

February 12, 2026

**Mr Dennis Haggerty, Principle Planner**  
**Coventry Town Planning Department**  
1675 Flat River Rd, Coventry, RI 02816

Planning + Architecture + Development  
**Proposed Upper Level Addition**  
**and A.D.U. Alterations Project**  
35 Dixie Road, Coventry, RI

Re: Response to Planning Department Comments to Proposed ADU Dimensional Variance application

Dear Dennis,

Thank you for review of this application for Zoning Board of Review Dimensional Variance Application. We have been actively preparing a revision to application & design set that addresses these specific items for presentation to your department. Please see the responses to your comments below highlighted in Bold face type, attached Plan Set dated 02/12/26 and minor revision to the application.

1. Please provide the height of the principal dwelling structure at 37 Dixie Rd (Constance Sion's house, which is closest to the ADU). The ADU zoning code states that "The maximum height for a detached accessory structure is the height of the principal structure or 25 feet, whichever is lower." Thus, the height of Constance's house will determine the exact amount of relief sought.  
**The Primary residence adjacent to proposed ADU is a sprawling single story ranch with a gable peak height of +/-17'-0". This is applicable height restriction of ordinance. Proposed height of ADU Upper Level is 25', exceeding allowed height by 8'-0". This is only relief sought by application. We believe that the new design presented conforms fully with all other ADU restrictions of Z.O.**
2. This ADU will require relief from the maximum floor area requirements for a one-bedroom ADU – in this case, the limit is 900 SF. The zoning code states that "A studio or one (1) bedroom ADU may be up to 900 square feet, or 60% of the floor area of the principal dwelling, whichever is less." Please resubmit the Dimensional Variance application by February 27<sup>th</sup> at the latest to include both height and floor area – see details below:
  - a. According to the Tax Assessor's online records, principal dwelling structure at 37 Dixie Road (Constance Sion's house) is 3,236 SF at present. 60% of that floor area is 1,941.6 SF – thus, the 900 SF standard applies to particular Dimensional Variance application because it's lower.  
**The Coventry Tax Assessor card for primary dwelling indicates a total Area including garage & (2) decks of 3,196 SF x 60% provides for Maximum Allowable ADU Area = 1,736 SF & conforms. This information is delineated on updated Zoning Restrictions Table. Please refer to revised Dwg C-1.0 Site Plan and Notes dated 02/12/26.**
  - b. I've calculated the proposed floor area of the ADU (first and second floor combined) at 936 SF, which exceeds the 900 SF limit – though this number excludes the proposed upper deck and stairway. Please provide accurate floor area calculations, which should take into account the upper deck and stairway, to determine the exact amount of relief sought.

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The ADU Section of Coventry Zoning Ordinance ADU also indicates that for a two-bedroom ADU Dwellings the Max Allowed Area is up to 1,200 sq. ft. We are proposing by this updated design an Upper Level Addition which includes (2) enclosed Bedrooms. We have also eliminated the formerly proposed exterior access stairway from the project. This information is deliniated on updated Zoning Restrictions Table. Please refer to revised Dwg C-1.0 Site Plan and Notes dated 02/12/26. **Revised Proposed ADU Area Summary:**

Exist Main Level: 570 SF  
+ Upper Level Addition: 396 SF  
+ Upper Level Balcony: 156 SF  
Total Proposed ADU Areas = 1,122 SF

3. Please confirm that the stairway of the proposed ADU will not encroach into the R-20 minimum setback of 10' for ADUs. Otherwise, setback relief is not required.

**Per Item 2, we have eliminated the formerly proposed exterior access stairway from the project.**

4. Please provide lot coverage calculations that include the proposed ADU.  
**Lot coverage calculation with 28,314 sf lot area was recalculate with existing % unchanged and is conforming at 17%. This calculation is now deliniated on updated Zoning Restrictions Table. Please refer to revised Dwg C-1.0 Site Plan and Notes dated 02/12/26.**

5. Please correct the lot area information for the Sion property in the plan set, which incorrectly states that 4,353 SF is the total lot area. I've calculated the total lot area as 28,314 SF.

**This lot area has been corrected on Tittle sheet and Site Plan C-1.0 included on attached plan set**

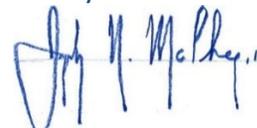
6. Please provide the correct plat/lot. The site plans incorrectly note the Sion property as AP 3, Lot 115.1 & 115.2. According to GIS, the correct plat/lot is AP 30, Lots 155.1 & 155.2.

**This has been corrected on both Tittle sheet and Site Plan C-1.0 included on attached plan set.**

**We have also updated our Zoning Board of Review Dimentional Variance Application to now include reference to the plan with (2) bedrooms that are located on the Upper Level and an accurate Proposed ADU Area calculation. With these application modifications and design revisions variance application, the project now presents to conform to Z.O. ADU Restricted Area requirements excepting request for restricted height modification from 17' to max 25'.**

Please contact me if you have any further questions.

Thank you for your consideration.



Joseph N. McPhee, II – Architect

(Exerpt of JMA Site Plan Dwg C-1.0 dated 02/12/26)

## **R-20 & PROPOSED ADU ZONING RESTRICTIONS**

### **EXISTING NON-CONFORMING LOT BY FRONT, SIDE & REAR YARD SETBACK**

#### **Z.O. TABLE 6-7 FOR SF RESIDENCE IN R-20 ZONE**

#### **EXISTING NON-CONFORMING LOT OF RECORD,**

<b><u>BULK RESTRICTIONS</u></b>	<b><u>REQUIRED</u></b>	<b><u>EXIST /PROPOSED</u></b>
<b><u>MIN LOT AREA:</u></b>	20,000 SF	28,314 SF
<b><u>MIN LOT WIDTH:</u></b>	120'	142'
<b><u>MAX HEIGHT:</u></b>	35'	30'
<b><u>FRONT YARD SETBACK:</u></b>	35' (AVE FY12'-0")	16'-6"
<b><u>MIN SIDE YARD SETBACK</u></b>	20'	5'-6"
<b><u>MIN REAR YARD SETBACK</u></b>	40'	5'

#### **MAXIMUM ALLOWABLE LOT COVERAGE: MAX 20% (CONFORMS)**

PRIME RESID: 2,174 SF+P.R.GAR 720 SF+ PR DECK 264 SF = 3,158 SF

SECOND RESIDENCE: 924 SF+ SR DECK 396 SF = 1,320 SF

EXIST ACCESSORY STRUCTURE / PROP A.D.U. = 570 SF

TOTAL EXIST/ PROPOSED LOT COVERAGE 5,048 SF / 28,314 SF = 17%

#### **PROPOSED ADU: MAX ALLOWED:**

**HEIGHT LIMIT:** A. 25' or

B. HT OF PRIME 17'-0"

#### **PROPOSED**

25'-0"

(8' VARIANCE TO Z.O. REQUESTED)

**AREA LIMIT:** A. (2) BED RM ADU

= 1,200 SF or

/ASSESSOR

B. #35 = 2,894 SFx60%

= 1,736 SF

#### **PROPOSED**

1. ETR MAIN LEVEL

570 SF

#### **ADU AREA:**

2. PROP. UPPER LEVEL

396 SF

3. PROP BALCONY

156 SF

(CONFORMS) PROPOSED ADU AREA

= 1,122 SF

REL. 3

Z.B.R. RELIEF REQUESTED FOR  
 RESTRICTED MAX HEIGHT FOR A  
 PROPOSED A.D.U. UPPER LEVEL  
 ADDITION TO EXIST. ACCESSORY

**FOR ZBR  
 VARIANCE REQUEST**

02/12/2026

