Coventry, without application by the owners, into AP 30 Lot 155.002.

37 Dixie Road is a single family, single story ranch style home also located on Lot 155.002. The home is occupied by Constance Sion. 37 Dixie Road is located on old Plat 12, Lot 83, also formerly known as Lot 3 on the Plat of Sandy Beach belonging to Peter and Duncan W. Beaton, Washington, RI, July 1931. The lot has been merged into Lot 155.002 by the Town of Coventry, without application by the owner. The single family home is 3,236 square feet.

Between the home at 37 Dixie Road and Tiogue Lake is a summer house built by Edward Sion, now deceased, in 1967 and 1968. The summer house is a single story structure measuring 27' x 24'. As constructed and used, the summer house had a kitchen, bathroom, living area and storage area. The storage area was a separate entrance accessed through a garage door. The building is serviced by electric, phone, gas and plumbing extended from the single family home at 37 Dixie Road.

The summer house is to be converted into an ADU, a winterized year round residence. The ADU will be maintained on the existing rebuilt slab foundation, without expansion. The existing slab foundation is exposed and available for inspection. The electric, plumbing, gas, phone, internet and cable will remain connected to the residence at 37 Dixie Road consistent with RIGL 45-24-73(3). The converted house will have a kitchen, bathroom and combined living area/second story bedrooms (2). The granddaughter of Constance Sion will live in the ADU as she is suffering from a disability which does not allow her to live completely independently.

The owner/applicant has applied for building permits and started the conversion. The permit has been paused due to the height of the building. A permit for the replacement of the foundation with the same footprint has been granted.

The application fits the definition of Accessory Dwelling Unit set out in RIGL 46-24-31. The merger of Lot 3 and Lot 4 each with a single family home located upon it, has created a situation where there are two houses on Lot 155.002. An ADU is not identified by the statute as an additional primary residence. The statute does not place a limit on the number of residences on a single lot, and in fact allows, in the definition, for a residential living unit on the same parcel where the primary use is a legally established single unit or multi-unit dwelling (emphasis added). Neither RIGL 45-24-31 nor the Coventry Zoning ordinance define multi-unit, so the term is given its ordinary use as definition. Through its merger, the Town of Coventry has created a multi-unit dwelling on Lot 155.002 and the conversion of the summer house into an ADU fits the definition of ADU provided by the statute.

Other than the conversion of the existing structure, without footprint expansion, into a year round rather than seasonal residence, there are no changes to the site, other existing structures, access, lighting or parking proposed under this application. An expansion of 35 Dixie Road (the single family, one bedroom, single story, ranch style home) is under consideration in the future under a separate permit.

The renovation of the ADU has been delayed by a change to the plans proposed. Specifically, the applicant now proposes a second floor on the ADU, where the existing structure being converted to an ADU was single story. The proposed second story to the ADU will result in a maximum building height of 25 feet. The current ordinance calls for a maximum height of 35 feet for the primary structure on a lot and a maximum height of less than the primary residence for an accessory structure.

Due to the small, 24' x 24', footprint of the home, second floor bedrooms are proposed.

Existing main level is 590 square feet.

Second floor addition is 396 square feet.

Second floor balcony is 156 square feet.

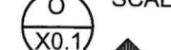
1,122 square feet

Dimensional relief is sought for building height of 28 feet for the ADU structure which is greater than the height of the adjacent primary home, a single-story ranch or 25 feet whichever is lower. The height of the adjacent single family home is 17 feet, and eight feet of relief is requested.



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LEGEND:

- NORTH ARROW INDICATOR 
- DRAWING TITLE 
- DETAIL MARKER 
- SECTION MARKER 
- STAIR DIRECTION 
- DETAIL KEY MARKER 
- DOOR MARKER 
- WINDOW MARKER 
- WALL TYPE MARKER 
- REVISION MARKER 
- ELEVATION MARKER

ALTERATIONS & UPPER LEVEL ADDITION FOR LAKESIDE ACCESSORY DWELLING UNIT

35 DIXIE ROAD, COVENTRY, RI



DESIGN CRITERIA:

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL ONE & TWO FAMILY CODE, (SBC -2 2018).
 WIND DESIGN: ZONE 1 (100 MPH)
 LOAD DESIGNS:
 40 PSF LIVING AREA LOADS
 30 PSF SLEEPING AREA LOADS
 30 PSF DEAD LOAD
 20 PSF ATTIC LOADS
 60 PSF EXT. DECK LOADS
 40 PSF SNOW LOADS

FROST DEPTH 3'-4"

CLIMATE ZONE: 5A
 OCCUPANCY TYPE: 5A

PROPOSED PROJECT GROSS AREA: 1,122 S..F.

CONSTRUCTION TYPE: 5A

BUILDING HEIGHT: 25'MAX, (FROM T.O.F TO RIDGE)

ALL INSULATION IN EXTERIOR WALLS ARE BASED ON MINIMUMS PER PERSCRIPTIVE METHOD OF TBL. N1102.1.1 OF 2024 INT ENERGY CONSERVATION CODES W/RI AM.

FIRE ALARM SYSTEM: HARD WIRED
 SPRINKLER SYSTEM: NO
 PLUMBING & MECHANICAL SYSTEMS: YES
 ELECTRIC SERVICE: NO

PROJECT NARRATIVE:

ALTERATIONS TO EXISTING (1) ST. ACCESSORY STRUCTURE (FORMERLY POOL HOUSE w/ GUEST LIVING /SLEEPING AREA, KITCHEN & FULL BATHROOM, (INFORMAL ADU) ON PROPERTY. PROJECT SCOPE INCLUDES PERFORMING SENSITIVE SITE PREPARATIONS, SUPPORT/ LIFT FRAME, REMOVE & REPLACE UNSUITABLE FOUNDATION w/ LOW IMPACT & ENERGY EFFICIENT FROST PROTECTED FOUNDATION, (PERMITTED).

REINFORCE EXIST FRAMING, INSULATE & REBUILD INTERIOR FOOTPRINT AREA AT MAIN LEVEL = 570 S.F.
CONSTRUCT UPPER LEVEL ADDITION w/ 2 BEDROOMS & BATH AREA OF 396 S.F.
w/ PARTIAL BALCONY AREA OF 156 S.F.
= TOTAL PROPOSED ADU AREA = 1,122 S.F.

1. CONFORMS TO COVENTRY Z.O. MAX AREA RESTRICTION FOR 2 BED RM A.D.U. (LESSER OF 1,200 SF or PRIMARY RESIDENCE AREA x 60% = 1,736 SF - (REFER TO DWG C-1.0 Z.O. RESTRICTION CALC ON)

2. PROPOSED ADU HEIGHT w/ UPPER LEVEL ADDITION IS 24'-0" ABOVE GRADE. Z.B.R. RELEIF IS REQUESTED FOR VARIANCE OF Z.O. HEIGHT RESTRICTION FOR ADU. (LESSER OF 25' or MAX HEIGHT OF PRIMARY DWELLING = 17'). A FORMAL REQUEST FOR VARIANCE RELEIF HAS BEEN FILED WITH SECRETARY OF THE ZONING BOARD OF REVIEW. 25'-0" MAX Z.B.R. VARIANCE REQUEST EXCEEDS ADU RESTRICTED LIMIT BY 8'

DRAWING SHEETS:

GENERAL:	RELEASE:	DATE:
T-1.0 TITLE SHEET	REL. 3	02/12/26
A-0.0 3D EXTERIOR VIEWS	REL. 3	02/12/26
A-0.1 GENERAL & PROJECT NOTES	REL. 3	02/12/26
A-0.2 KEY NOTES	REL. 3	02/12/26
A-0.3 WALL & FLOOR TYPE DETAILS	REL. 3	02/12/26
SITE:		
C-1.0 SITE PLAN	REL. 3	02/12/26
C-2.0 SITE TEMP CONDITIONS & DET	REL. 3	02/12/26
EXISTING CONDITIONS:		
EC-1.0 EXISTING FOUNDATION PLAN	REL. 3	
EC-1.1 EXISTING MAIN PLAN	REL. 3	02/12/26
EC-2.0 EXISTING ROOF PLAN	REL. 3	
EC-3.0 EXISTING ELEVATIONS	REL. 3	02/12/26
STRUCTURAL:		
S-0.0 STRUCTURAL NOTES	REL. 3	
S-1.0 FOUNDATION PLAN	REL. 3	02/12/26
S-1.1 MONOLITHIC SLAB DETAIL	REL. 3	02/12/26
S-1.2 UPPER LEVEL FRAMING PLAN	REL. 3	
S-2.0 ROOF FRAMING PLAN	REL. 3	
ARCHITECTURAL:		
A-1.1 MAIN FLOOR PLAN	REL. 3	02/12/26
A-1.2 UPPER LOFT FLOOR PLAN	REL. 3	02/12/26
A-2.0 ROOF PLAN & DETAILS	REL. 3	02/12/26
A-3.0 NORTH WEST ELEVATIONS	REL. 3	02/12/26
A-3.1 EAST & WEST ELEVATIONS	REL. 3	02/12/26
A-6.0 REFLECTED CEILING PLANS	REL. 3	
A-7.0 BUILDING SECTIONS	REL. 3	
A-7.1 BUILDING SECTIONS & DETAILS	REL. 3	

SITE INFO:

VIEW POINT E-BUILDING PERMIT #: _____
PLAT: 30 **LOT:** 155.2
ZONE DISTRICT : R-20
LOT AREA: 28,314 S.F.
FLOOD ZONE : AE, (MIN FLOODING)

ZONING COMPLIANCE
 EXIST NON-CONFORMING LOT (SIDE & REAR YARD SETBACK)
 NO FOOTPRINT EXPANSION IS PROPOSED.
 PROPOSED A.D.U. DIMENSIONAL VARIANCE PENDING
 REFER TO SHEET C-1.1 FOR INFO ON A.D.U. ZONING
 ORDINANCE COMPLIANCE AND VARIANCE REQUEST FOR
 RELIEF OF APPLICABLE MAX ALLOW HIGHT RESTRICTION OF
 17' WHERE PROPOSED AT 25' MAX.
 SEE ZONING CERTIFICATE WHEN ISSUED. REL. 3

FOR ZBR VARIANCE REQUEST

02/12/2026

Joseph N. McPhee, II - Architect
 Planning - Architecture - Design / Build
 20 Westwood Road, Lincoln, RI 02865
 401-632-7255 jmcphearchitect@cox.net

LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

35 DIXIE ROAD
COVENTRY, RHODE ISLAND

Title Sheet

02/12/26

Rel/ Issue Date:

Drawn by: JNM,II Checked by: JNM,II

Scale:

T-1.0



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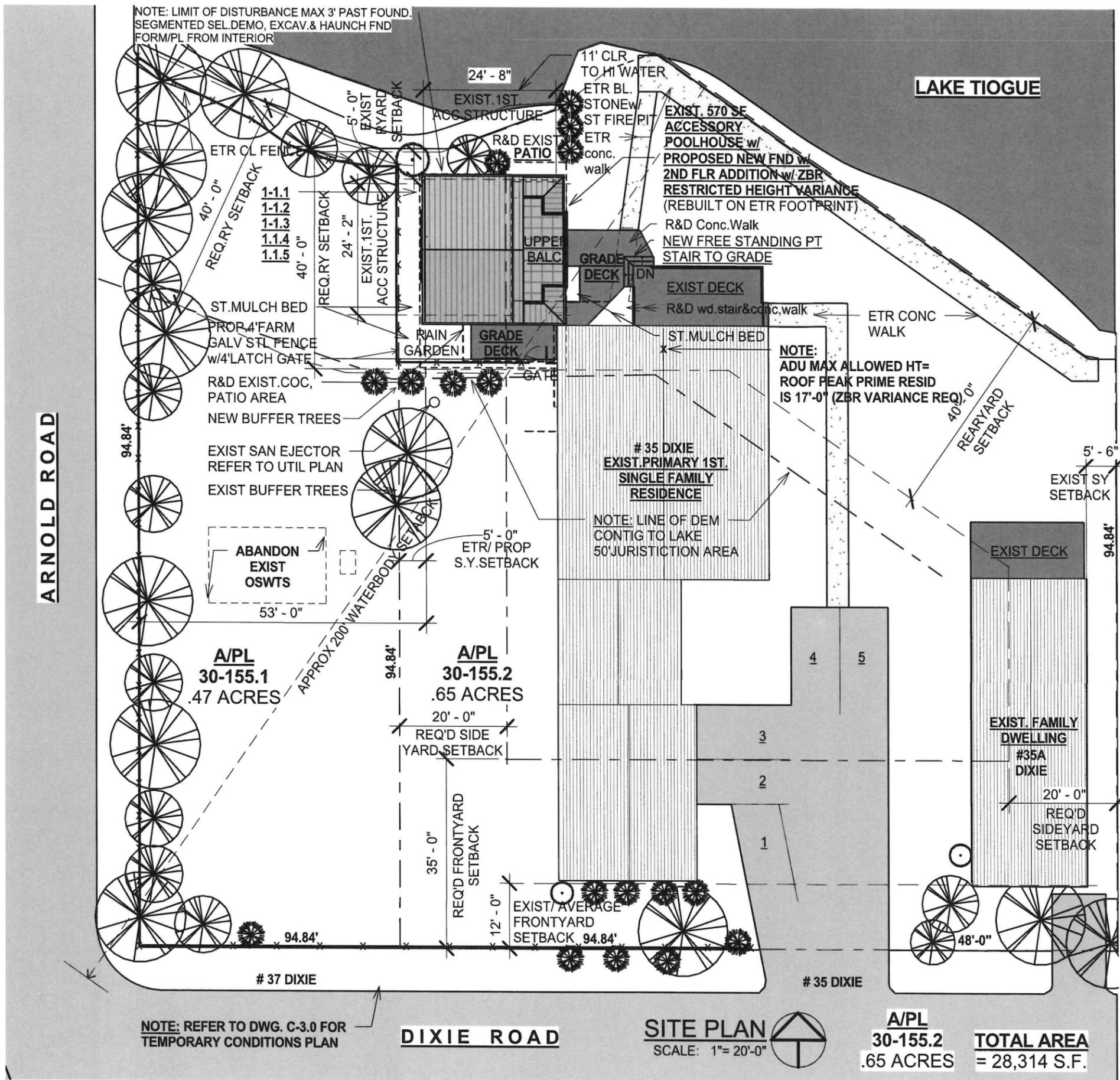
Joseph N. McPhee, II - Architect
 Planning - Architecture - Design / Build
 20 Westwood Road, Lincoln, RI 02865
 401-632-7255 jmcphearchitect@cox.net

LAKESIDE ACCESSORY DWELLING UNIT
 ALTERATIONS & 2ND FLR ADDITION
35 DIXIE ROAD
 COVENTRY, RHODE ISLAND

Site Plan & Notes
 Rel/ Issue Date: 02/12/26
 Drawn by: JNM,II Checked by: JNM,II

Scale: 1" = 20'-0"

C-1.0



S/W VIEW EXIST SITE ACCESSORY

KEY NOTES

- 1-1.1 REMOVE & DISPOSE OF EXIST CONTENTS BY OWNER
- 1-1.2 PROVIDE HAY SOCK, SILT FENCE & SNOW FENCE ENCLOSURE AT DESIGNATED AREA OF DISTURBANCE. MAINTAIN WEEKLY REPLACEMENT & OPNG REFRAMING. REFER TO DWG. G-1.0
- 1-1.3 PROVIDE PERMINANT SHORING FOR INT MAIN BEAM
- 1-1.5 PROVIDE & MAINTAIN TEMP SECURE & ROOF ENCLOSURE REQ'D

R-20 & PROPOSED ADU ZONING RESTRICTIONS

EXISTING NON-CONFORMING LOT BY FRONT, SIDE & REAR YARD SETBACK

Z.O. TABLE 6-7 FOR SF RESIDENCE IN R-20 ZONE

EXISTING NON-CONFORMING LOT OF RECORD,

BULK RESTRICTIONS	REQUIRED	EXIST / PROPOSED
MIN LOT AREA:	20,000 SF	28,314 SF
MIN LOT WIDTH:	120'	142'
MAX HEIGHT:	35'	30'
FRONT YARD SETBACK:	35' (AVE FY12'-0")	16'-6"
MIN SIDE YARD SETBACK	20'	5'-6"
MIN REAR YARD SETBACK	40'	5'

MAXIMUM ALLOWABLE LOT COVERAGE: MAX 20% (CONFORMS)
 PRIME RESID: 2,174 SF+P.R.GAR 720 SF+ PR DECK 264 SF = 3,158 SF
 SECOND RESIDENCE: 924 SF+ SR DECK 396 SF = 1,320 SF
 EXIST ACCESSORY STRUCTURE / PROP A.D.U. = 570 SF
 TOTAL EXIST/ PROPOSED LOT COVERAGE 5,048 SF / 28,314 SF = 17%

PROPOSED ADU: MAX ALLOWED:	PROPOSED
HEIGHT LIMIT:	A. 25' or 25'-0"
	B. HT OF PRIME 17'-0" (8' VARIANCE TO Z.O. REQUESTED)
AREA LIMIT:	A. (2) BED RM ADU = 1,200 SF or
/ASSESSOR	B. #35 = 2,894 SFx60% = 1,736 SF
PROPOSED ADU AREA:	1. ETR MAIN LEVEL 570 SF
	2. PROP. UPPER LEVEL 396 SF
	3. PROP BALCONY 156 SF
(CONFORMS) PROPOSED ADU AREA	= 1,122 SF

REL. 3
FOR ZBR VARIANCE REQUEST

02/12/2026

SITE PLAN
 SCALE: 1"= 20'-0"
A/P L 30-155.2 .65 ACRES
TOTAL AREA = 28,314 S.F.

GENERAL NOTES:

1. THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
8. SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.

SEDIMENT TRAP DIMENSIONS*	TRAP A	B
TRIBUTARY DRAINAGE AREA	1,200SF	20
WET STORAGE DEPTH (D _w)	1	
DRY STORAGE DEPTH (D _d)	1	
TOTAL DEPTH (D)	2	
BOTTOM OF TRAP AREA (A _b)	30SF	
WETTED SURFACE AREA (A _w)	46SF	
SURFACE AREA AT OUTLET (A _d)	60SF	

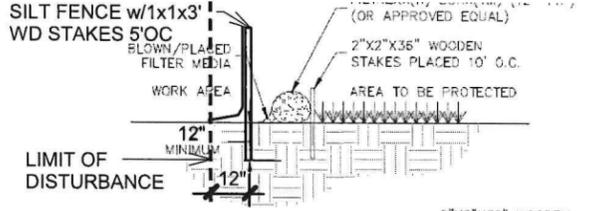
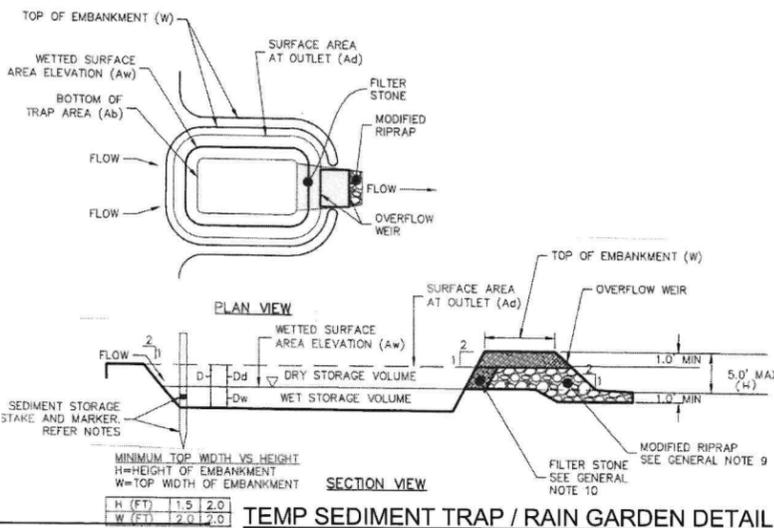
*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

1. CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
5. STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.



TES:
ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

Filtrexx Sediment Control (or Approved Equal)

Soil Erosion Control
DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)

TEMPORARY SEDIMENT TRAP

EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)

LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)

TRIBUTARY AREA TO SESC BMP

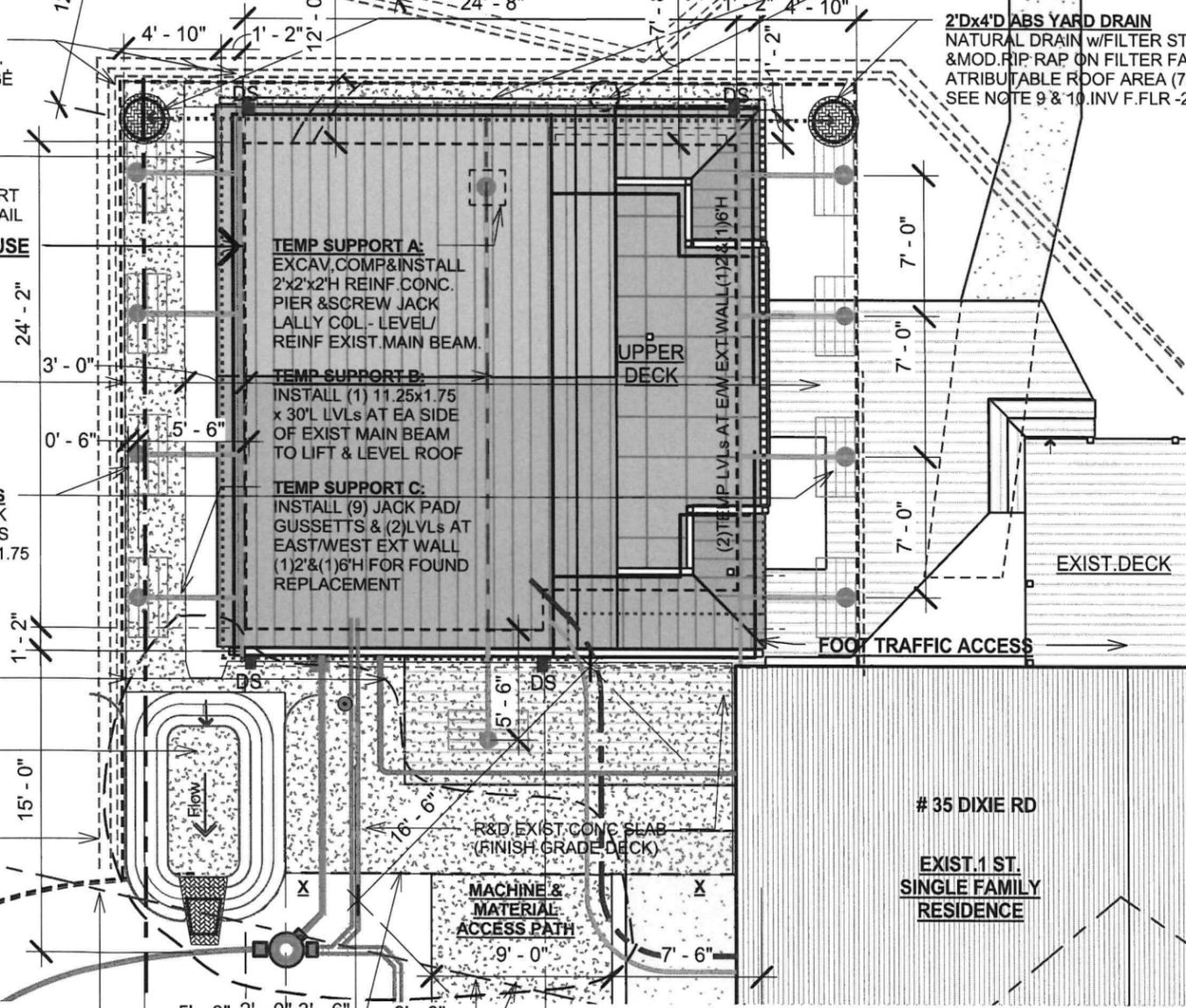
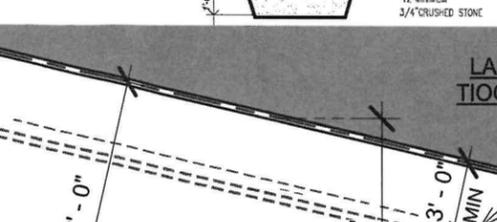
CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)

INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)

FINAL CONTOUR GRADE

INLET SEDIMENT CONTROL

DRYWELL/ YARD DRAIN



Soil Erosion Control Implementation Phasing

- Phase IA - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE R&D EXTERIOR SLAB, INSTALL UTILITIES, BACKFILL
- Phase IB - INSTALL TEMPORARY SEDIMENTATION TRAP, CONSTRUCT CLEAN WATER DIVERSION, INSTALL E/W TEMP GUTTER & TEMP SHORING
- Phase IC - SELECTIVE DEMO, EXCAVATE, 3/4\"/>

LIMIT OF DISTURBANCE LINE (BLACK DASHED LINE) INSTALL/ MAINT DBL DEVICE EROSION CONTROL: (ORANGE DASHED LINE) w/ HAYFILLED SOCK & SILT FENCE SEE DETAIL.

PERFORATED PERIMETER DRAIN
4\"/>

EXIST.1 ST.ACCESSORY POOLHOUSE PROPOSED ADU w/ 2ND FLR ADDITION & ALTS TO ADU

3\"/>

TEMP SHORING PAD/GUSSETT/JACKS
(4) 2\"/>

EXIST 5'D OPEN EXCAVATION TO REMAIN UNTIL AFTER UTILITY INSTALLATION IS COMPLETE

TEMP SEDIMENT TRAP A
RESHAPE EXIST. EXCAV. FOR TEMP SEDIMENT TRAP 30SF SEE DETAIL C-2.3

RESTORATION:
AT SUBSTANTIAL COMPLETION: INSTALL 1\"/>

TEMP SITE ACCESS PATHWAY
COMPACT EXIST. ORGANIC TOPSOIL. INSTALL 8\"/>

TREE PROTECTION
PROTECT TRUNKS OF (2) 24\"/>

NOTE: GEN COND. ORDER OF OPS: INSTALL ACCESS PATH TO X/X, EROSION CONTROL & R/D EXT. SLAB 1ST, THEN UTILITIES, BACKFILL, THEN FORM SEDIMENT TRAP & SURROUND PATHS PRIOR TO SHORING & SEL DEMO.

SITE TEMP COND PLAN
SCALE: 1/8\"/>

REL. 3
FOR ZBR VARIANCE REQUEST
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LAKESIDE ACCESSORY DWELLING UNIT
ALTERATIONS & 2ND FLR ADDITION
35 DIXIE ROAD
COVENTRY, RHODE ISLAND

TEMP COND SITE PLAN
Rel/ Issue Date: 02/25/25
Drawn by: JNM, II Checked by: JNM, II

Scale: 1/8\"/>

C-2.0



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LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

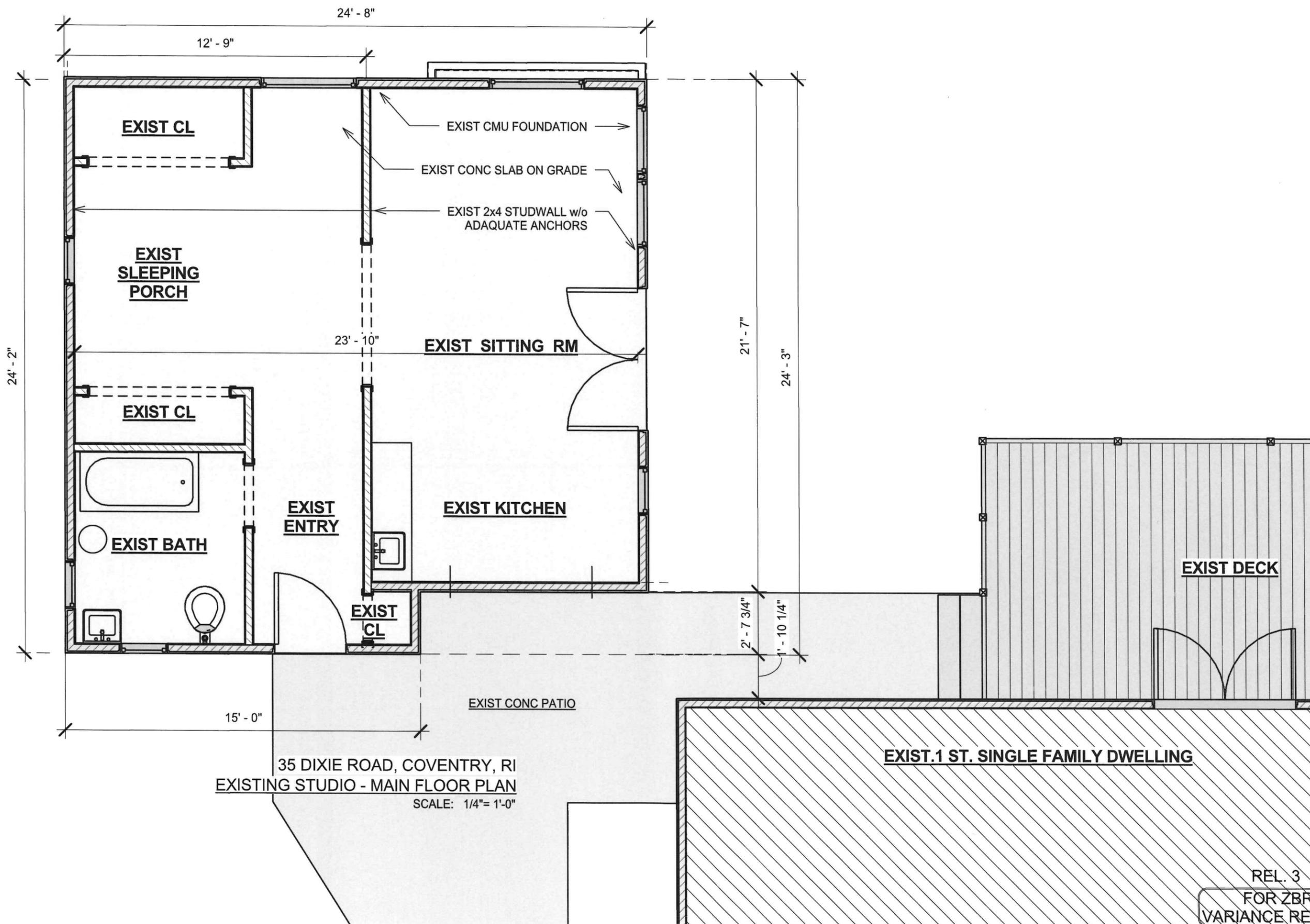
35 DIXIE ROAD
COVENTRY, RHODE ISLAND

Existing Main Floor Plan

Rel/ Issue Date: 06/15/18

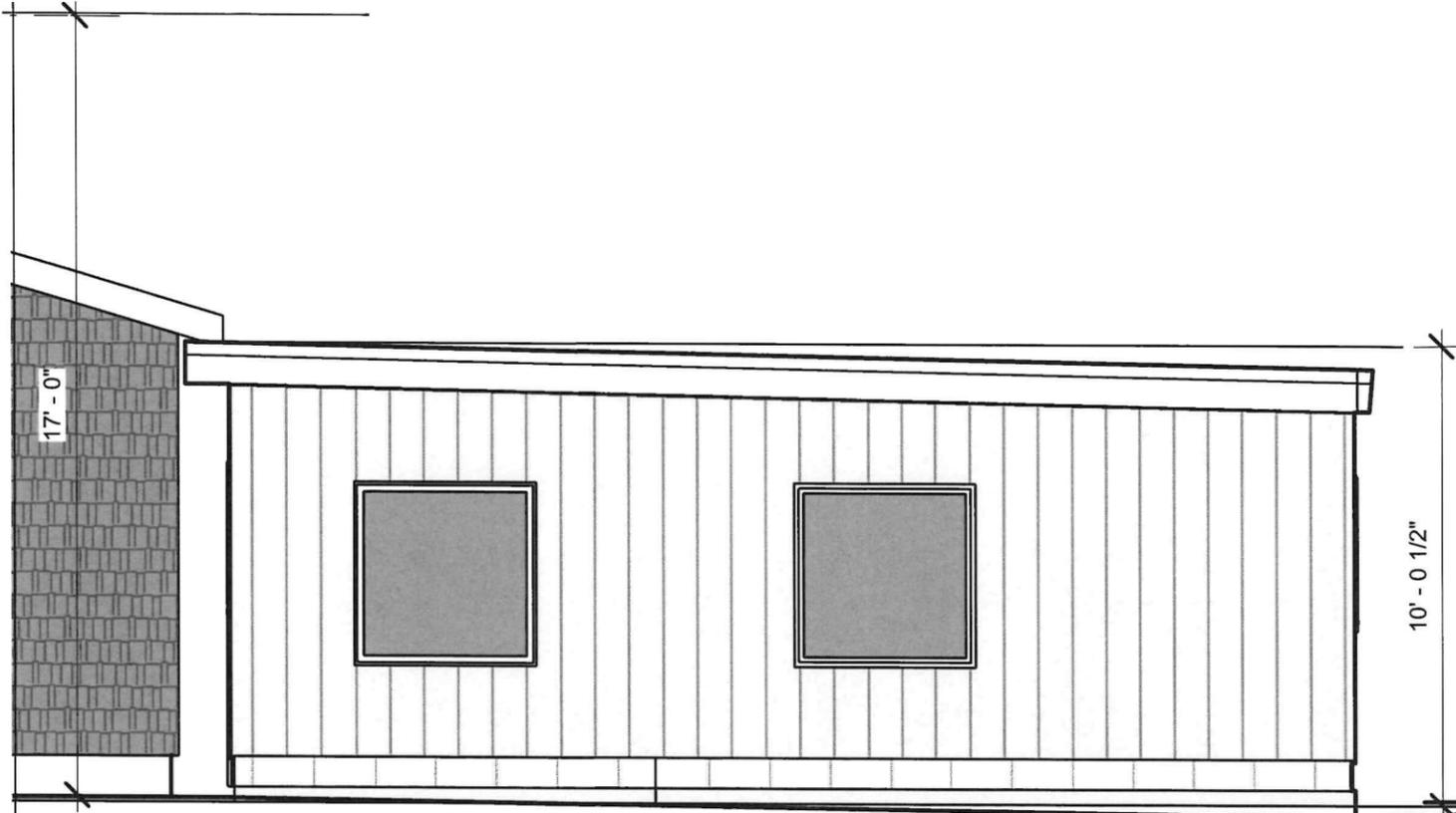
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Scale: 1/4" = 1'-0"

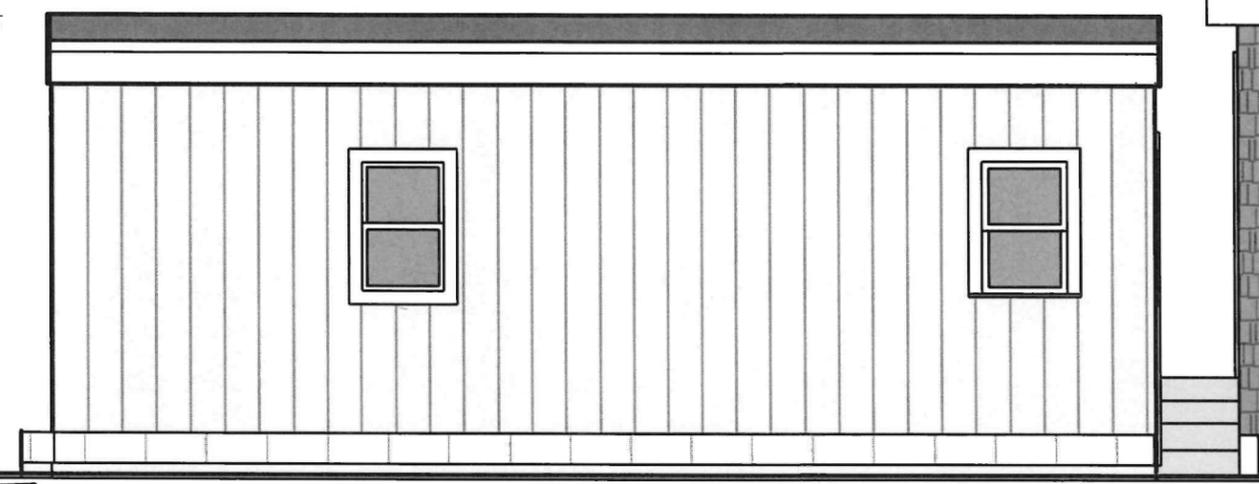


35 DIXIE ROAD, COVENTRY, RI
EXISTING STUDIO - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

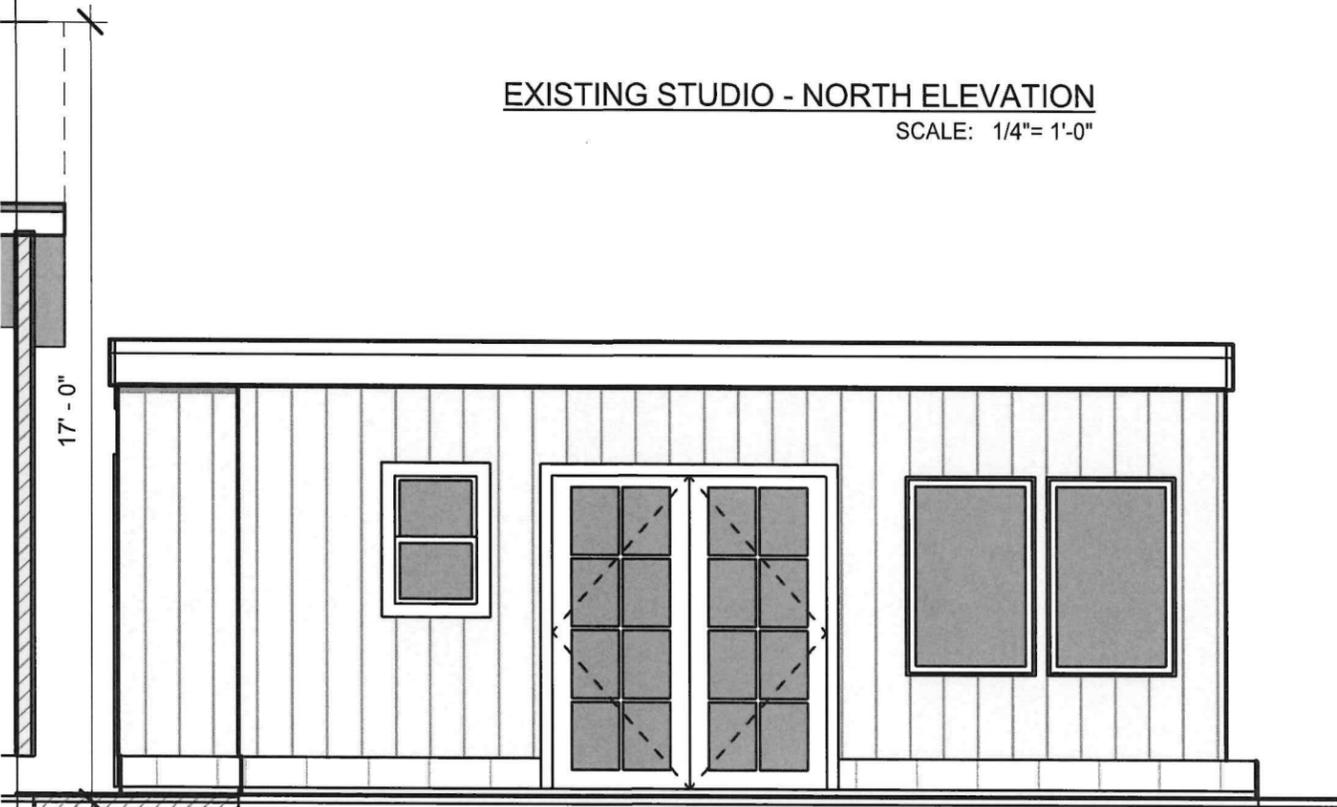
REL. 3
FOR ZBR
VARIANCE REQUEST **EC-1.1**
02/12/2026



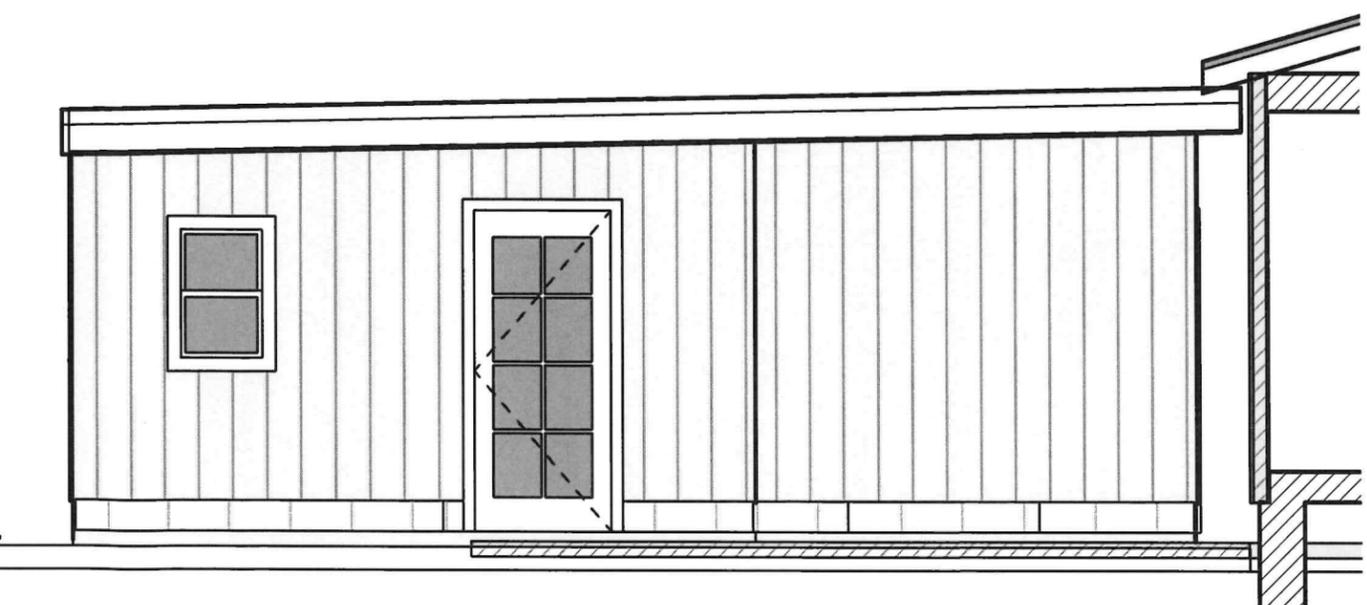
EXISTING STUDIO - NORTH ELEVATION
SCALE: 1/4"= 1'-0"



EXISTING STUDIO - WEST ELEVATION
SCALE: 1/4"= 1'-0"



EXISTING STUDIO - EAST ELEVATION
SCALE: 1/4"= 1'-0"



EXISTING STUDIO - SOUTH ELEVATION
SCALE: 1/4"= 1'-0"



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LAKESIDE ACCESSORY DWELLING UNIT
ALTERATIONS & 2ND FLR ADDITION
35 DIXIE ROAD
 COVENTRY, RHODE ISLAND

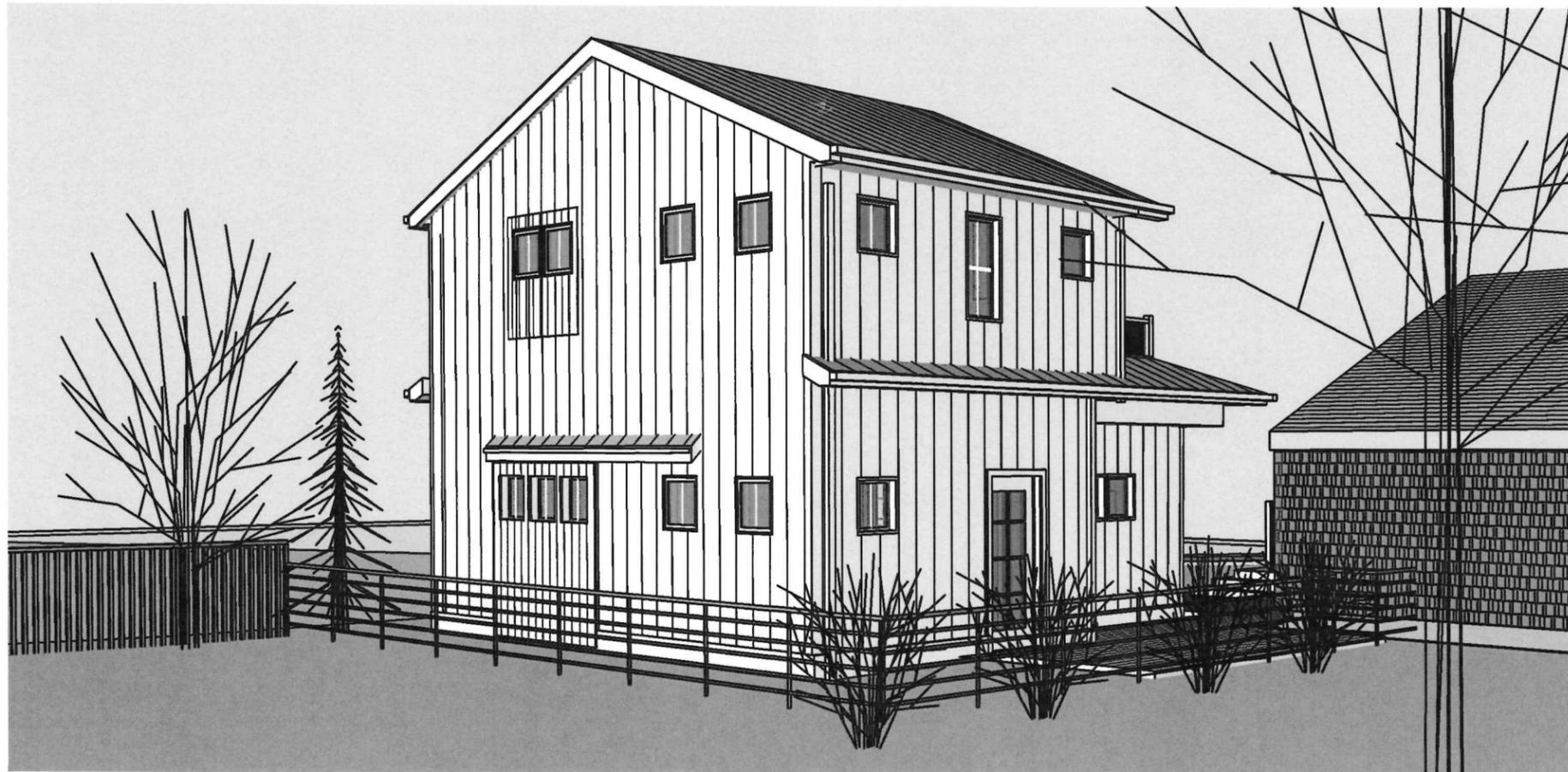
Existing Elevations
 Rel/ Issue Date: 02/12/26
 Drawn by: JNM,II Checked by: JNM,II

Scale: As indicated

REL. 3
 FOR ZBR
 VARIANCE REQUEST **EC-3.0**
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① A.D.U. - NORTH / EAST VIEW



② A.D.U. - SOUTH / WEST VIEW



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LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

35 DIXIE ROAD
COVENTRY, RHODE ISLAND

3D Exterior Views

Rel/ Issue Date: 02/10/25

Drawn by: JNM,II Checked by: JNM,II

Scale:

REL. 3
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VARIANCE REQUEST

A-0.0

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LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

35 DIXIE ROAD
COVENTRY, RHODE ISLAND

Main Plan

Rel/ Issue Date: 02/12/26

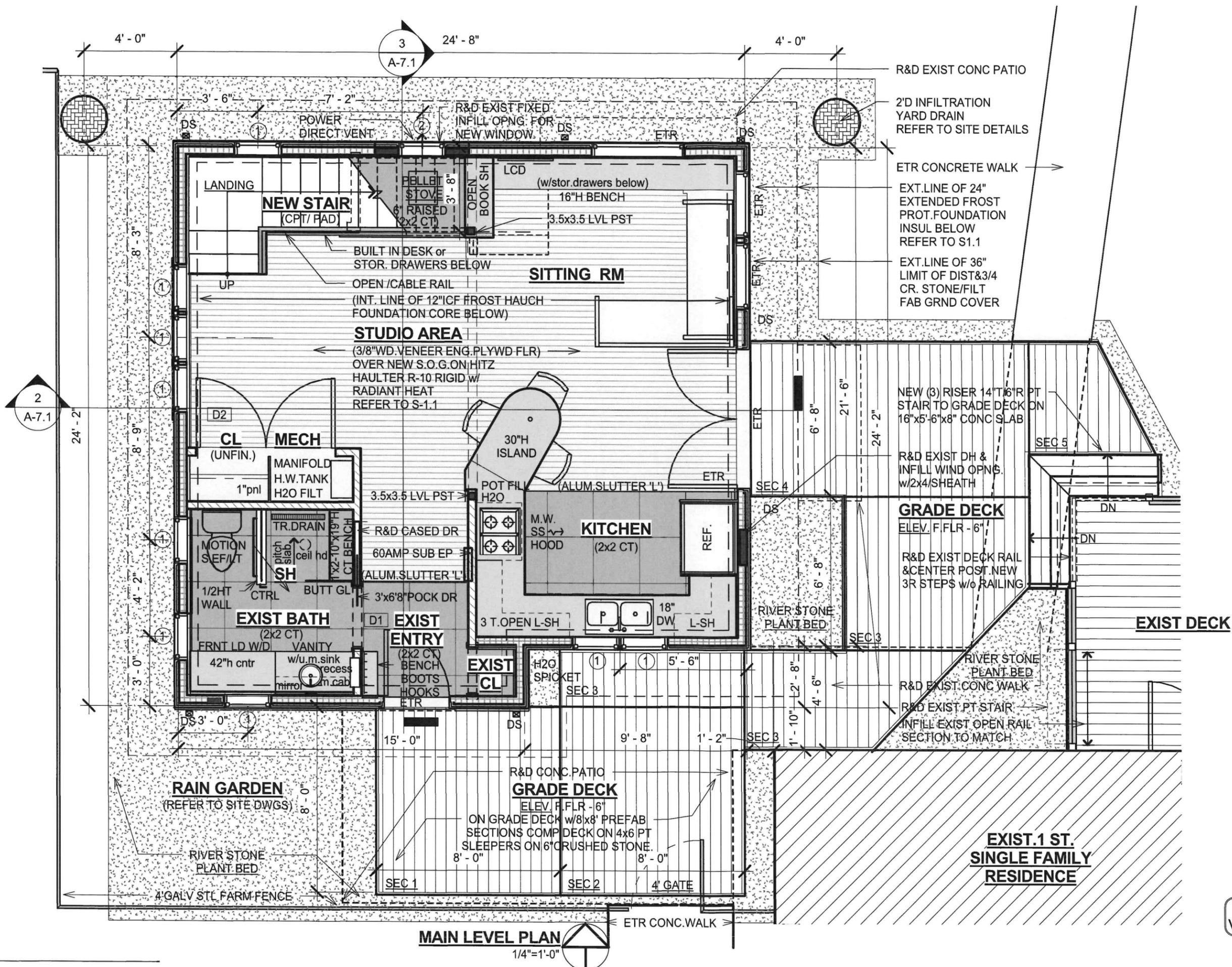
Drawn by: JNM,II Checked by: JNM,II

Scale: 1/4" = 1'-0"

REL. 3
FOR ZBR
VARIANCE REQUEST

A-1.1

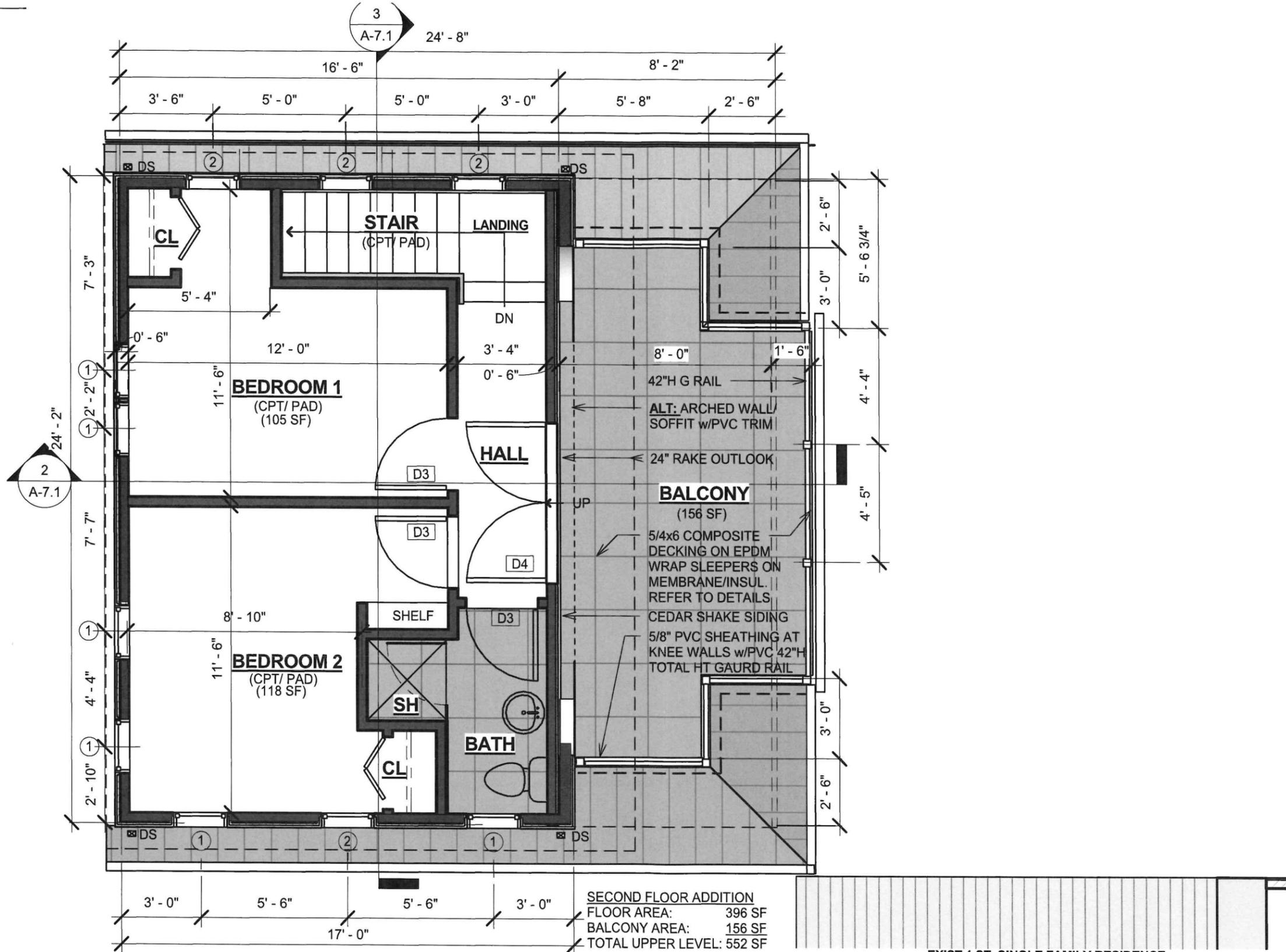
02/12/2026



MAIN LEVEL PLAN

1/4"=1'-0"

EXIST. 1 ST.
SINGLE FAMILY
RESIDENCE



UPPER LEVEL PLAN
SCALE: 1/4"=1'-0"

EXIST.1 ST. SINGLE FAMILY RESIDENCE



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LAKESIDE ACCESSORY DWELLING UNIT
 ALTERATIONS & 2ND FLR ADDITION
 35 DIXIE ROAD
 COVENTRY, RHODE ISLAND

Upper Level
 Rel/ Issue Date: 02/12/26
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Scale: 1/4" = 1'-0"

REL. 3
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 VARIANCE REQUEST
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A-1.2



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LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

35 DIXIE ROAD
COVENTRY, RHODE ISLAND

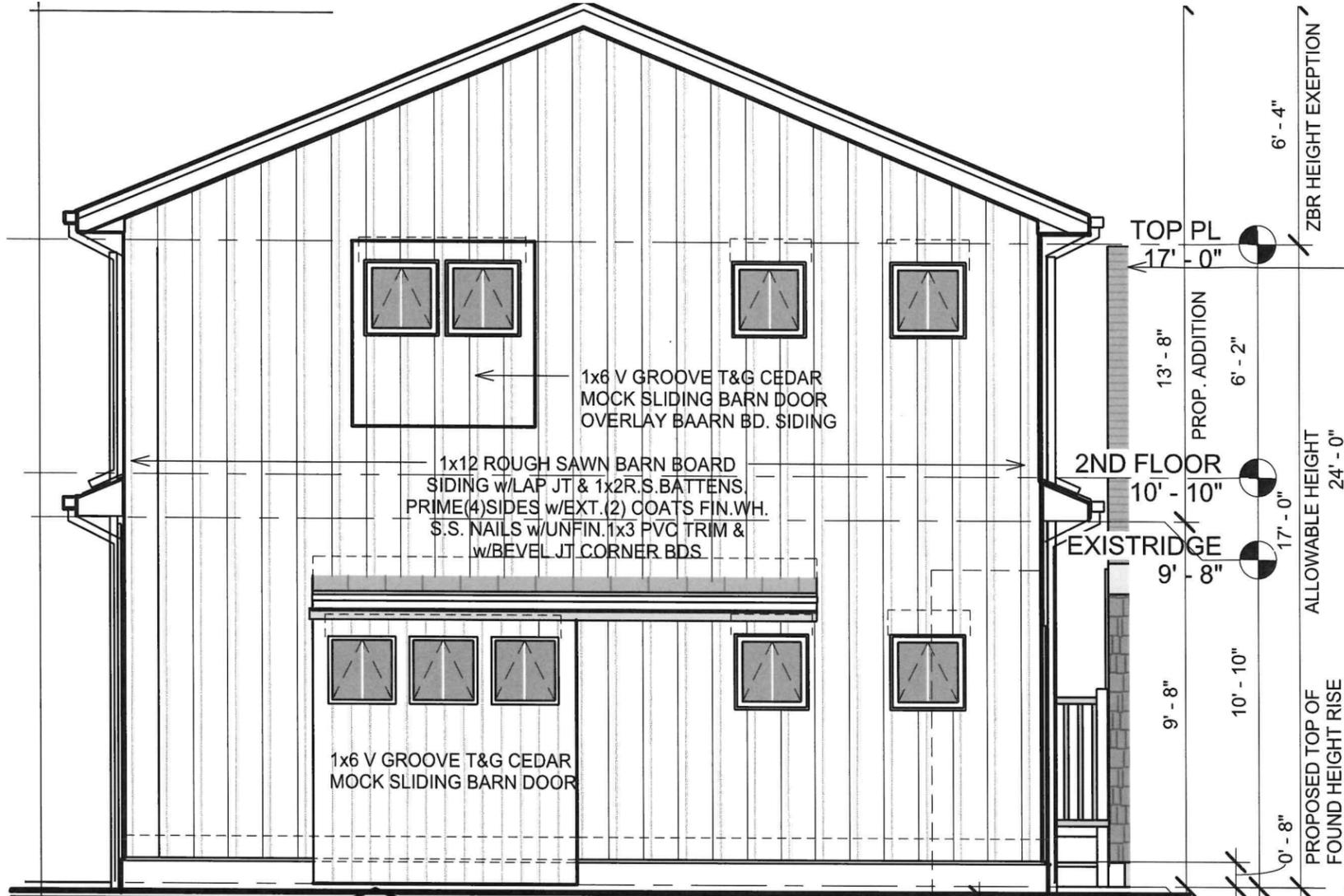
North/ West Elevations

Rel/ Issue Date: 02/12/26

Drawn by: JNM,II Checked by: JNM,II

Scale: 1/4" = 1'-0"

A-3.0



WEST ELEVATION
SCALE: 1/4" = 1'-0"

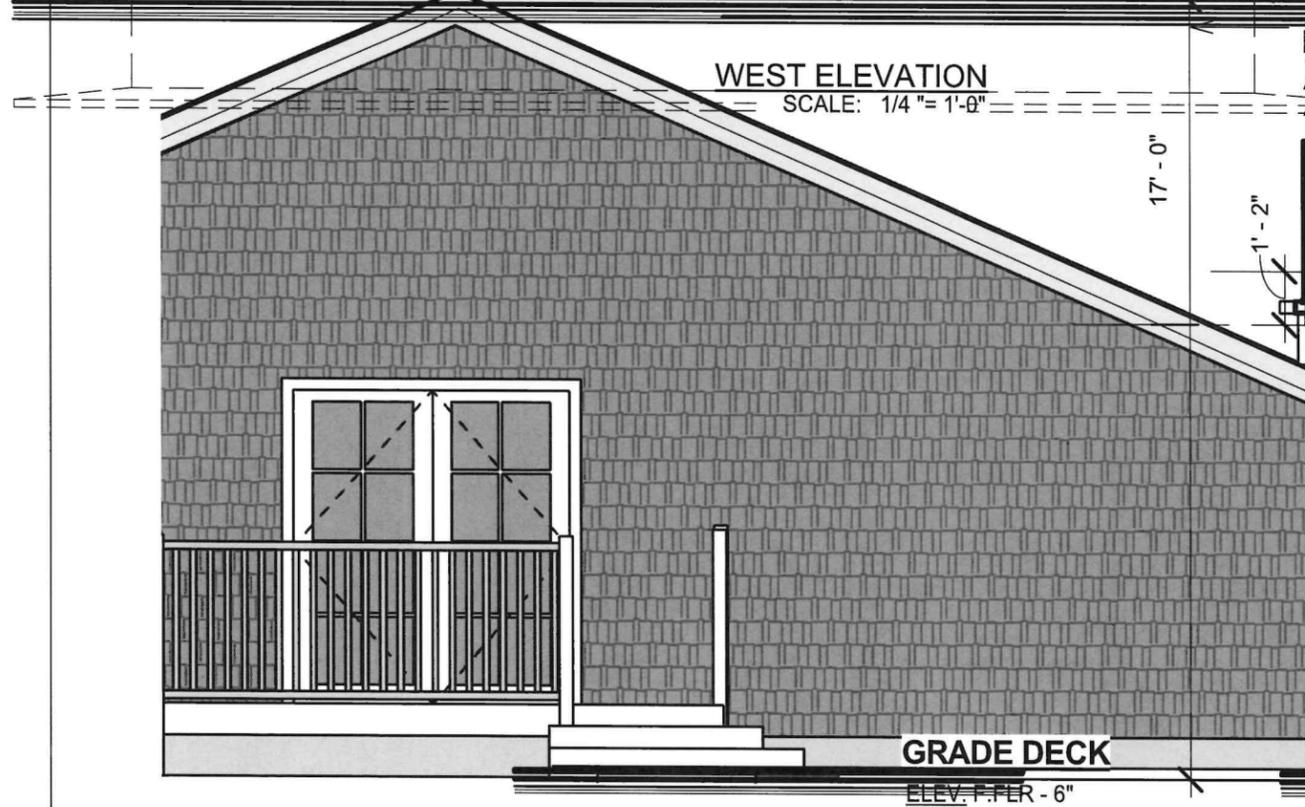
EXIST PRIME DWELLING
ROOF HEIGHT OF 17'-0"
IS APPLICABLE ADU RESTRICTION

PROPOSED HEIGHT
ALLOWABLE HEIGHT
24'-0"

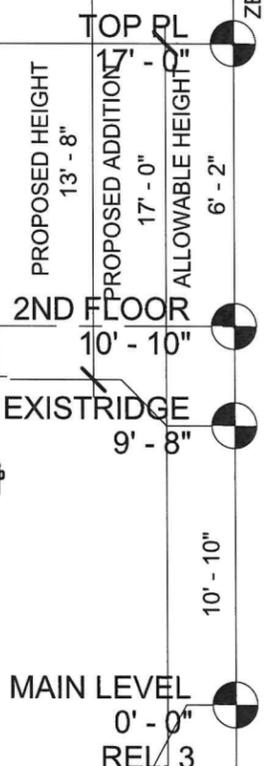
PROPOSED TOP OF
FOUND HEIGHT RISE

PROPOSED TOP OF
FOUND HEIGHT RISE

MAIN LEVEL
APPLICABLE ADU RESTRICTION
0'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



MAIN LEVEL
0'-0"
REL. 3

EXISTRIDGE
9'-8"

2ND FLOOR
10'-10"

PROPOSED HEIGHT
13'-8"
PROPOSED ADDITION
17'-0"
ALLOWABLE HEIGHT
6'-2"
ZBR HEIGHT EXCEPTION
6'-4"

FOR ZBR
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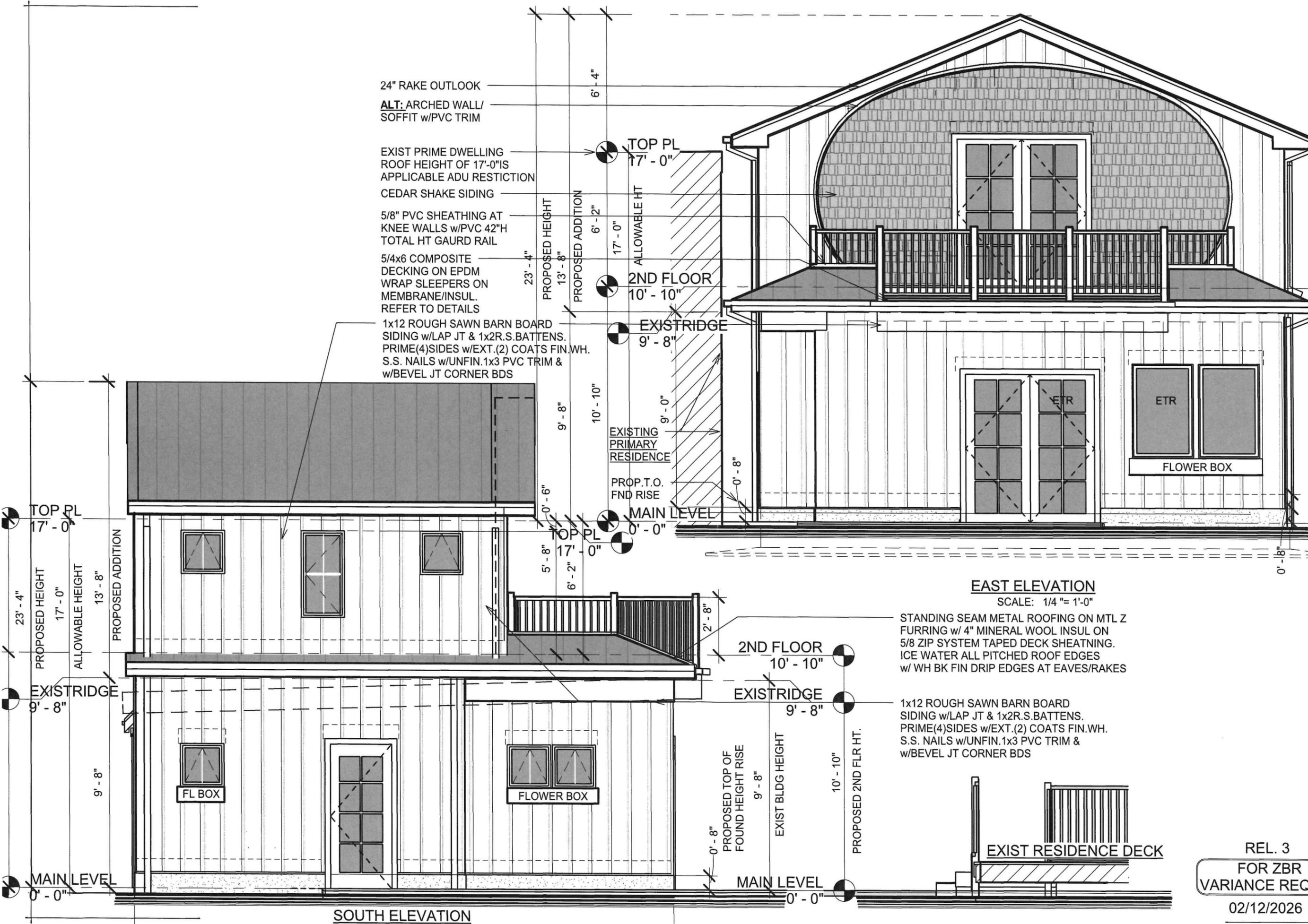
LAKESIDE ACCESSORY DWELLING UNIT
ALTERATIONS & 2ND FLR ADDITION
35 DIXIE ROAD
COVENTRY, RHODE ISLAND

South & East Elevations
Rel/ Issue Date: 02/12/26
Drawn by: JNM,II Checked by: JNM,II

Scale: 1/4" = 1'-0"

REL. 3
FOR ZBR
VARIANCE REQUEST
02/12/2026

A-3.1



24° RAKE OUTLOOK
ALT: ARCHED WALL/
SOFFIT w/PVC TRIM

EXIST PRIME DWELLING
ROOF HEIGHT OF 17'-0"
APPLICABLE ADU RESTICTION
CEDAR SHAKE SIDING

5/8" PVC SHEATHING AT
KNEE WALLS w/PVC 42"H
TOTAL HT GAURD RAIL

5/4x6 COMPOSITE
DECKING ON EPDM
WRAP SLEEPERS ON
MEMBRANE/INSUL.
REFER TO DETAILS

1x12 ROUGH SAWN BARN BOARD
SIDING w/LAP JT & 1x2R.S.BATTENS.
PRIME(4)SIDES w/EXT.(2) COATS FIN.WH.
S.S. NAILS w/UNFIN.1x3 PVC TRIM &
w/BEVEL JT CORNER BDS

TOP PL
17' - 0"

2ND FLOOR
10' - 10"

EXISTRIDGE
9' - 8"

MAIN LEVEL
0' - 0"

EXISTING
PRIMARY
RESIDENCE

PROP.T.O.
FND RISE

TOP PL
17' - 0"

PROPOSED HEIGHT
23' - 4"

ALLOWABLE HEIGHT
17' - 0"

PROPOSED ADDITION
13' - 8"

EXISTRIDGE
9' - 8"

9' - 8"

MAIN LEVEL
0' - 0"

PROPOSED HEIGHT
23' - 4"

PROPOSED ADDITION
13' - 8"

PROPOSED HEIGHT
17' - 0"

ALLOWABLE HT
17' - 0"

9' - 8"

10' - 10"

5' - 8"

6' - 2"

17' - 0"

0' - 0"

0' - 0"

0' - 0"

0' - 8"

0' - 8"

2' - 8"

2ND FLOOR
10' - 10"

EXISTRIDGE
9' - 8"

PROPOSED TOP OF
FOUND HEIGHT RISE
0' - 8"

EXIST BLDG HEIGHT
9' - 8"

PROPOSED 2ND FLR HT.
10' - 10"

MAIN LEVEL
0' - 0"

EAST ELEVATION

SCALE: 1/4" = 1'-0"

STANDING SEAM METAL ROOFING ON MTL Z
FURRING w/ 4" MINERAL WOOL INSUL ON
5/8 ZIP SYSTEM TAPED DECK SHEATHING.
ICE WATER ALL PITCHED ROOF EDGES
w/ WH BK FIN DRIP EDGES AT EAVES/RAKES

1x12 ROUGH SAWN BARN BOARD
SIDING w/LAP JT & 1x2R.S.BATTENS.
PRIME(4)SIDES w/EXT.(2) COATS FIN.WH.
S.S. NAILS w/UNFIN.1x3 PVC TRIM &
w/BEVEL JT CORNER BDS

EXIST RESIDENCE DECK

SOUTH ELEVATION



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STRUCTURAL SPECIFICATION & GENERAL NOTES:

DIVISION 3 CONCRETE

- 03100 CONCRETE TRADE CONTRACTOR
- 03-210 REINFORCING STEEL - FURNISH
- 03-305 CONC SLAB ON GRADE INTERIOR
- 03900 CONCRETE READY MIX
- 03-100 CONCRETE FORMWORK
- 03-211 REINFORCING STEEL - INSTALL
- 03309 CONCRETE SLAB ON GRADE SITE

CONCRETE SPECIFICATION:

1. Weather probability: NORMAL
2. Additives: For floor slab, exterior aprons, retaining walls or any other concrete work exposed to chemicals, additives not to exceed percentage total weight of material shown:
 - A) Fly ash or other Pozzolans conforming to ASTM C618 25% b) SMCA fume conforming to ASTM c 1240 10% c) slag conform to ASTM c 989 50% d) total fly ash /other Pozzolans, slag Silica fume 50%) total of fly ash /other Pozzolans & Silica fume 35%
3. Concrete strength: All C.I.P. shall contain Portland cement type I or II & slabs type II.

Required strength at 28 days as follows:

- A) Footings 3500 psi min
- B) Stem walls 3500 psi min
- C) Interior slabs 3500 psi min
- D) Exterior walls slabs & flatwork 4000 psi min
- E) Retaining walls 3,500 psi min
- F) Special exposure conditions: As noted

5. Admixtures

- A) Air-entrainment all exterior flat work including walls 7% ± 1.5%
- B) Maximum chloride ion content percent by weight of cement 0.30%
- C) Maximum chloride ion content percent by weight of cement 0.15% For slabs or aprons subject to deicing chemicals
- D) Interior slabs do not require air-entrainment
- 6. Quality concrete production facility to provide documentation that cast-in-place concrete strength will meet or exceed minimum specified values in accordance with AO 318, section 5.3 and those Tested under item 4 above

7. Form work & curing

- A) Form work shall comply with ACI 347 and IBC section 1906
- B) For cold weather concrete work, ref ACI 306.1 when average daily temperatures drop below 40° for three consecutive days, care must be taken to protect concrete from reaching sub-freezing. Temperatures during the first three days by the use of curing blankets, foam insulation board, hay and earth, but not limited to these techniques
- C) Forms to remain in place for added freeze protection a min of 3-4 days for cold weather concrete work.
- D) During the protection period, the temperature of concrete is to be maintained at a minimum of 55°F.
- E) The protection period may be reduced to two days if type III Portland cement is used, or an approved accelerant, including the addition of (100 LB/CY of cement.
- F) The addition of chloride is limited to levels indicated in above item 5 & not to be exceeded.
- G) For air-entrained stem walls, care should be taken not to allow a freeze thaw cycle within the first 28 days: protect exposed stems from freezing as noted in item above.

8. Reinforcement

- A) Reinforcement shall meet the requirements of IBC section 1907
- B) Minimum bend diameters per ACI 318, section 7.2 and as noted on the drawings
- C) Minimum concrete cover shall be as follows:

Cast against permanently exposed to earth:	3 inches
Exposed to earth or weather:	2 inches
Not exposed to weather or in contact with earth:	1 1/2 inches
For Slabs & wall not exposed to weather:	3/4 inches
- D) All Reinforcing Steel to be ASTM A615 stD specification for deformed and plain bars grade 60, except ties can be grade 40
- F) Welded wire fabric shall conform to ASTM to ASTM A185, 70 KSI, sheets only, Welding of rods and wire is prohibited.

- G) All reinforcement shall be properly placed and properly supported by bolsters, chairs or other means & inspected by ARCH/CODE OFFICIAL before pouring concrete.

H) Minimum lap splice for rod development is 50 times the bar diameter, unless specified otherwise WWF shall be lapped at:

- a) Minimum of two wire spacing but no less than 12 inches.
 - b) Stagger lap splice locations between adjacent bars.
 - c) Provide continuous reinforcement at corners using corner splice.

9. Anchor Rods of diameters noted shall conform to ASTM F1554 Grade 55, with thread class 2A nuts conform to ASTM A563, heavy hex, galv. washers conform to ASTM F 436, galvanized test nuts to run up threads.

- A) Cast in place anchor bolts to be fully tightened after concrete has cured to 28 day strength and not before.
 - B) Base plates must be in direct contact with leveled concrete, cast-in-place steel bolt template or non-shrink high strength grout.
 - C) Embedment depth is measured from top of concrete to the top of the headed washer.
 - D) All other embedded metals shall conform to ASTM A36, HDG or that approved by the Arch for substitution
- Big foot spread footing forms w/ minimum footing surface area of 4 s.f.

DIVISION 6 WOOD & PLASTICS- SECTION 05100 ROUGH CARPENTRY & PRESSURE TREATED WOOD

KD framing, Engineered Framing Materials: TJs, Eng'd Rim, LVLs, LVL Posts, Submittal req'd), 3/4" Advantech T&G decking, (screw & PL glue), 3/8" Luan underlayment, ZIP Wall Exterior Wall Sheathing & joint seam tape, CDX APA Rated plywood Roof Sheathing, (1/2" if framed 16" o.c. /5/8" if 2" o.c.), Composite decking & fasteners, WOOD BLOCKING, GROUNDS AND AIR INFILTRATION BARRIERS

FRAMING

1. All framing shall be as per the Drawings and these specifications, and shall exceed all applicable codes. **At the option of the framing contractor** Wall & floor Framing shall be to fullest extent possible "stacked". All framing stock shall be new and of minimum #1 construction grade kiln-dried hem/fir or architect approved equal, unless otherwise noted, agreed upon or required by building codes or officials.

2. **For all engineered lumber**(including Truss Joist, Rim Joist, LVL & trusses), **provide material supplier material & layout shop dwgs & fastener cuts to GC & architect for review, & approval a minimum of 1 week prior to material order/ or any deliveries to site.** All structural & non-structural framing shall have max spacing 24" O.C. unless otherwise noted.

3. All windows, door and other wall openings shall have double framing to include: king studs, jack or trimmer studs; all partition wall ends not secured to a perpendicular wall shall have double studs at the termination point. All bearing walls shall be insulated per insulation sched. or approved equal in no case less than minimum of (2) 2x 10 headers with fully in-filled plywood flitch plates, or greater, as may be indicated on the Drawings, or as may be required by codes and building officials. Window and door openings at non-bearing exterior walls shall be framed with headers or with cripple studs to allow for installation of insulation at these areas. All headers or beams installed at structural walls shall be sized to exceed building codes, or as indicated on the Drawings, whichever is greater. All headers or beams over 4'-0" in length shall bear on a minimum of (2) 2" x 4" studs; or the dimensions as may be required by wall construction.

4. All intersecting walls shall be securely nailed to partition posts or blocking installed between studs at exterior walls to allow for the installation of insulation at these areas. A "plumbing wall" of minimum 5-1/2 inches depth shall be provided at all baths, or a depth as may be required for the proper installations of vent lines; corner returns shall be provided as may be required for the proper installation of gypsum materials.

5. Blocking shall be provided for the proper support of all wall cabinets, towel bars, paper holders, shelving, handrails or any other wall mounted- accessories.

6. All porch framing including ledgers, joists, and stringers, shall be of minimum #2 grade pressure-treated stock, unless otherwise noted; all porch decking, stair treads and risers shall be minimum of #1 grade pressure-treated stock, or as is shown on the plan; an exposed treated stock shall be installed so as to minimize the amount of visible knots, waning, cracks or defects.

7. **No badly broken, split, crooked, or warped framing materials shall be allowed.**

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LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

35 DIXIE ROAD
COVENTRY, RHODE ISLAND

Structural Notes

02/25/25

Rel/ Issue Date:

Drawn by: JNM,II Checked by: JNM,II

Scale:

REL. 3
FOR ZBR
VARIANCE REQUEST

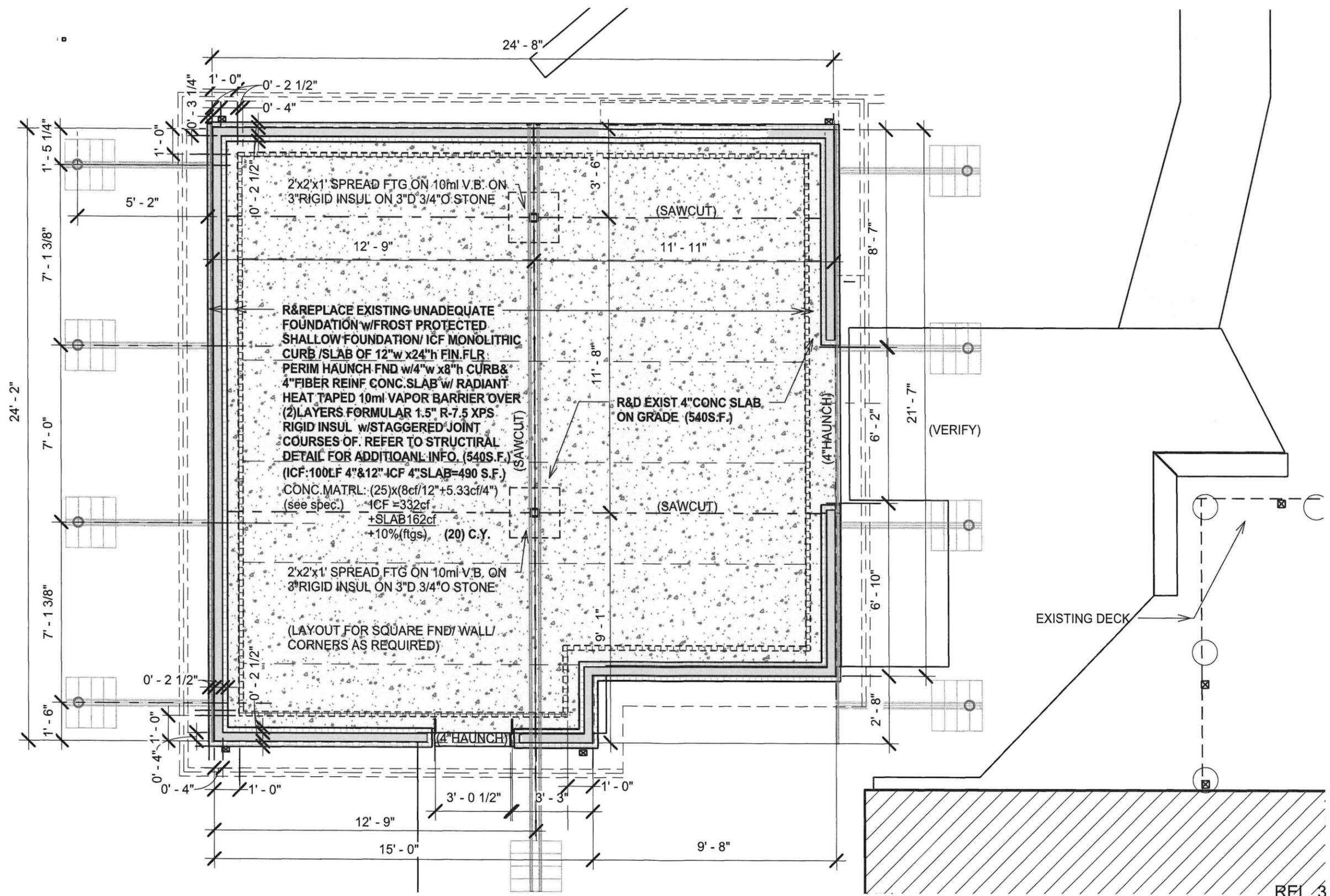
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

REL. 3
FOR ZBR
VARIANCE REQUEST
02/12/2026

LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

35 DIXIE ROAD
COVENTRY, RHODE ISLAND

Foundation Plan

Rel/ Issue Date: 02/25/25

Drawn by: JNM,II Checked by: JNM,II

Scale: 1/4" = 1'-0"

S-1.0



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LAKESIDE ACCESSORY DWELLING UNIT

ALTERATIONS & 2ND FLR ADDITION

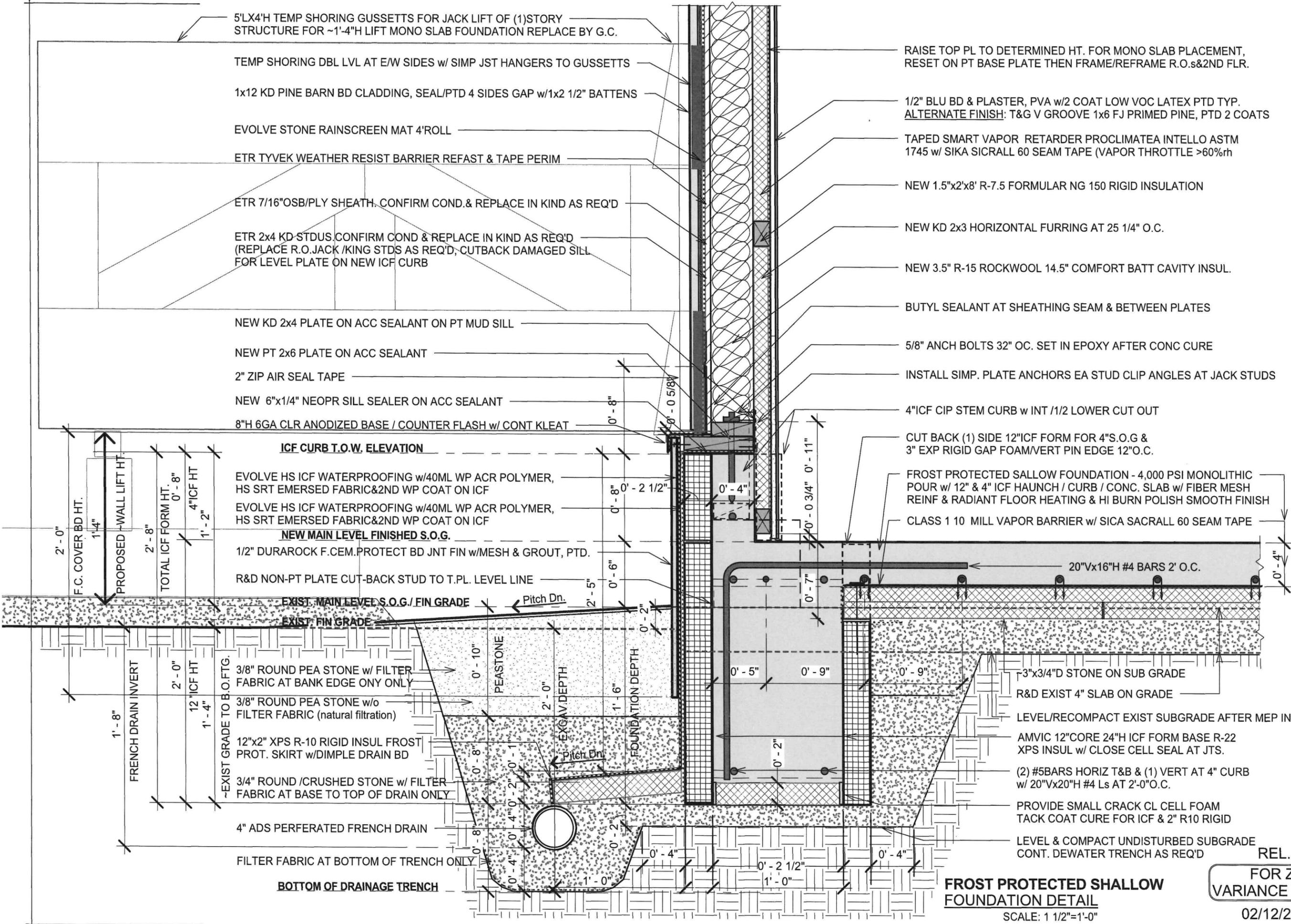
35 DIXIE ROAD
COVENTRY, RHODE ISLAND

Monolithic slab/wall Detail

Rel/ Issue Date: 02/12/25

Drawn by: JNM,II Checked by: JNM,II

Scale: 1 1/2" = 1'-0"



5'Lx4'H TEMP SHORING GUSSETTS FOR JACK LIFT OF (1) STORY STRUCTURE FOR ~1'-4" H LIFT MONO SLAB FOUNDATION REPLACE BY G.C.

TEMP SHORING DBL LVL AT E/W SIDES w/ SIMP JST HANGERS TO GUSSETTS

1x12 KD PINE BARN BD CLADDING, SEAL/PTD 4 SIDES GAP w/1x2 1/2" BATTENS

EVOLVE STONE RAINSCREEN MAT 4'ROLL

ETR TYVEK WEATHER RESIST BARRIER REFAST & TAPE PERIM

ETR 7/16" OSB/PLY SHEATH, CONFIRM COND. & REPLACE IN KIND AS REQ'D

ETR 2x4 KD STDUS, CONFIRM COND & REPLACE IN KIND AS REQ'D (REPLACE R.O. JACK / KING STDS AS REQ'D, CUTBACK DAMAGED SILL FOR LEVEL PLATE ON NEW ICF CURB

NEW KD 2x4 PLATE ON ACC SEALANT ON PT MUD SILL

NEW PT 2x6 PLATE ON ACC SEALANT

2" ZIP AIR SEAL TAPE

NEW 6"x1/4" NEOPR SILL SEALER ON ACC SEALANT

8"H 6GA CLR ANODIZED BASE / COUNTER FLASH w/ CONT KLEAT

RAISE TOP PL TO DETERMINED HT. FOR MONO SLAB PLACEMENT, RESET ON PT BASE PLATE THEN FRAME/REFRAME R.O.s&2ND FLR.

1/2" BLU BD & PLASTER, PVA w/2 COAT LOW VOC LATEX PTD TYP. ALTERNATE FINISH: T&G V GROOVE 1x6 FJ PRIMED PINE, PTD 2 COATS

TAPED SMART VAPOR RETARDER PROCLIMATEA INTELLO ASTM 1745 w/ SIKA SICRALL 60 SEAM TAPE (VAPOR THROTTLE >60%rh

NEW 1.5"x2"x8' R-7.5 FORMULAR NG 150 RIGID INSULATION

NEW KD 2x3 HORIZONTAL FURRING AT 25 1/4" O.C.

NEW 3.5" R-15 ROCKWOOL 14.5" COMFORT BATT CAVITY INSUL.

BUTYL SEALANT AT SHEATHING SEAM & BETWEEN PLATES

5/8" ANCH BOLTS 32" OC. SET IN EPOXY AFTER CONC CURE

INSTALL SIMP. PLATE ANCHORS EA STUD CLIP ANGLES AT JACK STUDS

ICF CURB T.O.W. ELEVATION

EVOLVE HS ICF WATERPROOFING w/40ML WP ACR POLYMER, HS SRT EMERSED FABRIC&2ND WP COAT ON ICF

EVOLVE HS ICF WATERPROOFING w/40ML WP ACR POLYMER, HS SRT EMERSED FABRIC&2ND WP COAT ON ICF

NEW MAIN LEVEL FINISHED S.O.G.

1/2" DURAROCK F.CEM.PROTECT BD JNT FIN w/MESH & GROUT, PTD.

R&D NON-PT PLATE CUT-BACK STUD TO T.PL. LEVEL LINE

EXIST. MAIN LEVEL S.O.G./ FIN GRADE

3/8" ROUND PEA STONE w/ FILTER FABRIC AT BANK EDGE ONLY ONLY

3/8" ROUND PEA STONE w/o FILTER FABRIC (natural filtration)

12"x2" XPS R-10 RIGID INSUL FROST PROT. SKIRT w/DIMPLE DRAIN BD

3/4" ROUND /CRUSHED STONE w/ FILTER FABRIC AT BASE TO TOP OF DRAIN ONLY

4" ADS PERFERATED FRENCH DRAIN

FILTER FABRIC AT BOTTOM OF TRENCH ONLY

4" ICF CIP STEM CURB w INT 1/2 LOWER CUT OUT

CUT BACK (1) SIDE 12" ICF FORM FOR 4" S.O.G & 3" EXP RIGID GAP FOAM/VERT PIN EDGE 12" O.C.

FROST PROTECTED SALLOW FOUNDATION - 4,000 PSI MONOLITHIC POUR w/ 12" & 4" ICF HAUNCH / CURB / CONC. SLAB w/ FIBER MESH REINF & RADIANT FLOOR HEATING & HI BURN POLISH SMOOTH FINISH

CLASS 1 10 MILL VAPOR BARRIER w/ SICA SACRALL 60 SEAM TAPE

FROST PROTECTED SHALLOW FOUNDATION DETAIL
SCALE: 1 1/2"=1'-0"

REL. 3
FOR ZBR VARIANCE REQUEST
02/12/2026

S-1.1