

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

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KEY PLAN

PROJECT TITLE:
PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

VICINITY MAP

DATE: SEPTEMBER 2024 SCALE: 1"=300'

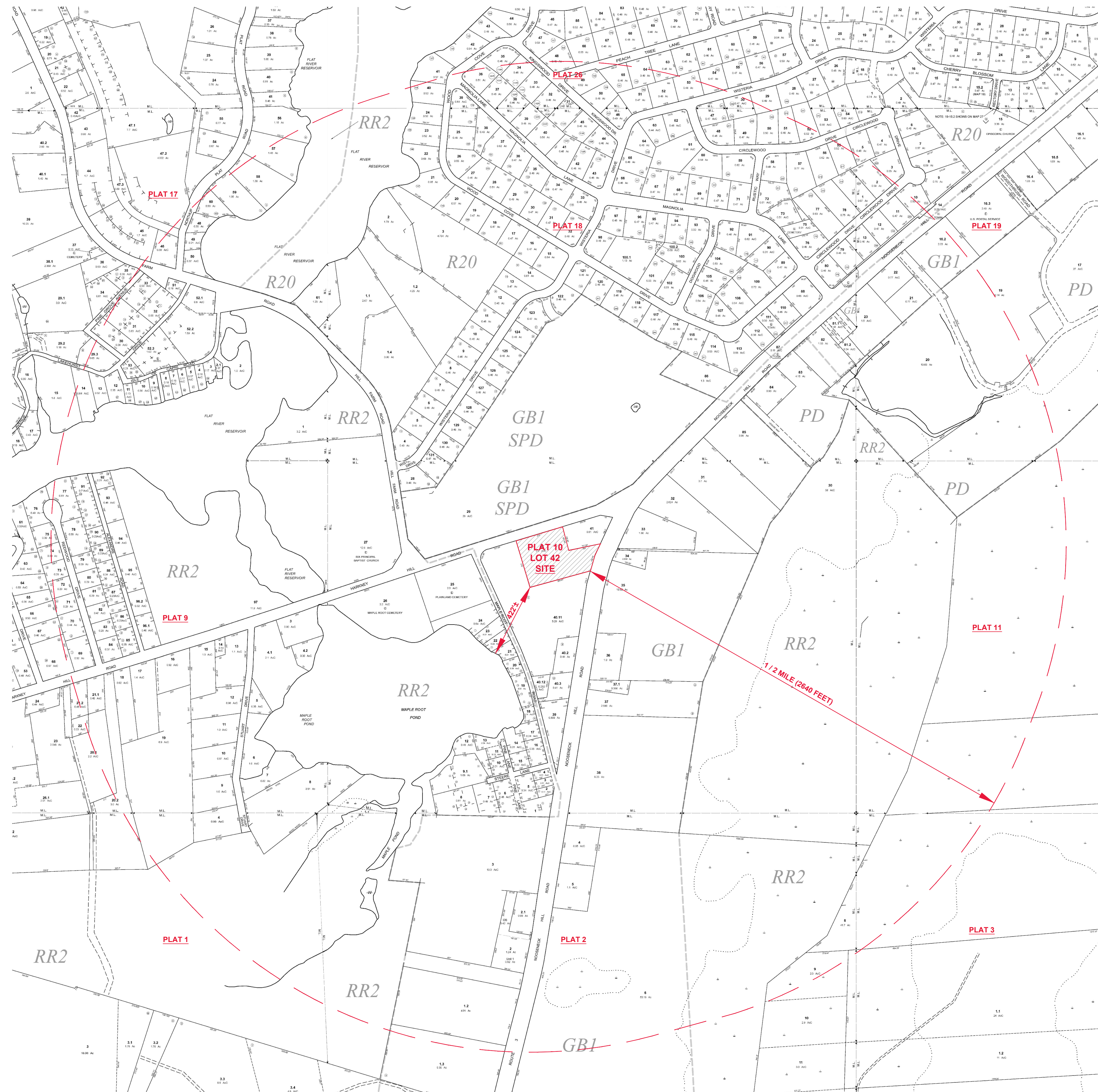
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REVISIONS		
NUMBER	REMARKS	DATE

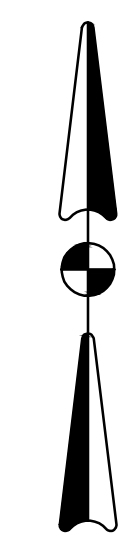
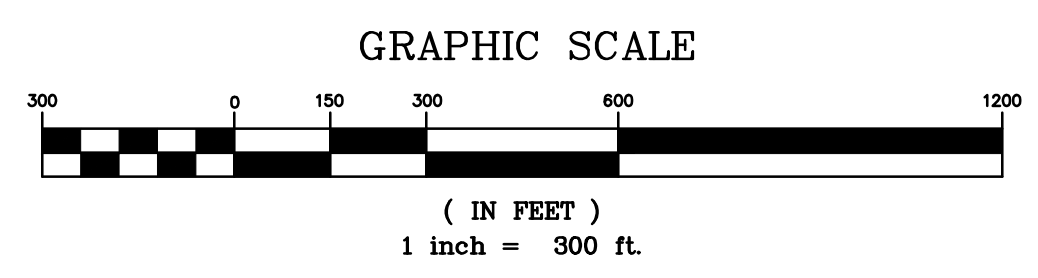
DRAWING NUMBER

C2

SHEET: 3 OF 12



ZONING LEGEND
GB 1 = GENERAL BUSINESS DISTRICT 1
SPD = SPECIAL PLANNING OVERLAY DISTRICT

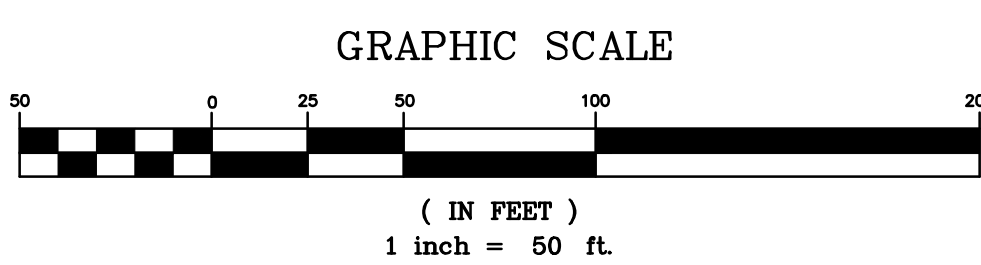




EXISTING CONDITIONS



POST DEVELOPMENT



SOILS

MmA: Merrimac Sandy Loam, 0 to 3% Slopes
HkA: Hinckley Gravelly Sandy Loam, 0 to 3% Slopes



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GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

AERIAL MAP

DATE:

SEPTEMBER 2024

SCALE:

1"=50'

DWG. NAME:

2872-04-AERIAL.dwg

REVISIONS

△

NUMBER

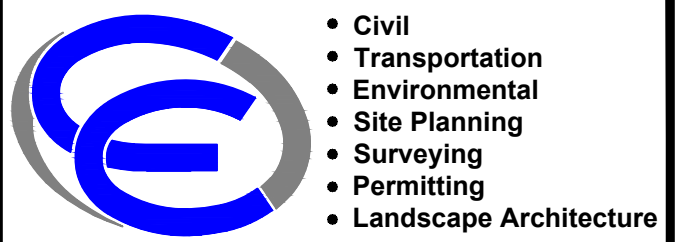
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DATE

DRAWING NUMBER

C3

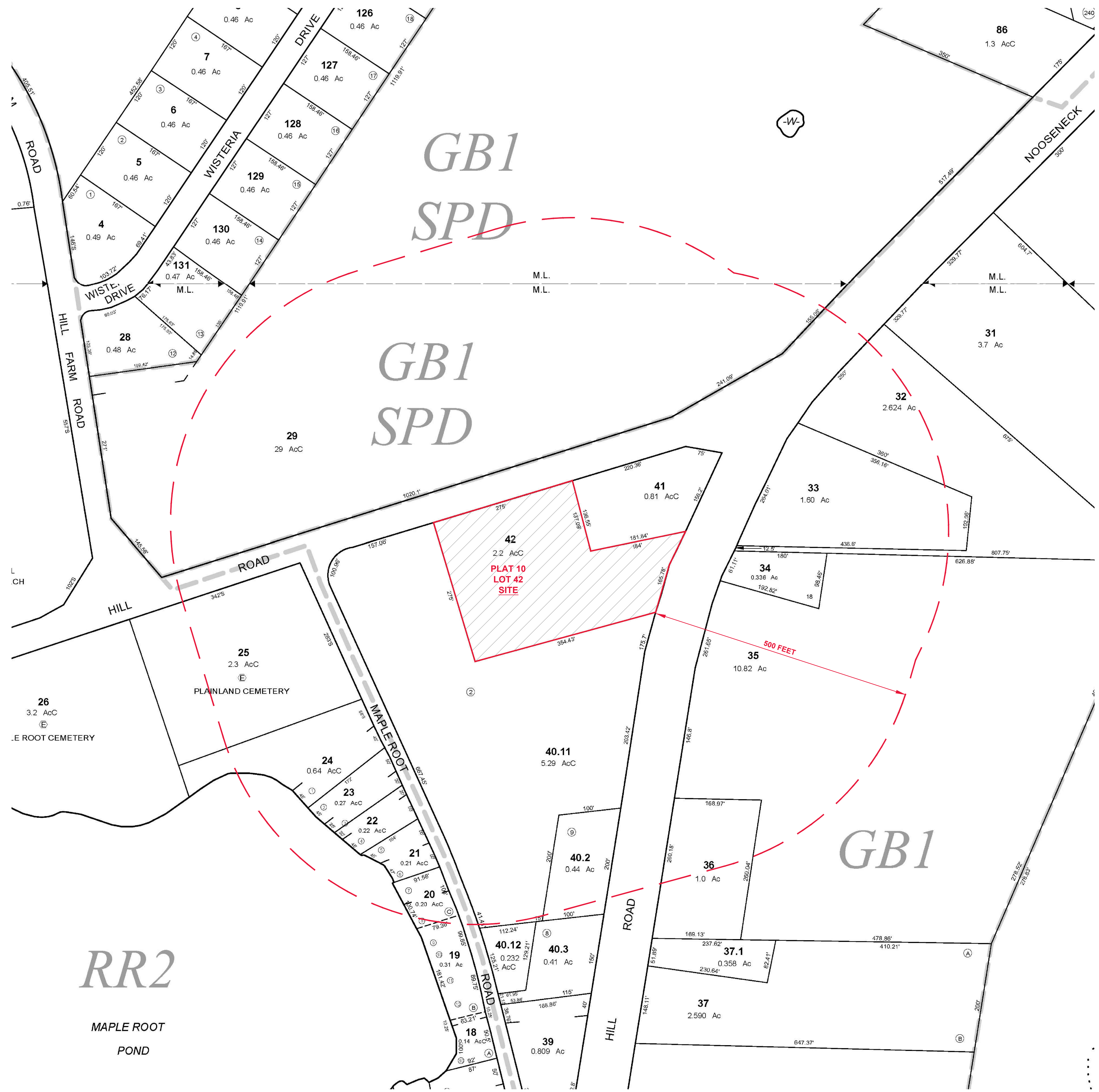
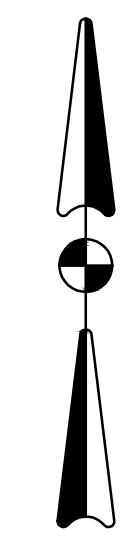
SHEET: 4 OF 12



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ABUTTERS LIST
(AS OF SEPTEMBER 2024)

- PLAT 10 LOT 19**
PHYLLIS M. HUSTON
PHYLLIS M. HUSTON
REVOCABLE TRUST
24 MAPLE ROOT ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 20**
BRYANS FAMILY TRUST
JACKIE L. & DIANN L. BRYANS,
TRUSTEES
28 MAPLE ROOT ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 21**
FRED T. & CAROL PERRY
34 MAPLE ROOT ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 22**
FRED T. & CAROL PERRY
34 MAPLE ROOT ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 23**
FRED T. & CAROL PERRY
34 MAPLE ROOT ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 24**
MATTHEW S. GREENWOOD
42 MAPLE ROOT ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 25**
PLAINLAND CEMETERY
COVENTRY HISTORICAL
COVENTRY, RI 02816
- PLAT 10 LOT 29**
JOHN KOSZELA & WILLIAM ECCLESTON
REVOCABLE TRUST
1315 VICTORY HIGHWAY
GREENE, RI 02827
- PLAT 10 LOT 31**
3.7 Ac
- PLAT 10 LOT 32**
2.624 Ac
- PLAT 10 LOT 33**
OCEAN STATE CREDIT UNION
2006 NOOSENECK HILL ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 34**
ROBIN REEVES
2010 NOOSENECK HILL ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 35**
NOOSENECK HILL REALTY
2030 NOOSENECK HILL ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 36**
BOUKARIM HOLDINGS LLC
2070 NOOSENECK HILL ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 40.11**
BACKSTREET HOLDINGS LLC
P.O. BOX 231
EAST GREENWICH, RI 02818
- PLAT 10 LOT 40.2**
STEVEN G. SALOIS
5 ALVERO ROAD
COVENTRY, RI 02816
- PLAT 10 LOT 41**
2011 NOOSENECK HILL ROAD LLC
C/O ASCO GROUP
45 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

KEY PLAN

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PROPOSED COMMERCIAL CONTRACTOR UNITS

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COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

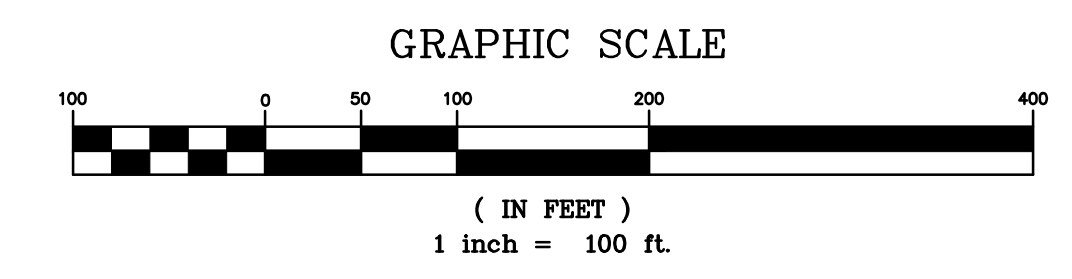
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DATE: SEPTEMBER 2024 **SCALE:** 1"=100'

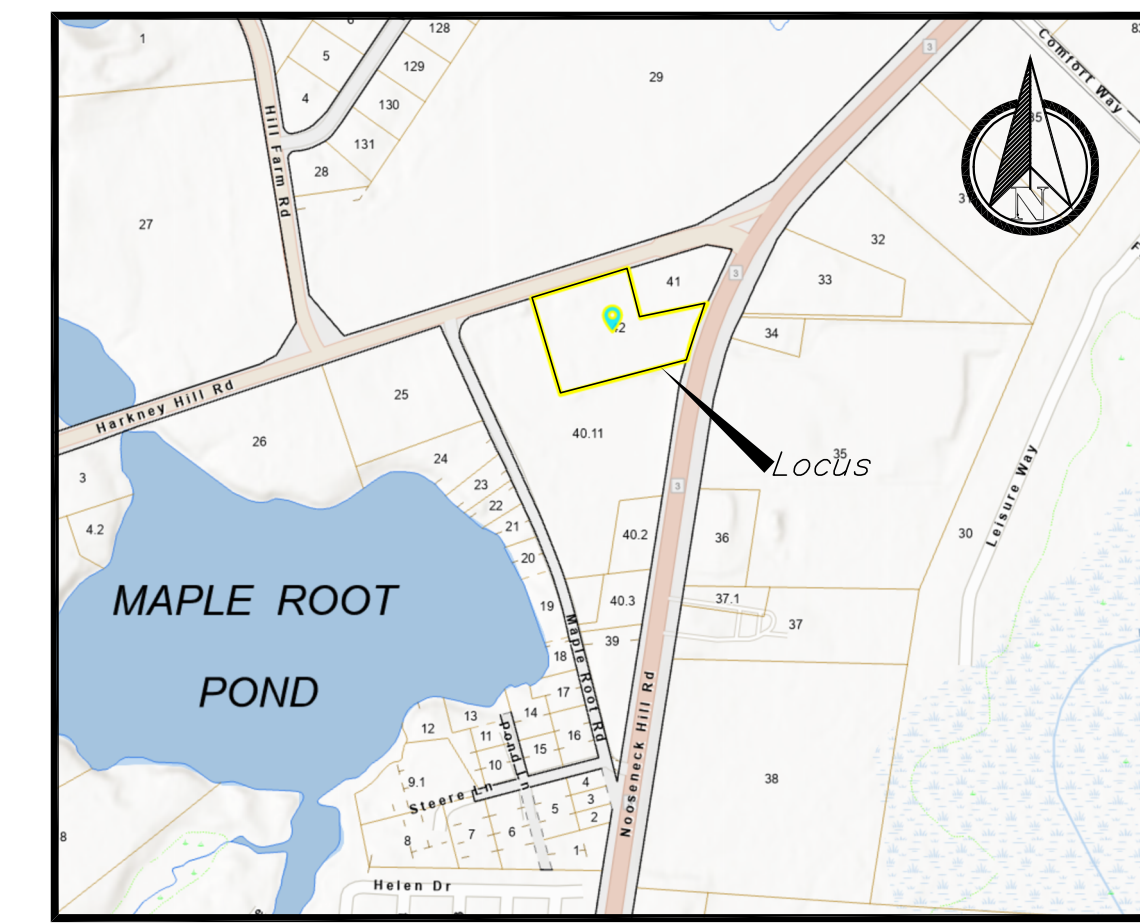
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REVISIONS		
NUMBER	REMARKS	DATE

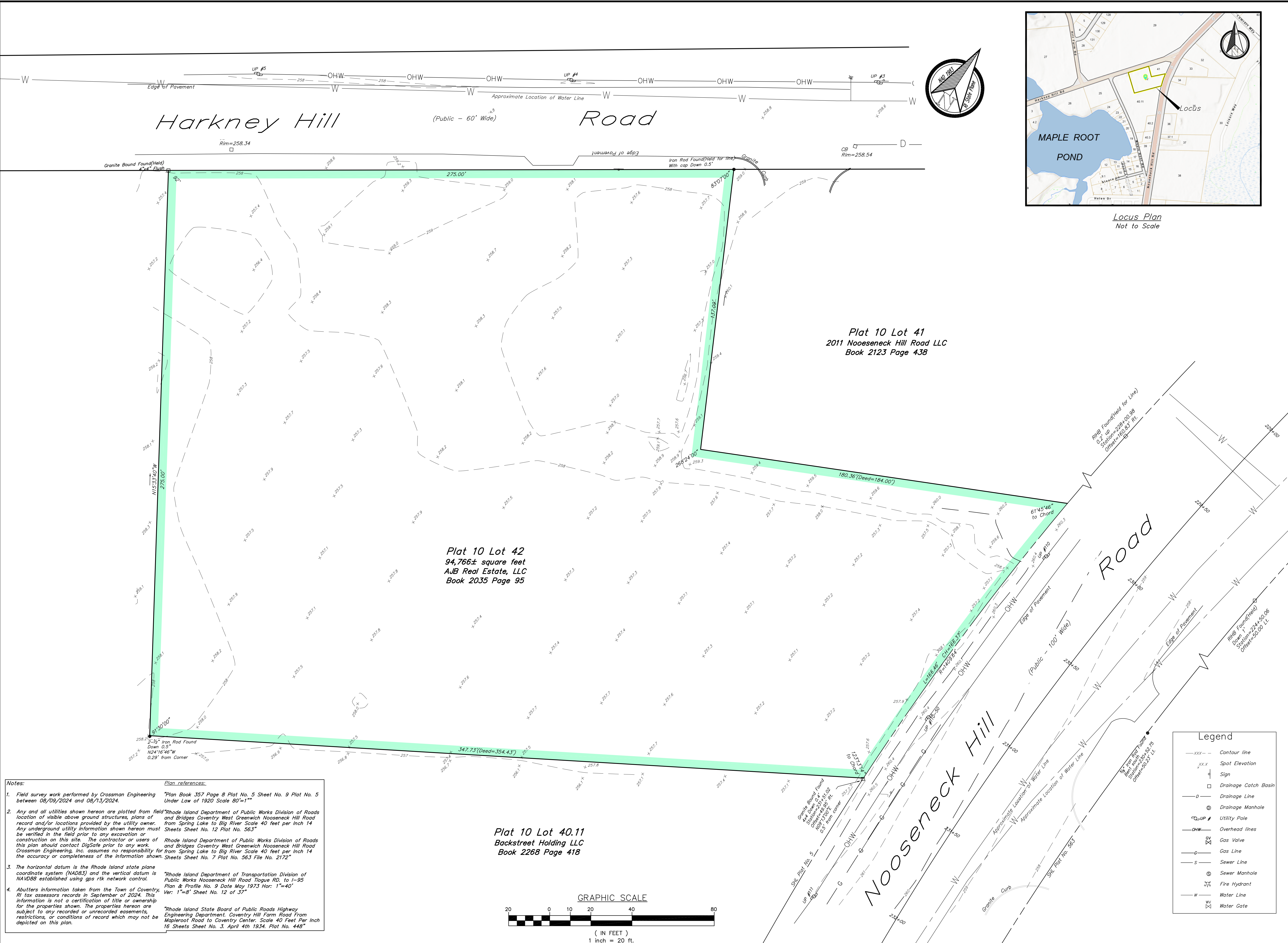
DRAWING NUMBER:
C4
SHEET: 5 OF 12



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Locus Plan
Not to Scale



Notes:

- Field survey work performed by Crossman Engineering between 08/09/2024 and 08/13/2024.
- Any and all utilities shown hereon are plotted from field record and/or locations provided by the utility owner. Any underground utility information shown hereon must be verified in the field prior to any excavation or construction on this site. The contractor or users of this plan should contact DigSafe prior to any work. Crossman Engineering, Inc. assumes no responsibility for the accuracy or completeness of the information shown.
- The horizontal datum is the Rhode Island state plane coordinate system (NAD83) and the vertical datum is NAVD83 established using gps rtk network control.
- Abutters information taken from the Town of Coventry, RI tax assessors records in September of 2024. This information is not a certification of title or ownership for the properties shown. The properties hereon are subject to any recorded or unrecorded easements, restrictions, or conditions of record which may not be depicted on this plan.

Plan references:

- *Plan Book 357 Page 8 Plat No. 5 Sheet No. 9 Plat No. 5 Under Law of 1920 Scale 80"=1"
- Rhode Island Department of Public Works Division of Roads and Bridges Coventry West Greenwich Nooseneck Hill Road from Spring Lake to Big River Scale 40 feet per inch 14 Sheets Sheet No. 12 Plat No. 563"
- Rhode Island Department of Public Works Division of Roads and Bridges Coventry West Greenwich Nooseneck Hill Road from Spring Lake to Big River Scale 40 feet per inch 14 Sheets Sheet No. 7 Plat No. 563 File No. 2172"
- Rhode Island Department of Transportation Division of Public Works Nooseneck Hill Road Trigue RD. to I-95 Plan & Profile No. 9 Date May 1973 Hor: 1"=40' Ver: 1"=8' Sheet No. 12 of 37"
- Rhode Island State Board of Public Roads Highway Engineering Department, Coventry Hill Farm Road From Mapleroot Road to Coventry Center. Scale 40 Feet Per Inch 16 Sheets Sheet No. 3, April 4th 1934, Plat No. 448"

Preliminary Existing Condition Plan
 Assessor's Plat 10 Lot 42
 Zoning District GB1
 General Business
 71 Harkney Hill Road
 Coventry, RI 02816

Prepared for:
Andrew Barber
 P.O. BOX 7090
 Warwick, RI 02886

Property Owner:
AJB Real Estate, LLC
 2 Station Street
 Coventry, RI 02816

Date: September 27, 2024 Scale: 1" = 20'

File Name: 2872 Working 20240927

Field:	Drawn By:	Checked By:
NW & BC	DA	RT

Revisions:

Number	Remarks	Date

Project Number: **2872**

DRAWING NUMBER: **C5**

Sheet 6 of 12

REQUESTED WAIVERS

THE BELOW LIST INCLUDES VARIANCE/WAIVERS FROM THE ZONING ORDINANCE THAT WILL REQUIRE COORDINATION AND ACCEPTANCE FROM THE TOWN.

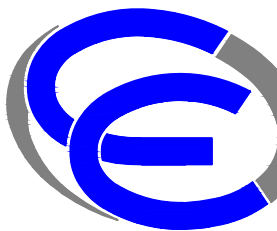
- A VARIANCE/WAIVER IS REQUIRED FROM ARTICLE XII STANDARDS FOR PARKING AND LOADING FACILITIES,
 - SECTION 255-1210, C (1): A LOADING SPACE FOR USE UP TO 5,000 S.F. PHASE 1 REQUIRED=1 LOADING SPACE PHASE 1 PROVIDED=0 LOADING SPACE (PHASE 2 PROVIDES THIS INITIAL LOADING SPACE)
 - SECTION 255-1210, C (2): ADDITIONAL LOADING SPACE FOR ADDITIONAL 10,000 S.F. (OR FRACTION THEREOF) PHASE 1 REQUIRED=1 ADDITIONAL LOADING SPACE PHASE 1 PROVIDED=0 LOADING SPACES (PHASE 2 PROVIDES THE ADDITIONAL LOADING SPACE)
 - SECTION 255-1220, C TABLE 12-3: PARKING USE (ALL OTHER TYPES OF BUSINESS) PHASE 1 REQUIRED= 30 SPACES PHASE 1 PROVIDED= 30 SPACES (17 PAINTED) (13 UNPAINTED)
 - SECTION 255-1220, C TABLE 12-3: PARKING USE=ALL OTHER TYPES OF BUSINESS PHASE 2 REQUIRED= 40 SPACES PHASE 2 PROVIDED= 40 SPACES (INSIDE BUILDING ONLY)
 - SECTION 255-1230, D, TABLE 12-8 (MINOR ARTERIAL ROAD=HARKNEY HILL ROAD) PHASE 1 REQUIRED (DRIVEWAY TO DRIVEWAY)=150' PHASE 1 PROVIDED=36'
 - SECTION 255-1230, D, TABLE 12-8 (PRINCIPLE ARTERIAL ROAD=ROUTE 3) PHASE 1 REQUIRED (DRIVEWAY TO DRIVEWAY)=150' PHASE 1 PROVIDED=66'
 - SECTION 255-1230, D, TABLE 12-8 (MINOR ARTERIAL ROAD=HARKNEY HILL ROAD) PHASE 2 REQUIRED (DRIVEWAY TO DRIVEWAY)=150' PHASE 2 PROVIDED=87'

NOTES:

- THE PHASE 1 ANTICIPATED USE IS FOR A CURRENT BUSINESS - OIL DELIVERY BUSINESS WITH CONSTRUCTION EQUIPMENT STORAGE.
- PHASE 2 USE IS AN EQUIPMENT GARAGE/COMMERCIAL STORAGE WITH MINIMAL PEDESTRIAN PARKING NEEDS. HOWEVER, FOR PHASE 2 THERE IS A POTENTIAL TO PARK 5 VEHICLES INSIDE EACH GARAGE BAY. EXTERIOR PARKING FOR THE PROPOSED GARAGE/STORAGE USE IS NOT MARKED OUTSIDE BUILDING.

ZONING TABLE		
PLAT 10 LOT 42: GB1 - GENERAL BUSINESS DISTRICT		
PHASE 1&2		
USE CODE C.2(07) EQUIPMENT GARAGE COMMERCIAL STORAGE		
USE CODE E.1(01) GENERAL COMMERCIAL OFFICE		
	Required	Provided
Minimum Lot Area:	43,560 S.F.	2.2 Ac.
Minimum Frontage:	200'	440.78'
Minimum Front Yard:	10'	132'
Minimum Corner Side Yard:	10'	44.8'
Minimum Side Yard:	10'	11'
Minimum Rear Yard:	40'	40.8'
Maximum Building Height:	35'	<35'
Maximum Lot Coverage:	60%	21%

PARKING REQUIREMENTS		
PLAT 10 LOT 42: GB1 - GENERAL BUSINESS DISTRICT		
PHASE 1		
	Required	Provided
OFFICE (500 SF ±) (3 SPACES / 250 SF)	5	5 PAVED
GARAGE/STORAGE (7,500 SF) (1 SPACE / 300 SF)	25	17 PAVED 13 NOT MARKED
TOTAL	30	30
PHASE 2		
	Required	Provided
GARAGE/STORAGE (1 SPACE / 300 SF)	40	POTENTIAL FOR 40
TOTAL	40	40
PARKING LOT (PHASE 1&2)		
PARKING LOT AREA= 24,099 SF		
LANDSCAPE AREA= 1,619 (6%)		



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 PLAT MAP 10 LOT 42
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 GENERAL BUSINESS
 1 ACRE DISTRICT
 71 HARKNEY HILL ROAD
 COVENTRY, RI

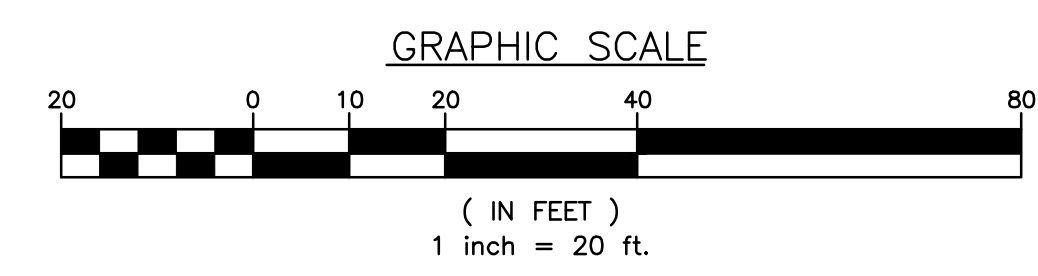
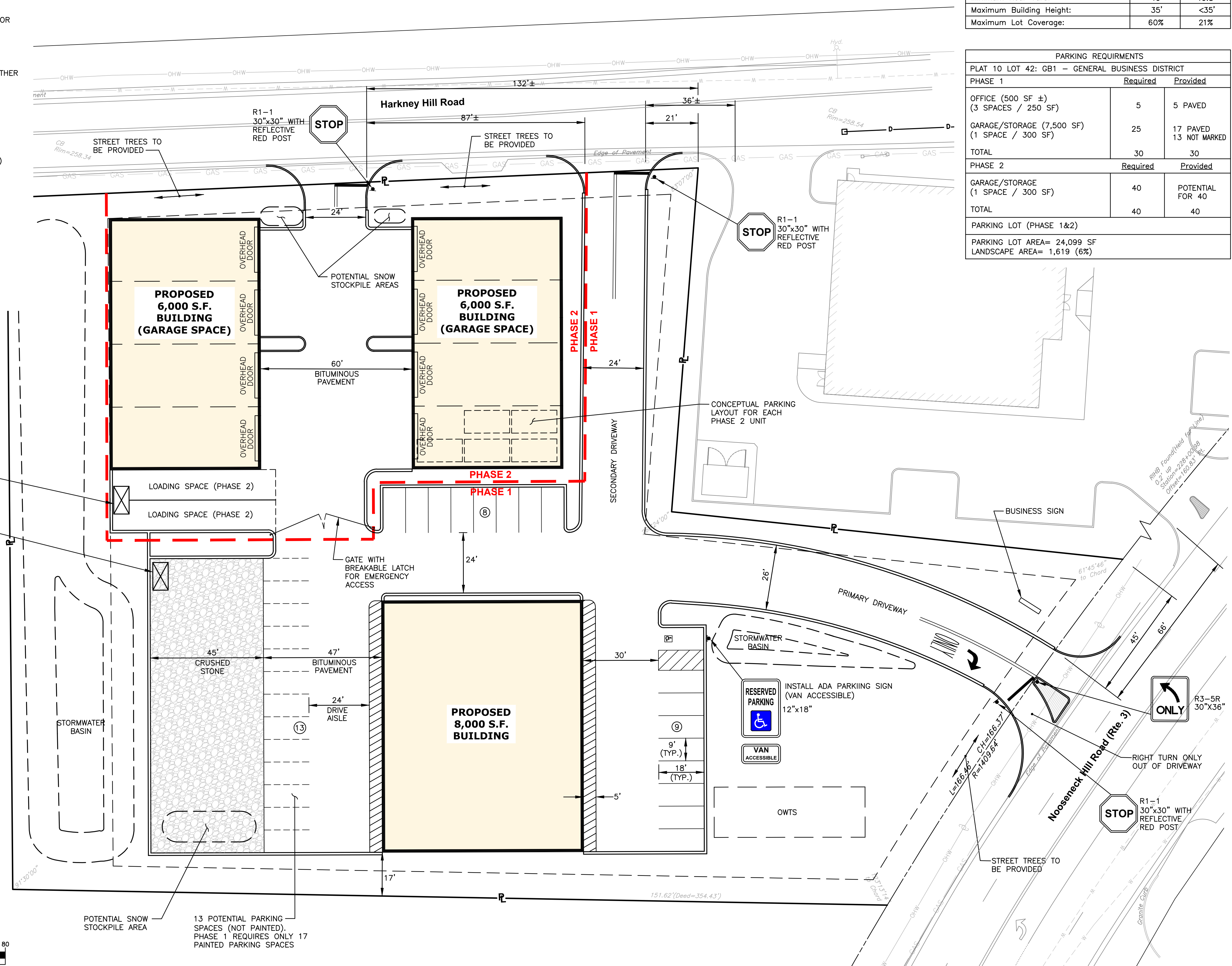
PREPARED FOR:
ANDREW BARBER
 P.O. BOX 7090
 WARWICK, RI 02886

DRAWING TITLE:
CONCEPTUAL SITE LAYOUT PLAN

DATE: SEPTEMBER 2024 **SCALE:** 1"=20'
DWG. NAME: 2872-07-SITE.dwg

REVISIONS		
NUMBER	REMARKS	DATE

DRAWING NUMBER
C6
 SHEET: 7 OF 12



KEY PLAN

PROJECT TITLE:

PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
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 GENERAL BUSINESS
 1 ACRE DISTRICT
 71 HARKNEY HILL ROAD
 COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
 P.O. BOX 7090
 WARWICK, RI 02886

DRAWING TITLE:

PRELIMINARY GRADING and DRAINAGE PLAN

DATE: SEPTEMBER 2024

SCALE: 1"=20'

DWG. NAME: 2872-08-GRADE.dwg

REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER

C7

SHEET: 8 OF 12

Plat 10 Lot 29
 N/F
 John Koszela and
 William Eccleston

Harkney Hill Road

CB
 Rim=258.46
 Inv=258.2

12' PROP

DOLLAR GENERAL STORE
 Plat 10 Lot 41
 N/F
 2011 Nooseneck Hill
 ROA
 c/o Asco Group

PROPOSED 6,000 S.F. BUILDING (GARAGE SPACE)
 F.F. ELEV.= 260

PROPOSED 6,000 S.F. BUILDING (GARAGE SPACE)
 F.F. ELEV.= 260

PROPOSED 8,000 S.F. BUILDING
 F.F. ELEV.= 260

DOWNSPOUT (TYP.)

PROPOSED STORMWATER BASIN
 (LOAM & SEED)

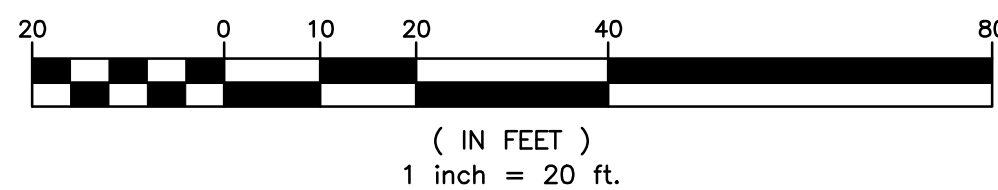
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 N/F
 Backstreet Holdings LLC

Plat 10 Lot 40.011
 N/F
 Backstreet Holdings LLC

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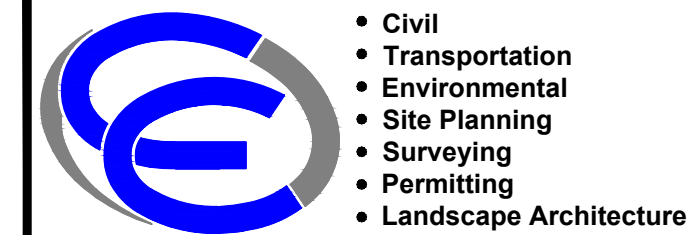
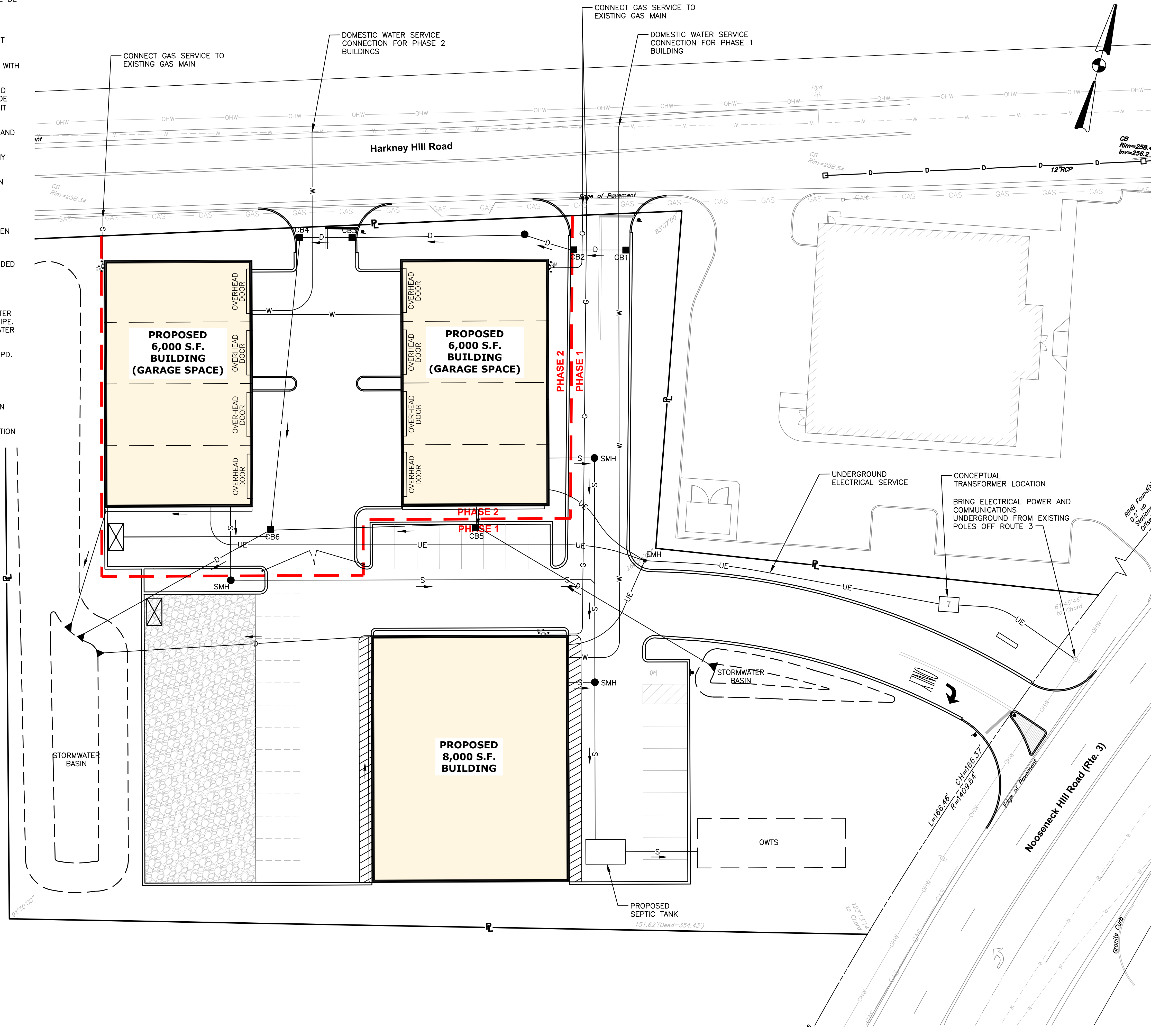
1. THE STORMWATER MANAGEMENT SYSTEM WILL BE DESIGNED TO MEET THE TOWN OF COVENTRY AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT DESIGN STANDARDS
2. THE STORMWATER BASIN WILL BE INSTALLED UNDER PHASE 1

GRAPHIC SCALE



UTILITY NOTES

- CONTRACTOR SHALL COORDINATE NEW ELECTRIC AND COMMUNICATION SERVICE WITH UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF NEW CONDUITS, WIRES AND TRANSFORMERS AS REQUIRED TO SERVICE THIS SITE.
- CONTRACTOR IS REQUIRED TO DIG TEST PITS AT ALL PROPOSED-EXISTING UTILITY TIE-IN AREAS (WATER, GAS AND SEWER). THIS WORK SHALL BE CONDUCTED PRIOR TO INSTALLATION. COORDINATION WITH OWNER AND ENGINEER IS REQUIRED. THE EXISTING SEWER MAIN ELEVATIONS SHALL BE CONFIRMED BY CONTRACTOR PRIOR TO INSTALLATION.
- SITE LIGHTING REQUIREMENTS SHALL BE CONFIRMED PRIOR TO FINAL APPLICATION FOR BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF SITE LIGHTING, ELECTRICAL CONDUIT AND HANDHOLE(S) FOR THIS SITE.
- ALL UTILITIES PENETRATING THE FOUNDATION WALL SHALL BE SLEEVED WITH WATER TIGHT FITTINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF UNDERGROUND CONDUIT, GAS, AND COMMUNICATION SERVICE. BID PRICE SHALL INCLUDE PAVEMENT SAWCUT, REMOVAL AND DISPOSAL, EXCAVATION, PIPE/CONDUIT INSTALLATION AND BACKFILL.
- THE PROPOSED OWTS WILL BE DESIGNED TO SERVICE BOTH PHASE 1 AND PHASE 2.
- PROPOSED GAS LINE SIZE SHALL BE VERIFIED BY THE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- UTILITY SERVICE LOCATIONS AT THE BUILDING AS SHOWN ON THIS PLAN MAY VARY DEPENDING ON FINAL DESIGN PLANS.
- CONTRACTOR SHALL VERIFY WATER AND GAS LINE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- THE EXISTING WATER, GAS, AND ELECTRIC INFORMATION HAS BEEN TAKEN FROM PLANS PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- A WATER METER AND BACKFLOW PREVENTION SYSTEM SHALL BE PROVIDED WITHIN THE BUILDING. PHASE 1 AND PHASE 2 WILL HAVE SEPARATE WATER SERVICES.
- BUILDING SEWER PIPE SHALL BE PVC SDR 35.
- WATER SERVICE UP TO 2-INCH DIAMETER TO BE TYPE K COPPER. WATER SERVICE 3-INCH AND GREATER TO BE CEMENT-LINED DUCTILE IRON PIPE. ALTERNATIVES SHALL BE APPROVED IN WRITING BY THE PAWTUCKET WATER SUPPLY BOARD.
- THE ANTICIPATED SEWER FLOWS GENERATED FROM THIS SITE IS 540 GPD.
PHASE 1 (20 EMPLOYEES X 15 GPD./EMPLOYEE) = 300 GPD.
PHASE 2 (16 EMPLOYEES X 15 GPD./EMPLOYEE) = 240 GPD.
- THE SOILS ON SITE ARE MAPPED AS SANDS AND GRAVEL, WITH A SEASONAL HIGH GROUNDWATER TABLE DEEPER THAN 6' BELOW GRADE. CROSSMAN ENGINEERING PREVIOUSLY CONDUCTED SOIL EVALUATIONS ON ADJACENT PROPERTIES, AND HAS CONFIRMED THESE CONDITIONS.
- THE OWTS WILL BE SIZED FOR BOTH PHASE 1 AND 2 USES. INSTALLATION WILL OCCUR UNDER THE PHASE 1 CONSTRUCTION.



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PREPARED FOR:
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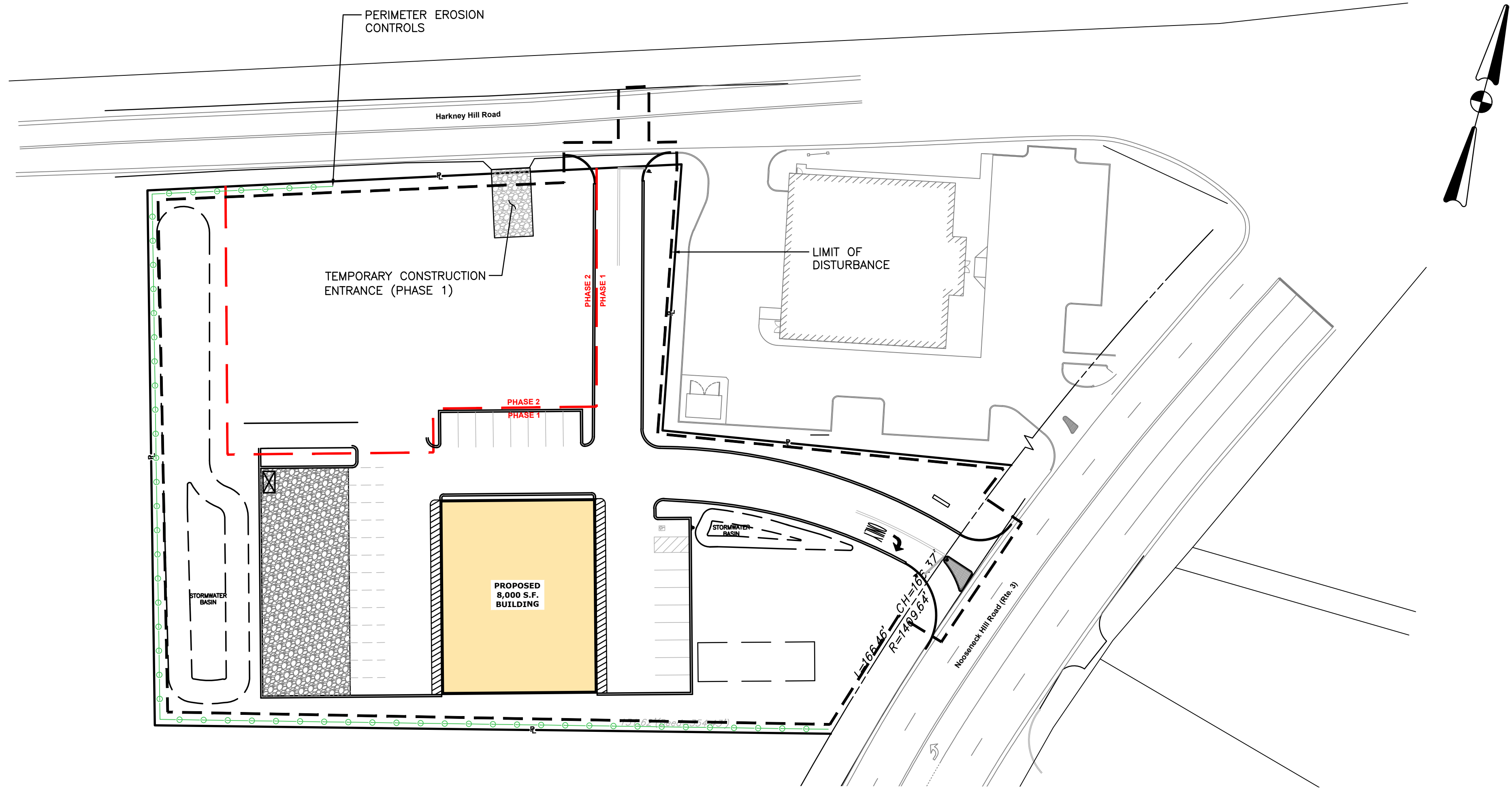
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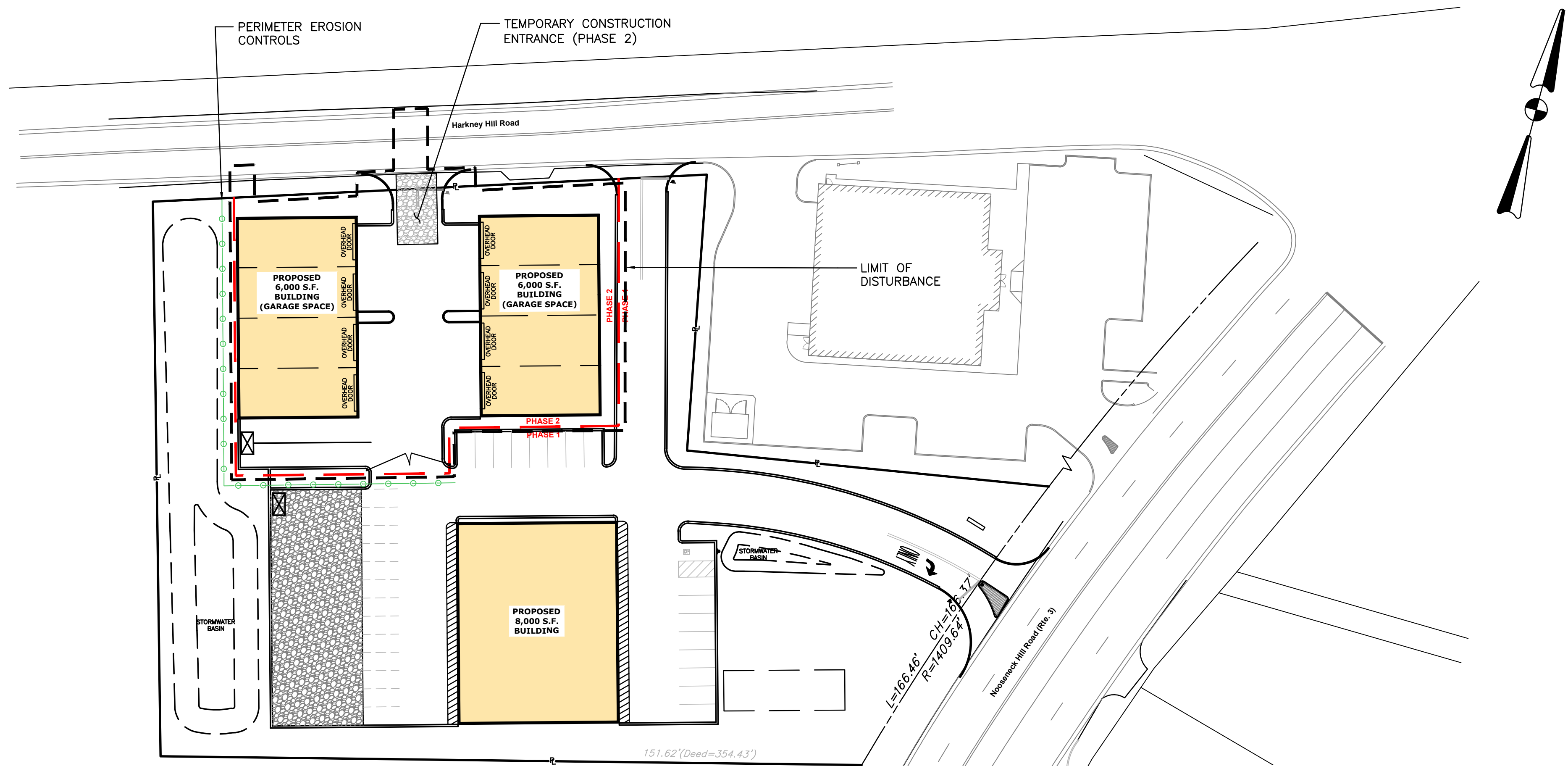
REVISIONS

NUMBER	REMARKS	DATE

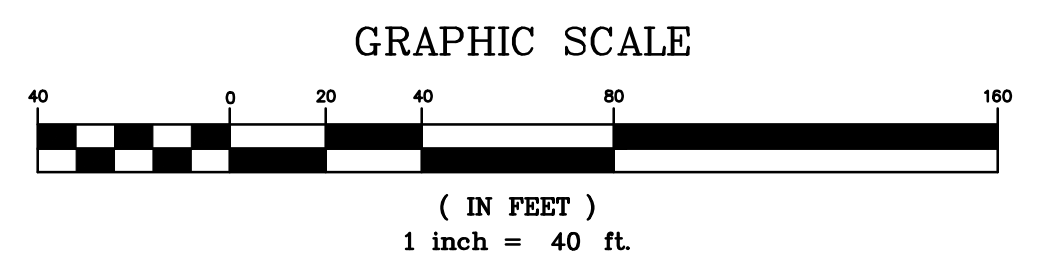
DRAWING NUMBER
C8
 SHEET: 9 OF 12



PHASE 1



PHASE 2



DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN, RIDER OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKE FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

1. PRIOR TO COMMENCING GRUBBING OPERATIONS AND EARTHWORK, STRAW WATTLE SHALL BE PLACED INSIDE SAWCUT EDGE AND ALONG THE DOWNGRADE LIMIT OF DISTURBANCE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM, AND ADJUTING PROPERTIES AND THE CONTRACTOR SHALL INSTALL DRIPLINE TREE PROTECTION DEVICES ALONG THE PROPOSED TREELINE/EXISTING TREES TO REMAIN.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL STRAW WATTLE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

1. CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENT CONTROL PERMIT FROM THE TOWN ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK ONSITE; SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
2. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
3. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO SWEEP DAILY.
4. STRAW WATTLE (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
5. IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE TOWN OR ENGINEER DURING CONSTRUCTION.
6. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
7. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY, AND ROADWAYS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STRAW WATTLE, STAKED HAY BALES OR SILT FENCING.
5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
9. PROPOSED CATCH BASINS SHALL BE PROTECTED BY SILT SACKS.
10. THE STRAW WATTLE MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY. IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL STRAW WATTLE IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
11. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF STRAW WATTLE.
12. AN ALTERNATE COMPOST SOCK OR FILTER SOCK PRODUCT MAY BE USED IN LIEU OF STRAW WATTLE UPON APPROVAL OF THE ENGINEER.

LEGEND

- - - - - LIMIT OF DISTURBANCE
- ○ ○ ○ ○ PERIMETER SOIL EROSION AND SEDIMENT CONTROL MEASURE



CROSSMAN ENGINEERING
 Rhode Island: 100 Jefferson Blvd., Suite 200, Warwick, RI 02886
 Massachusetts: 1 George Leven Drive, Suite 200, North Attleboro, MA 02760
 Phone: (401) 738-8660 Phone: (508) 695-1700
 Email: col@crossmaneng.com

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KEY PLAN

PROJECT TITLE:

PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
 ZONING DISTRICT GB1
 GENERAL BUSINESS
 1 ACRE DISTRICT
 71 HARKNEY HILL ROAD
 COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
 P.O. BOX 7090
 WARWICK, RI 02886

DRAWING TITLE:

SOIL EROSION and SEDIMENT CONTROL PLAN

DATE: SEPTEMBER 2024 SCALE: 1"=40'
 DWG. NAME: 2872-11-SOIL.dwg

REVISIONS		
NUMBER	REMARKS	DATE

DRAWING NUMBER

C10

SHEET: 11 OF 12

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KEY PLAN

PROJECT TITLE:

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PLAT MAP 10 LOT 42
 ZONING DISTRICT GB1
 GENERAL BUSINESS
 1 ACRE DISTRICT
 71 HARKNEY HILL ROAD
 COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
 P.O. BOX 7090
 WARWICK, RI 02886

DRAWING TITLE:

LANDSCAPE PLAN

DATE: SEPTEMBER 2024 SCALE: 1"=20'

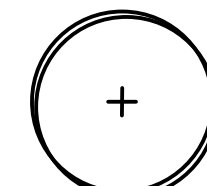
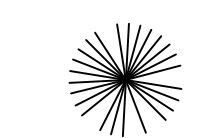
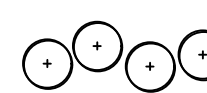
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REVISIONS		
NUMBER	REMARKS	DATE

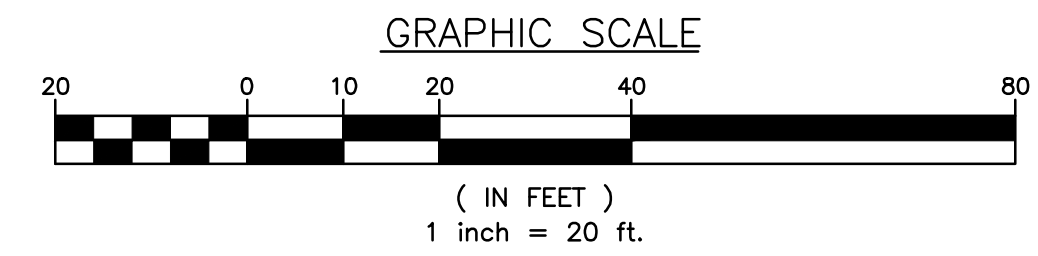
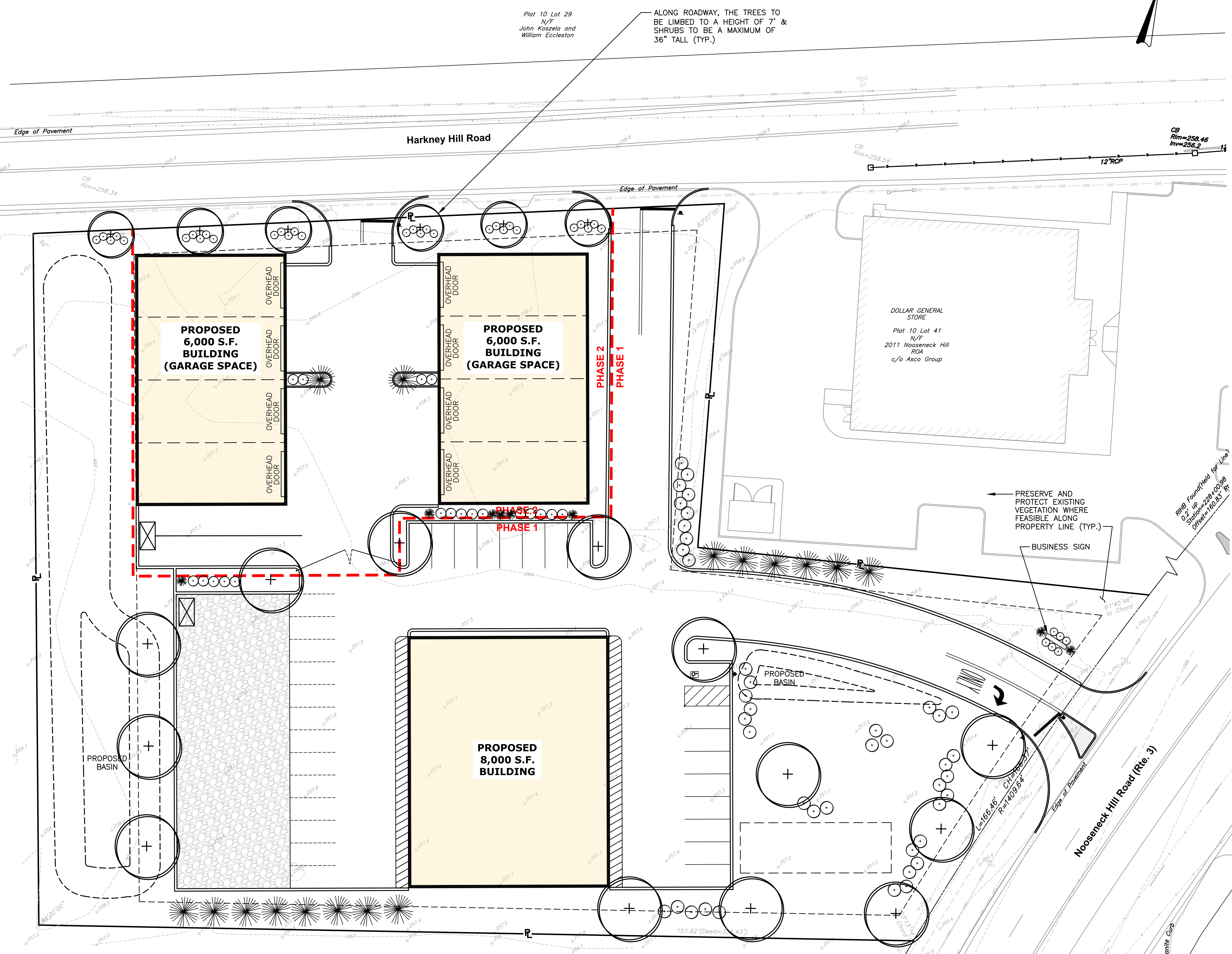
DRAWING NUMBER

L1
 SHEET: 12 OF 12

LEGEND

-  SHADE TREE
-  EVERGREEN PLANTING
-  SHRUB

NOTE:
 FINAL LANDSCAPE DESIGN TO BE PROVIDED WITH PRELIMINARY PLAN SUBMISSION



Plot 10 Lot 40.011
 N/F
 Backstreet Holdings LLC

Plot 10 Lot 29
 N/F
 John Koszela and
 William Eccleston

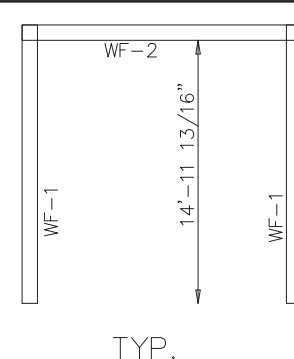
ALONG ROADWAY, THE TREES TO BE LIMBED TO A HEIGHT OF 7' & SHRUBS TO BE A MAXIMUM OF 36" TALL (TYP.)

DOLLAR GENERAL STORE
 Plot 10 Lot 41
 N/F
 2011 Nooseneck Hill
 ROA
 c/o Asco Group

PRESERVE AND PROTECT EXISTING VEGETATION WHERE FEASIBLE ALONG PROPERTY LINE (TYP.)

BUSINESS SIGN

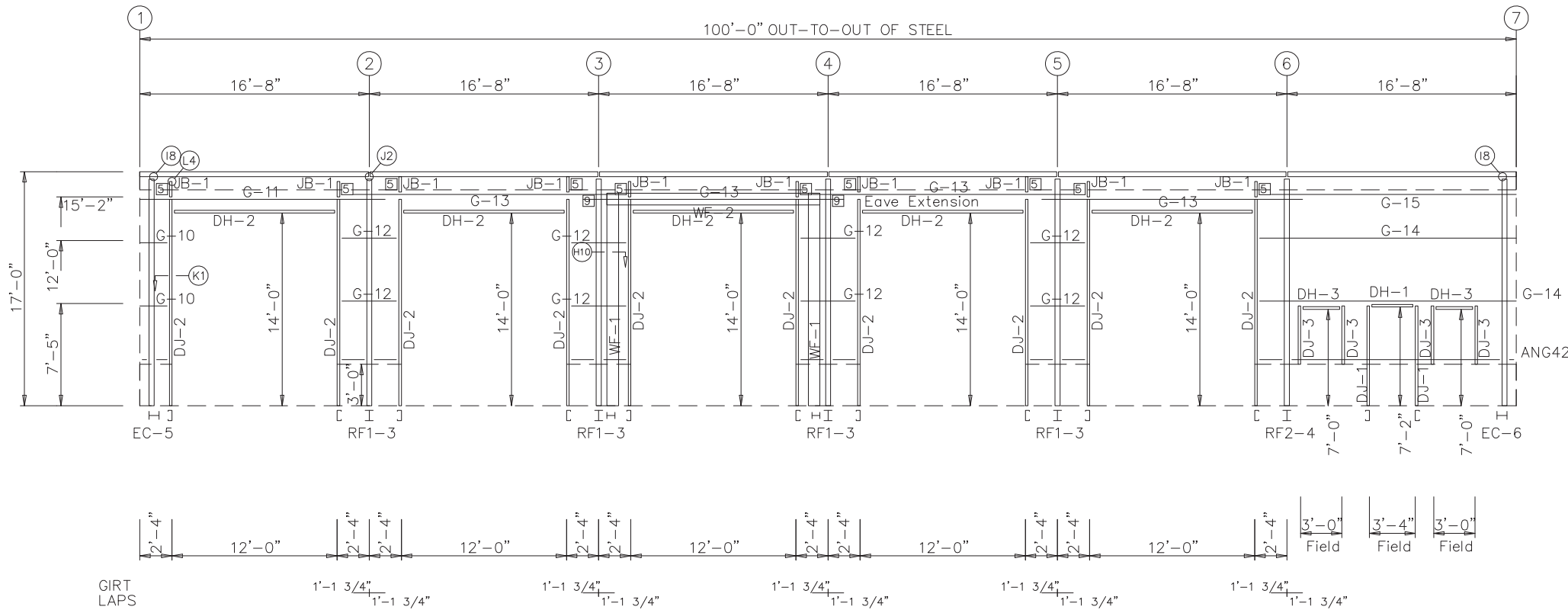
Prop. Foundation for 12' x 12' up to 228' x 200' (12' x 20')



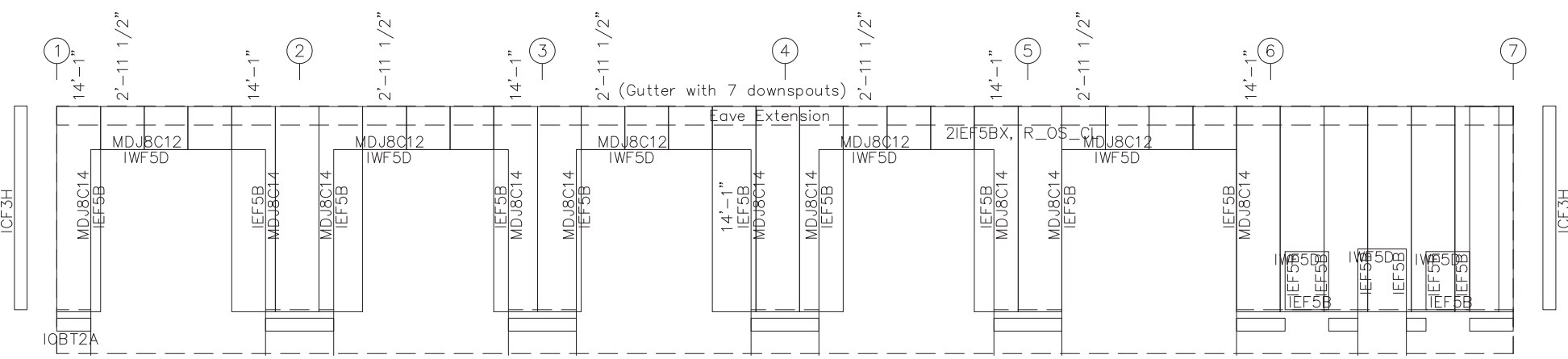
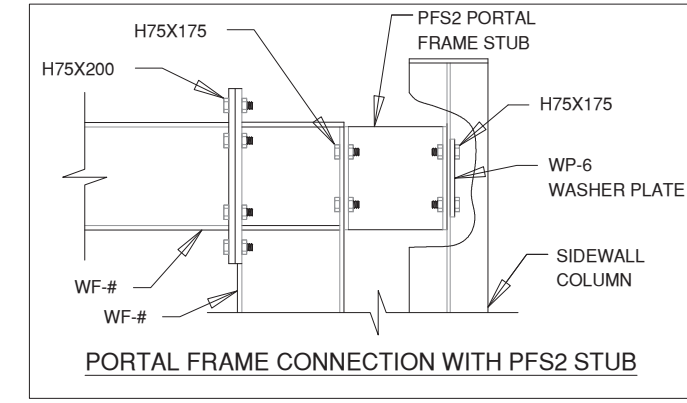
BOLT TABLE				
FRAME LINE A				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - WF-2	8	A325	3/4"	2 1/2"
WF-1 - RF1-3	8	A325	3/4"	1 3/4"

MEMBER TABLE			
FRAME LINE A			
QUAN	MARK	PART	LENGTH
2	WF-1	W10X22	15'-10"
1	WF-2	W10X22	13'-6 1/8"
2	DJ-1	08X35C16	7'-4 3/4"
10	DJ-2	08X35C16	15'-1 3/4"
4	DJ-3	08X35C16	4'-4 3/4"
1	DH-1	08X30C16	3'-4"
5	DH-2	08X35C16	12'-0"
2	DH-3	08X30C16	3'-0"
2	G-10	08X25Z16	2'-0"
1	G-11	08X25Z16	17'-9 1/2"
8	G-12	08X25Z16	4'-0 1/2"
4	G-13	08X25Z16	18'-11 1/2"
2	G-14	08X25Z16	18'-8"
1	G-15	08X25Z16	17'-9 1/2"
10	JB-1	08X35C16	1'-0 3/4"

CONNECTION PLATES		
FRAME LINE A		
ID	QUAN	MARK/PART
3	6	c1
5	10	JC
9	2	PFS2



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A
PANELS: 26 Ga. R - Slate Blue

DRAWING IS NOT TO SCALE

TRIM COLORS			
EAVE TRIM	= Arctic White	CORNER TRIM	= Arctic White
BASE TRIM	= Slate Blue	GUTTER	= Arctic White
DOOR TRIM	= Arctic White	DOWNPOUTS	= Arctic White
RAKE TRIM	= Arctic White		
* LINER TRIM	= Liner panel color		
* SOFFIT TRIM	= Soffit panel color		
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.			

GENERAL NOTES:

- Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
- All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (# = Girt Depth).



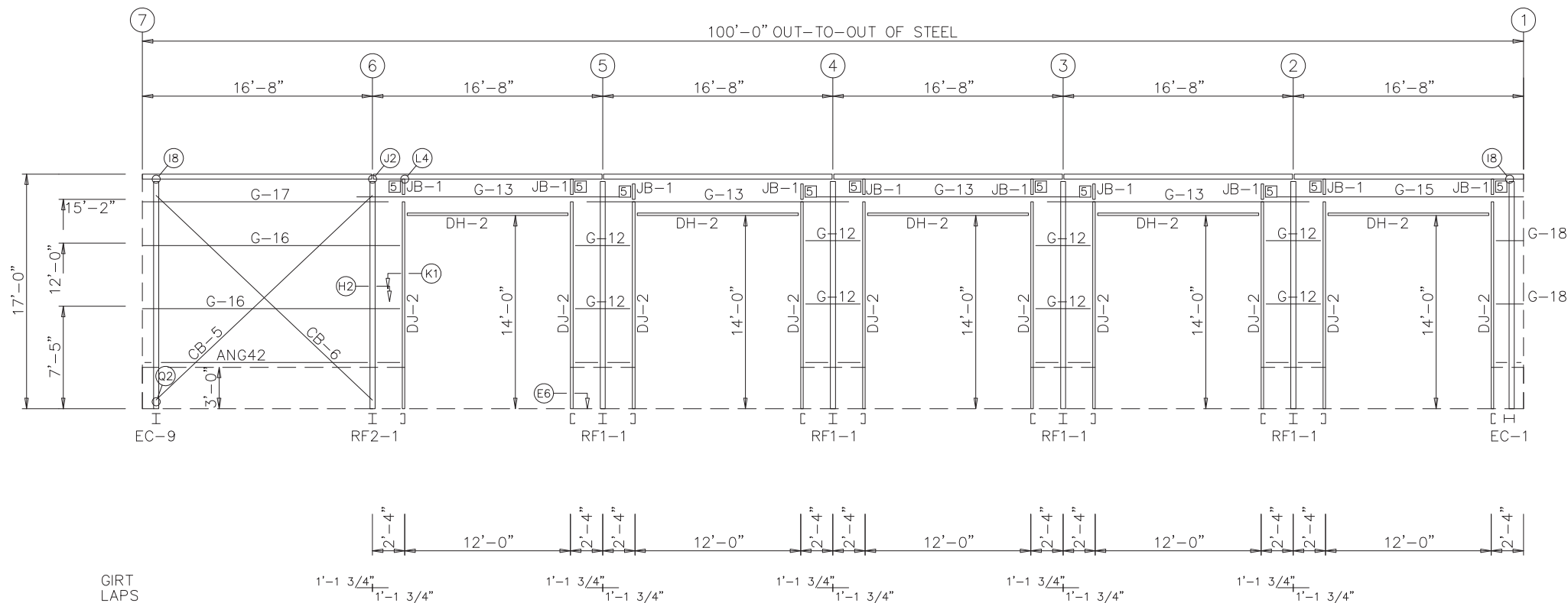
ANDREW BARBER
80'-0" x 100'-0" x 17'-0"
DATE: 4/10/24 REVISION: 0
ENG: MQZ DWN: BJC APPD: CJA

F.O. 28449

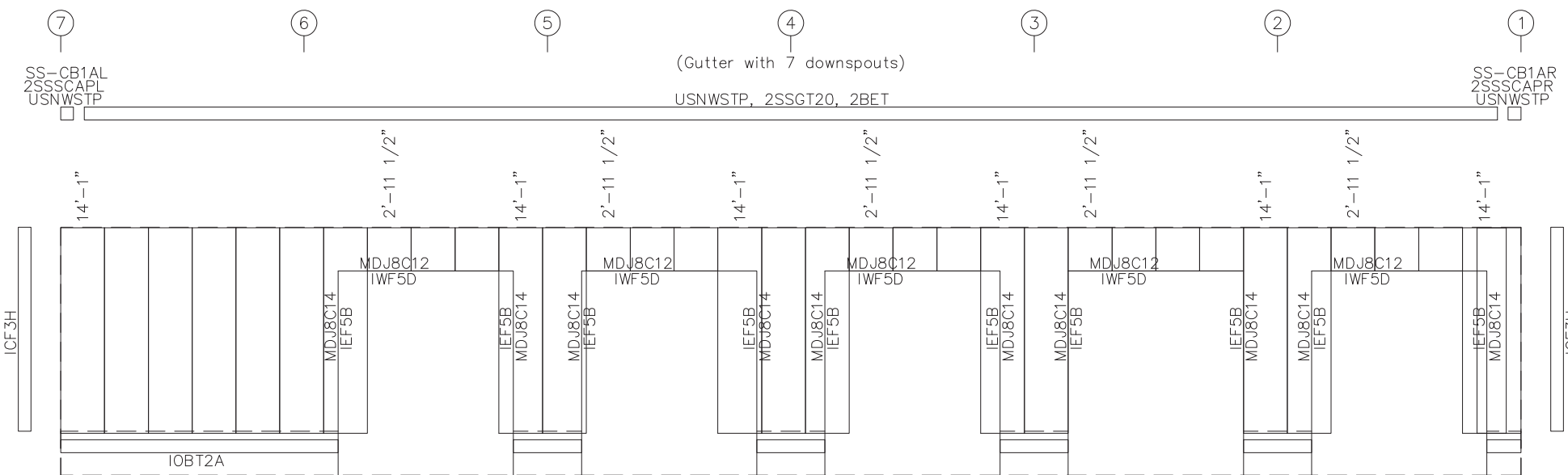
REVISION HISTORY	
REV.	DESCRIPTION

ANDREW BARBER
DRAWING STATUS
CITY: COVENTRY ST/PT: RI
FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.
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FOR CONSTRUCTION: FINAL DRAWINGS.

MINGQIAO ZHU
No. 7710
REGISTERED PROFESSIONAL ENGINEER (Civil)
04/19/2024



SIDEWALL FRAMING: FRAME LINE E



SIDEWALL SHEETING & TRIM: FRAME LINE E
PANELS: 26 Ga. R - Slate Blue

MEMBER TABLE			
FRAME LINE E			
QUAN	MARK	PART	LENGTH
10	DJ-2	08X35C16	15'-1 3/4"
5	DH-2	08X35C16	12'-0"
8	G-12	08X25Z16	4'-0 1/2"
4	G-13	08X25Z16	18'-11 1/2"
1	G-15	08X25Z16	17'-9 1/2"
2	G-16	08X25Z16	18'-8"
1	G-17	08X25Z16	17'-9 1/2"
2	G-18	08X25Z16	2'-0"
1	CB-5	CABLE500	19'-3 5/16"
1	CB-6	CABLE500	18'-9 5/8"
10	JB-1	08X35C16	1'-0 3/4"

CONNECTION PLATES		
FRAME LINE E		
ID	QUAN	MARK/PART
5	10	JC



ANDREW BARBER

80'-0" x 100'-0" x 17'-0"

DATE: 4/10/24 REVISION: 0

ENG: MQZ DWN: BJC APPD: CJA

F.O. 28449

ANDREW BARBER

CITY: COVENTRY
ST/PIV: RI
REVISION HISTORY

REV.	DESCRIPTION	DATE

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MINGQIAO ZHU
No. 7710
REGISTERED PROFESSIONAL ENGINEER (Civil)
04/19/2024

DRAWING IS NOT TO SCALE

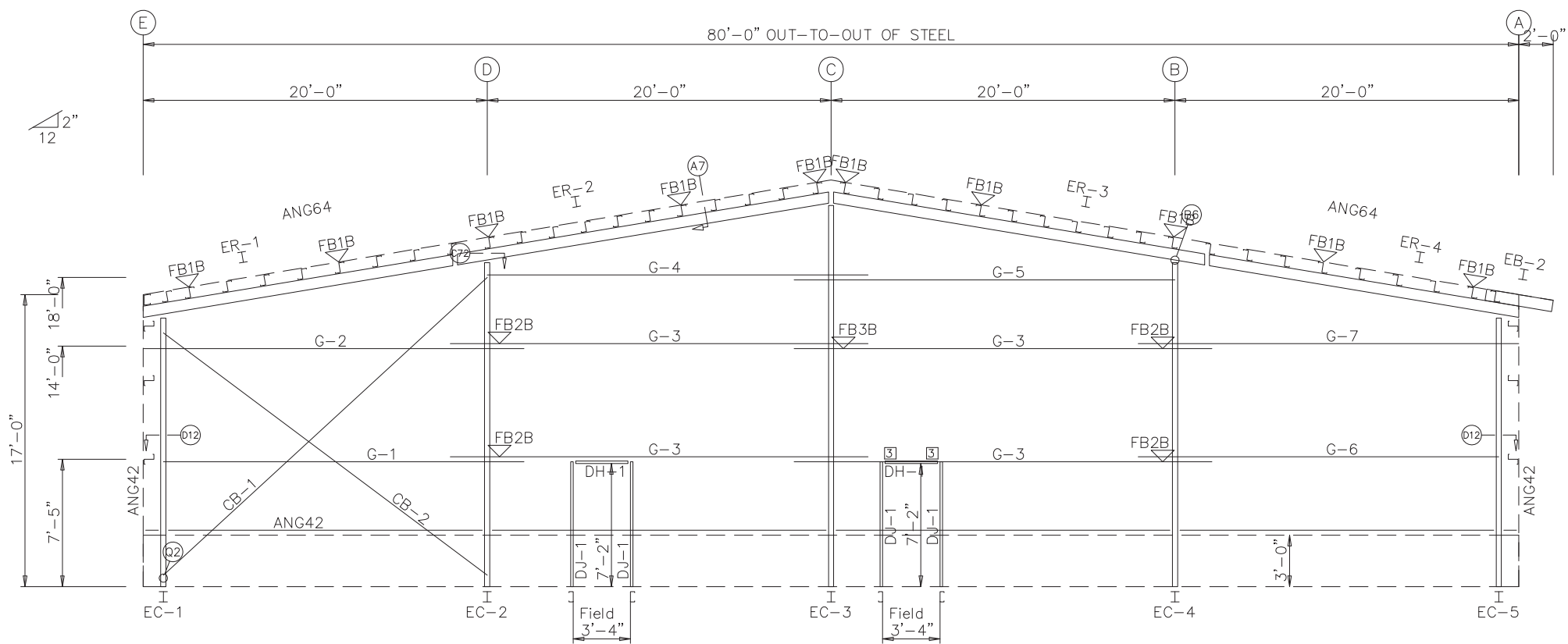
TRIM COLORS

EAVE TRIM = Arctic White	CORNER TRIM = Arctic White
BASE TRIM = Slate Blue	GUTTER = Arctic White
DOOR TRIM = Arctic White	DOWNSPOUTS = Arctic White
RAKE TRIM = Arctic White	
* LINER TRIM = Liner panel color	
* SOFFIT TRIM = Soffit panel color	

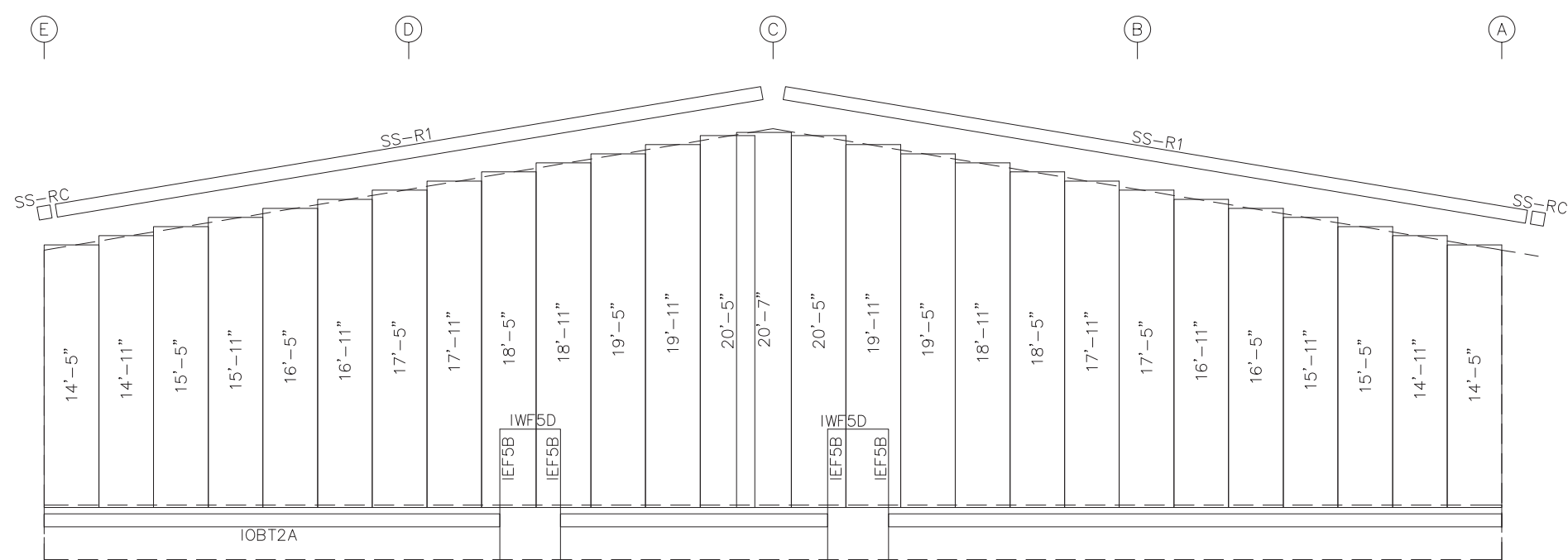
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1
PANELS: 26 Ga. R - Slate Blue

BOLT TABLE
FRAME LINE 1

LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	1/2"	1 1/2"
ER-2/ER-3	8	A325	1/2"	1 1/2"
ER-3/ER-4	8	A325	1/2"	1 1/2"
Cor_Column/Raf	2	A325	3/4"	1 3/4"
EC-2/ER-2	2	A325	3/4"	1 3/4"
EC-3/ER-3	2	A325	1/2"	1 3/4"
EC-4/ER-3	2	A325	3/4"	1 3/4"

MEMBER TABLE
FRAME LINE 1

QUAN	MARK	PART	LENGTH
1	EB-2	W8X10	3'-1 11/16"
1	EC-1	W10X12	15'-9 1/2"
1	EC-2	W10X12	18'-11 1/8"
1	EC-3	W10X22	22'-0 3/4"
1	EC-4	W10X12	18'-11 1/8"
1	EC-5	W10X12	15'-9 1/2"
1	ER-1	W8X10	18'-4 5/8"
1	ER-2	W8X10	22'-2"
1	ER-3	W8X10	22'-2"
1	ER-4	W8X10	18'-4 5/8"
4	DJ-1	08X35C16	7'-4 3/4"
2	DH-1	08X30C16	3'-4"
1	G-1	08X25Z16	21'-5 1/2"
1	G-2	08X25Z16	22'-1 1/2"
4	G-3	08X25Z16	24'-3 1/2"
1	G-4	08X25Z16	22'-3 1/2"
1	G-5	08X25Z16	22'-3 1/2"
1	G-6	08X25Z16	21'-5 1/2"
1	G-7	08X25Z16	22'-1 1/2"
1	CB-1	CABLE250	23'-11 7/16"
1	CB-2	CABLE250	21'-11 3/16"

CONNECTION PLATES
FRAME LINE 1

ID	QUAN	MARK/PART
3	4	c1

FLANGE BRACE TABLE
FRAME LINE 1

VID	MARK	LENGTH
1	FB1B	1'-2 3/8"
2	FB2B	1'-3 5/8"
3	FB3B	1'-3 3/4"

DRAWING IS NOT TO SCALE

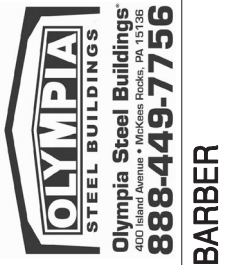
TRIM COLORS

EAVE TRIM = Arctic White	CORNER TRIM = Arctic White
BASE TRIM = Slate Blue	GUTTER = Arctic White
DOOR TRIM = Arctic White	DOWNSPOUTS = Arctic White
RAKE TRIM = Arctic White	
* LINER TRIM = Liner panel color	
* SOFFIT TRIM = Soffit panel color	

* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. See detail C7A for field coping of coldform endwall column flange braces.
3. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).



ANDREW BARBER

80'-0" x 100'-0" x 17'-0"

DATE: 4/10/24 REVISION: 0
ENG: MQZ DWN: BJC APPD: CJA

F.O. 28449

REVISION HISTORY

REV.	DESCRIPTION	DATE

DRAWING STATUS
CITY: COVENTRY ST/PIV: RI

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FOR CONSTRUCTION:
FINAL DRAWINGS.

ANDREW BARBER

MINGQIAO ZHU

No. 7710

REGISTERED PROFESSIONAL ENGINEER (Civil)

04/19/2024