

HOXIE COURT PLACE

(AP 88, LOTS 87 & 88.2)

HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

PRELIMINARY PLAN SUBMISSION / NOVEMBER 2025 / REVISED MARCH 2026

<u>OWNER</u> BRUCE B. GIBB & VICTORIA M. GIBB 31 HOXIE COURT COVENTRY, RI 02816	<u>APPLICANT</u> NBG CONSTRUCTION 606 VICTORY HIGHWAY WEST GREENWICH, RI 02817
<u>OWNER / APPLICANT CONTACT</u>	BEN GASIOR BEN@NBGCONSTRUCTION.COM 401-487-1720

<u>LEGAL COUNSEL</u> THOMAS P. CRONIN, ESQ. NOLAN, BRUNERO, CRONIN & FERRARA LTD. 1070 MAIN STREET COVENTRY, RI 02816 TJC@NDGRB.COM 401-828-5800	<u>PROJECT MANAGER / SURVEYOR / OWTS DESIGNER / SOIL EVALUATOR</u>  SCITUATE SURVEYS, INC. 410 TIGQUE AVENUE COVENTRY, RHODE ISLAND 02816 401 821 8101 LAND SURVEYING/MAPPING / SITE PLANNING
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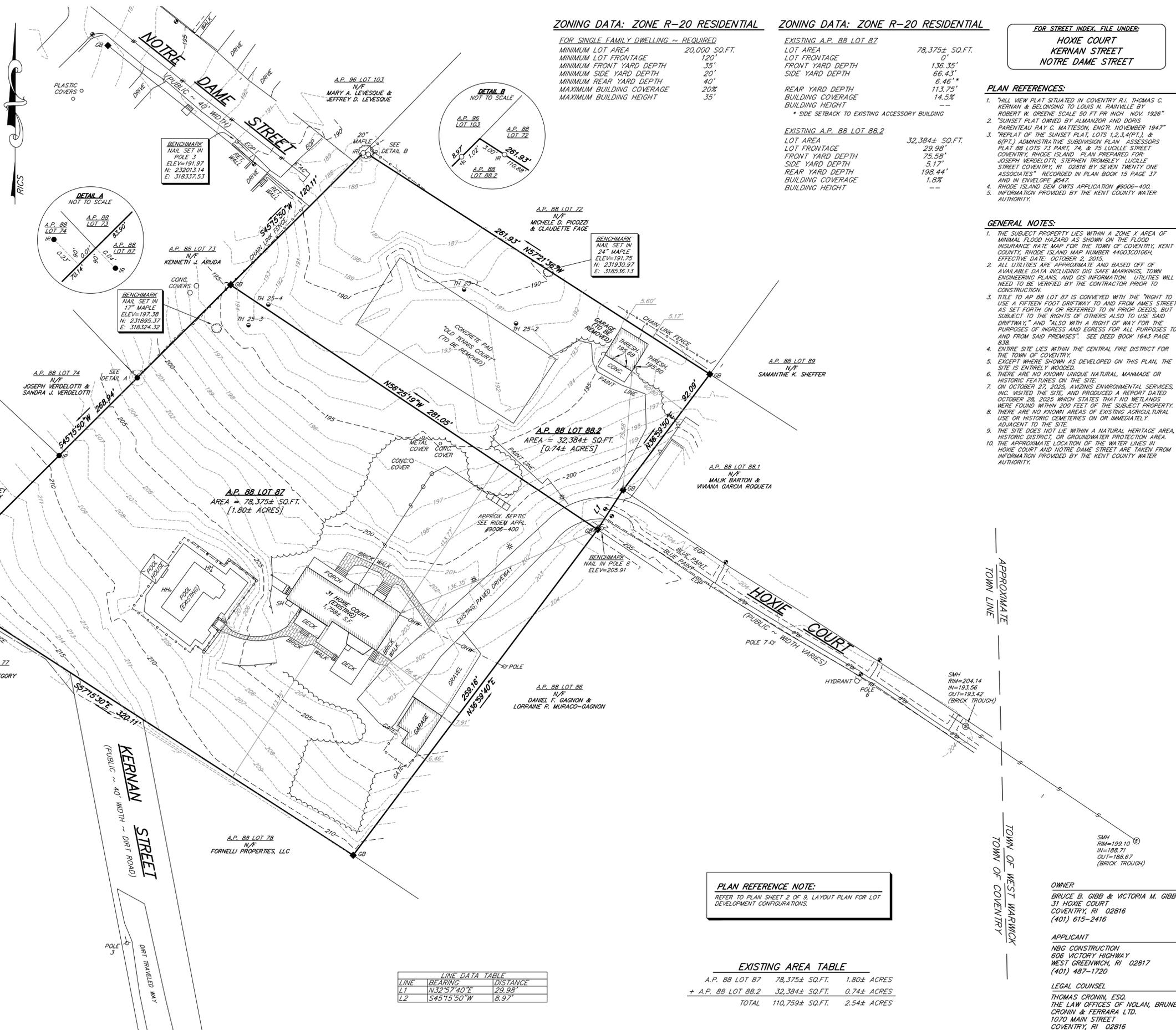
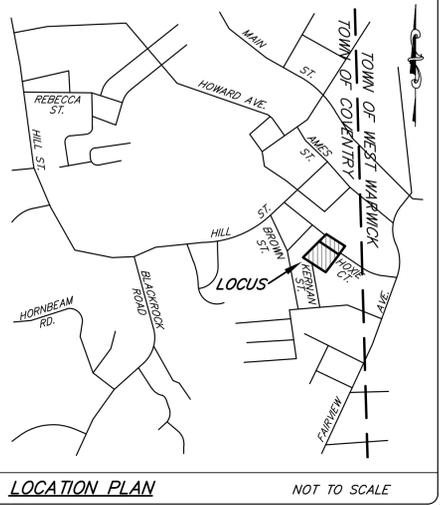
<u>PROJECT ENGINEER</u>  Walker Engineering, Ltd. 31 Vale Court West Greenwich, RI 02817 Phone / Fax (401) 397-8745 Email: wsl31pw@gmail.com	<u>WETLANDS BIOLOGIST</u>  AVIZINIS ENVIRONMENTAL SERVICES INC PO BOX 836 CHARLESTOWN, RI 02813
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PLAN SET INDEX

SHEET NO.	SHEET TITLE
1 OF 9	EXISTING CONDITIONS PLAN
2 OF 9	LOT LAYOUT PLAN
3 OF 9	LAYOUT PLAN
4 OF 9	DRAINAGE, GRADING & EROSION CONTROL PLAN
5 OF 9	UTILITIES PLAN
6 OF 9	NOTRE DAME ROAD EXTENSION PLAN & PROFILE
7 OF 9	WATER NOTES & DETAILS
8 OF 9	NOTES & DETAILS NO. 1
9 OF 9	NOTES & DETAILS NO. 2

PLAN SET USE NOTES:
1. NOT FOR CONSTRUCTION WITHOUT ALL REQUIRED STATE, TOWN & UTILITIES APPROVALS AND PERMITS
2. MAY BE USED FOR PRELIMINARY BIDDING PURPOSES PRIOR TO ALL REQUIRED APPROVALS BEING RECEIVED.

REVISIONS	
DATE	DESCRIPTION
MAR 2026	TOWN / KCWA COMMENTS



ZONING DATA: ZONE R-20 RESIDENTIAL

FOR SINGLE FAMILY DWELLING ~ REQUIRED

MINIMUM LOT AREA	20,000 SQ.FT.
MINIMUM LOT FRONTAGE	120'
MINIMUM FRONT YARD DEPTH	35'
MINIMUM SIDE YARD DEPTH	20'
MINIMUM REAR YARD DEPTH	40'
MAXIMUM BUILDING COVERAGE	20%
MAXIMUM BUILDING HEIGHT	35'

ZONING DATA: ZONE R-20 RESIDENTIAL

EXISTING A.P. 88 LOT 87

LOT AREA	78,375± SQ.FT.
LOT FRONTAGE	0'
FRONT YARD DEPTH	136.35'
SIDE YARD DEPTH	66.43'
REAR YARD DEPTH	6.46'
BUILDING COVERAGE	14.5%
BUILDING HEIGHT	---

* SIDE SETBACK TO EXISTING ACCESSORY BUILDING

EXISTING A.P. 88 LOT 88.2

LOT AREA	32,384± SQ.FT.
LOT FRONTAGE	29.98'
FRONT YARD DEPTH	75.58'
SIDE YARD DEPTH	5.17'
REAR YARD DEPTH	198.44'
BUILDING COVERAGE	1.8%
BUILDING HEIGHT	---

FOR STREET INDEX, FILE UNDER:
HOXIE COURT
KERNAN STREET
NOTRE DAME STREET

- PLAN REFERENCES:**
- "HILL VIEW PLAT SITUATED IN COVENTRY R.I. THOMAS C. KERNAN & BELONGING TO LOUIS N. RAINVILLE BY ROBERT W. GREENE SCALE 50 FT PER INCH NOV. 1926"
 - "SUNSET PLAT OWNED BY ALMANZOR AND DORIS PARENTEAU RAY C. MATTESON, ENGR. NOVEMBER 1947"
 - "REPLAT OF THE SUNSET PLAT, LOTS 1,2,3,4(PT.), & (PT.) ADMINISTRATIVE SUBDIVISION PLAN, ASSESSORS PLAT 88 LOTS 73 PART, 74, & 75 LUCILLE STREET COVENTRY, RHODE ISLAND PLAN PREPARED FOR: JOSEPH VERDELOTTI, STEPHEN TROMBLEY LUCILLE STREET COVENTRY, RI 02816 BY SEVEN TWENTY ONE ASSOCIATES" RECORDED IN PLAT BOOK 15 PAGE 37 AND IN ENVELOPE #547.
 - RHODE ISLAND DEM OWT'S APPLICATION #9006-400.
 - INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

- GENERAL NOTES:**
- THE SUBJECT PROPERTY LIES WITHIN A ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, KENT COUNTY, RHODE ISLAND MAP NUMBER 44003C0106H, EFFECTIVE DATE: OCTOBER 2, 2015.
 - ALL UTILITIES ARE APPROXIMATE AND BASED OFF OF AVAILABLE DATA INCLUDING DIG SAFE MARKINGS, TOWN ENGINEERING PLANS, AND GIS INFORMATION. UTILITIES WILL NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - TITLE TO AP 88 LOT 87 IS CONVEYED WITH THE "RIGHT TO USE A FIFTEEN FOOT DRIFTWAY TO AND FROM AMES STREET AS SET FORTH ON OR REFERRED TO IN PRIOR DEEDS, BUT SUBJECT TO THE RIGHTS OF OTHERS ALSO TO USE SAID DRIFTWAY," AND "ALSO WITH A RIGHT OF WAY FOR THE PURPOSES OF INGRESS AND EGRESS FOR ALL PURPOSES TO AND FROM SAID PREMISES". SEE DEED BOOK 1643 PAGE 838.
 - ENTIRE SITE LIES WITHIN THE CENTRAL FIRE DISTRICT FOR THE TOWN OF COVENTRY.
 - EXCEPT WHERE SHOWN AS DEVELOPED ON THIS PLAN, THE SITE IS ENTIRELY WOODED.
 - THERE ARE NO KNOWN UNIQUE NATURAL, MANMADE OR HISTORIC FEATURES ON THE SITE.
 - ON OCTOBER 27, 2025, ANIZIUS ENVIRONMENTAL SERVICES, INC. VISITED THE SITE, AND PRODUCED A REPORT DATED OCTOBER 28, 2025 WHICH STATES THAT NO WETLANDS WERE FOUND WITHIN 200 FEET OF THE SUBJECT PROPERTY.
 - THERE ARE NO KNOWN AREAS OF EXISTING AGRICULTURAL USE OR HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE.
 - THE SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, HISTORIC DISTRICT, OR GROUNDWATER PROTECTION AREA.
 - THE APPROXIMATE LOCATION OF THE WATER LINES IN HOXIE COURT AND NOTRE DAME STREET ARE TAKEN FROM INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	N32°57'40"E	29.98'
L2	S45°15'50"W	8.97'

PLAN REFERENCE NOTE:
 REFER TO PLAN SHEET 2 OF 9, LAYOUT PLAN FOR LOT DEVELOPMENT CONFIGURATIONS.

EXISTING AREA TABLE

A.P. 88 LOT 87	78,375± SQ.FT.	1.80± ACRES
+ A.P. 88 LOT 88.2	32,384± SQ.FT.	0.74± ACRES
TOTAL	110,759± SQ.FT.	2.54± ACRES

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - N/F NOW OR FORMERLY
 - SQ.FT. SQUARE FEET
 - GB GRANITE BOUND FOUND
 - IR IRON ROD FOUND
 - IP IRON PIPE FOUND
 - IR IRON ROD WITH CAP SET
 - UP UTILITY POLE
 - LP LIGHT POLE
 - WG WATER GATE
 - SMH SEWER MANHOLE
 - UHH UTILITY HAND HOLE
 - OHW OVERHEAD WIRES
 - EOP EDGE OF PAVEMENT
 - SH OUTDOOR SHOWER
 - TH TEST HOLE LOCATION
 - RETAINING WALL
 - CHAIN LINK FENCE
 - WIRE FENCE
 - W APPROXIMATE EXISTING WATER MAIN

SCITUATE SURVEYS, INC.

410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401.821.8101

LAND SURVEYING / MAPPING / SITE PLANNING

SCALE IN FEET: 0 15 30 60 90

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 20, 2015, AS FOLLOWS:

TYPE OF SURVEY: BOUNDARY SURVEY
 CLASS: CLASS I
 MEASUREMENT: ELECTRONIC
 CLASS II

STATEMENT OF JURISDICTION
 THE PURPOSE OF THIS PLAN IS TO REPORT THE RESULTS OF A BOUNDARY RETRIEVAL SURVEY AND TO SHOW EXISTING CONDITIONS FOR THE PART OF A PROPOSED MINOR SUBDIVISION.

DATE: 03/06/2025

JULIE MICHELLE RAMONDI
 No. 2540
 PROFESSIONAL LAND SURVEYOR

DATE: 03/06/2025

REVISION: 03/06/2025

"HOXIE COURT PLACE"
 PRELIMINARY MINOR SUBDIVISION
 EXISTING CONDITIONS PLAN

OF LAND OF
BRUCE B. GIBB & VICTORIA M. GIBB
 ASSESSOR'S PLAT 88 LOTS 87 & 88.2
 HOXIE COURT, NOTRE DAME STREET AND KERNAN STREET
 COVENTRY, RHODE ISLAND

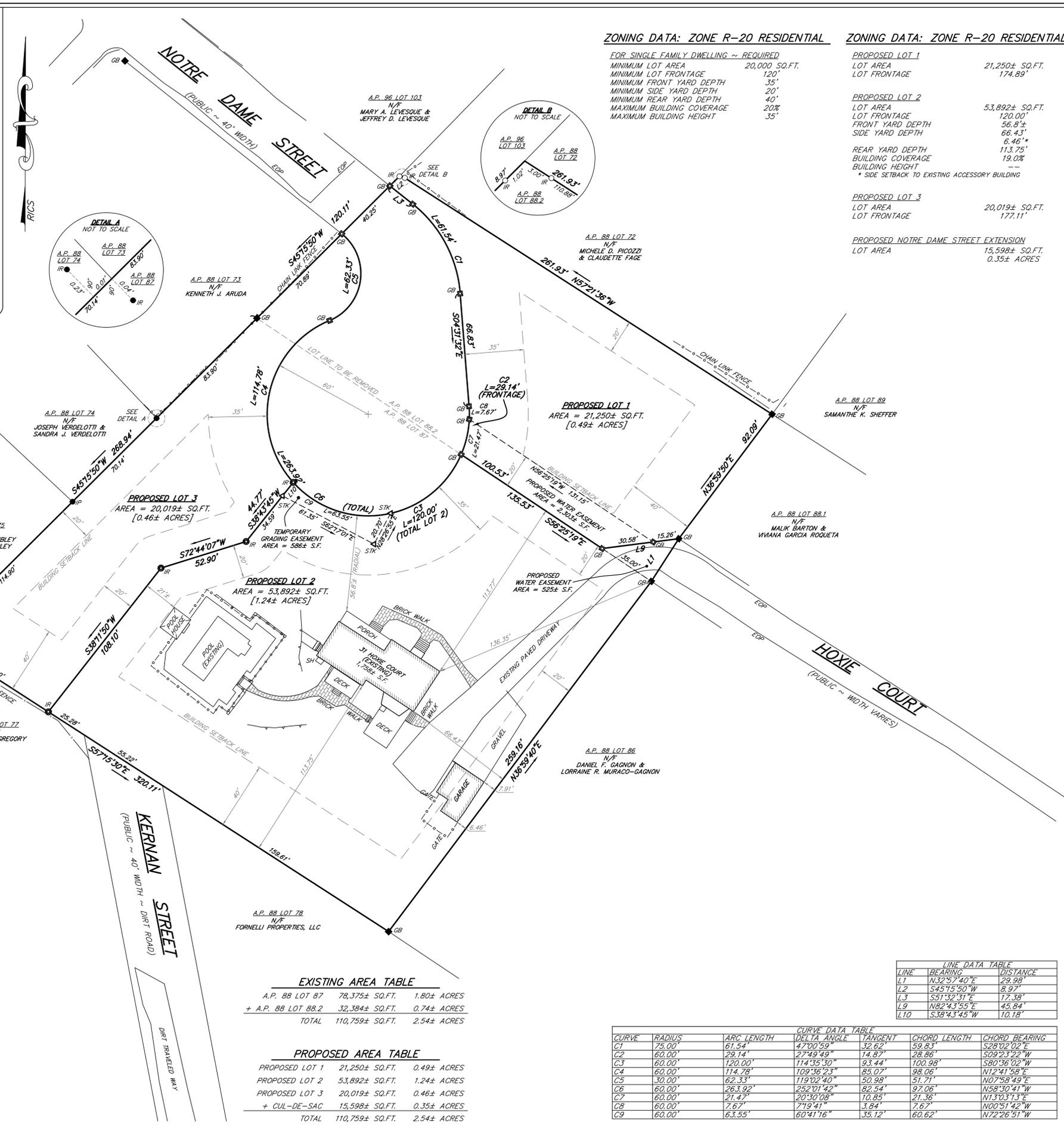
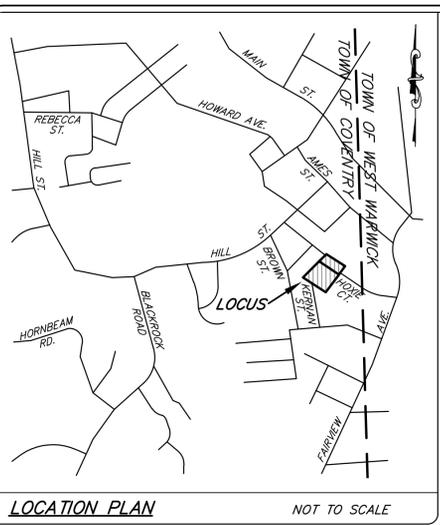
OWNER
 BRUCE B. GIBB & VICTORIA M. GIBB
 31 HOXIE COURT
 COVENTRY, RI 02816
 (401) 615-2416

APPLICANT
 NBG CONSTRUCTION
 606 VICTORY HIGHWAY
 WEST GREENWICH, RI 02817
 (401) 487-1720

LEGAL COUNSEL
 THOMAS CRONIN, ESQ.
 THE LAW OFFICES OF NOLAN, BRUNER, CRONIN & FERRARA LTD.
 1070 MAIN STREET
 COVENTRY, RI 02816
 (401) 828-5800

PROJECT NO.: SSS3148
 DRAWING NO.: SSS218
 DRAWN BY: C. J. BIITIG

SHEET 1 OF 9



ZONING DATA: ZONE R-20 RESIDENTIAL

FOR SINGLE FAMILY DWELLING ~ REQUIRED

MINIMUM LOT AREA	20,000 SQ.FT.
MINIMUM LOT FRONTAGE	120'
MINIMUM FRONT YARD DEPTH	35'
MINIMUM SIDE YARD DEPTH	20'
MINIMUM REAR YARD DEPTH	40'
MAXIMUM BUILDING COVERAGE	20%
MAXIMUM BUILDING HEIGHT	35'

ZONING DATA: ZONE R-20 RESIDENTIAL

PROPOSED LOT 1

LOT AREA	21,250± SQ.FT.
LOT FRONTAGE	174.89'

PROPOSED LOT 2

LOT AREA	53,892± SQ.FT.
LOT FRONTAGE	120.00'
FRONT YARD DEPTH	56.9'±
SIDE YARD DEPTH	66.43'
REAR YARD DEPTH	6.46'*
BUILDING COVERAGE	113.75'
BUILDING HEIGHT	19.08'
* SIDE SETBACK TO EXISTING ACCESSORY BUILDING	---

PROPOSED LOT 3

LOT AREA	20,019± SQ.FT.
LOT FRONTAGE	177.11'

PROPOSED NOTRE DAME STREET EXTENSION

LOT AREA	15,598± SQ.FT.
LOT AREA	0.35± ACRES

- FOR STREET INDEX, FILE UNDER:**
- HOXIE COURT
KERNAN STREET
NOTRE DAME STREET**
- PLAN REFERENCES:**
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 - "REPLAT OF THE SUNSET PLAT, LOTS 1,2,3,4(PT.), & 6(PT.) ADMINISTRATIVE SUBDIVISION PLAN, ASSESSORS PLAT 88 LOTS 73 PART, 74, & 75 LUCILLE STREET COVENTRY, RHODE ISLAND PLAN PREPARED FOR: JOSEPH VERDELOTTI, STEPHEN TROMBLEY LUCILLE STREET COVENTRY, RI 02816 BY SEVEN TWENTY ONE ASSOCIATES" RECORDED IN PLAT BOOK 15 PAGE 37 AND IN ENVELOPE #647.
 - RHODE ISLAND DEM OWTs APPLICATION #8006-400.
 - INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

- GENERAL NOTES:**
- THE SUBJECT PROPERTY LIES WITHIN A ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, KENT COUNTY, RHODE ISLAND MAP NUMBER 44003C0106H, EFFECTIVE DATE: OCTOBER 2, 2015.
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 - EXCEPT WHERE SHOWN AS DEVELOPED ON THIS PLAN, THE SITE IS ENTIRELY WOODED.
 - THERE ARE NO KNOWN UNIQUE NATURAL, MANMADE OR HISTORIC FEATURES ON THE SITE.
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 - THERE ARE NO KNOWN AREAS OF EXISTING AGRICULTURAL USE OR HISTORIC CEMETERIES OR ON IMMEDIATELY ADJACENT TO THE SITE.
 - THE SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, HISTORIC DISTRICT, OR GROUNDWATER PROTECTION AREA.
 - THE APPROXIMATE LOCATION OF THE WATER LINES IN HOXIE COURT AND NOTRE DAME STREET ARE TAKEN FROM INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.
 - APPLICATIONS FOR ON-SITE WASTEWATER TREATMENT SYSTEMS HAVE BEEN SUBMITTED FOR LOTS 1 AND 3 (REFERENCE IA NUMBERS 13722 AND 13725).

LOCATION PLAN NOT TO SCALE

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - N/F NOW OR FORMERLY
 - SQ.FT. SQUARE FEET
 - GB GRANITE BOUND FOUND
 - IR IRON ROD FOUND
 - IP IRON PIPE FOUND
 - GB GRANITE BOUND TO BE SET
 - ▲ STK STAKE TO BE SET
 - IR IRON ROD TO BE SET
 - IR IRON ROD WITH CAP SET
 - UTILITY POLE
 - * LIGHT POLE
 - WATER GATE
 - SEWER MANHOLE
 - HH UTILITY HAND HOLE
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 - EOP EDGE OF PAVEMENT
 - SH OUTDOOR SHOWER
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 - RETAINING WALL
 - CHAIN LINK FENCE
 - WIRE FENCE
 - APPROXIMATE EXISTING WATER MAIN

EXISTING AREA TABLE

A.P. 88 LOT 87	78,375± SQ.FT.	1.80± ACRES
+ A.P. 88 LOT 88.2	32,384± SQ.FT.	0.74± ACRES
TOTAL	110,759± SQ.FT.	2.54± ACRES

PROPOSED AREA TABLE

PROPOSED LOT 1	21,250± SQ.FT.	0.49± ACRES
PROPOSED LOT 2	53,892± SQ.FT.	1.24± ACRES
PROPOSED LOT 3	20,019± SQ.FT.	0.46± ACRES
+ CUL-DE-SAC	15,598± SQ.FT.	0.35± ACRES
TOTAL	110,759± SQ.FT.	2.54± ACRES

LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	N32°57'40"E	29.98'
L2	S45°15'50"W	8.97'
L3	S51°32'31"E	17.38'
L9	N82°43'55"E	45.84'
L10	S38°43'45"W	10.18'

CURVE DATA TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	75.00'	61.54'	47°00'59"	32.62'	59.83'	S28°02'02"E
C2	60.00'	29.14'	27°49'49"	14.87'	28.86'	S09°23'22"W
C3	60.00'	120.00'	114°35'30"	93.44'	100.98'	S80°36'02"W
C4	60.00'	114.78'	109°36'23"	85.07'	98.06'	N12°41'58"E
C5	30.00'	62.33'	119°02'40"	50.98'	51.71'	N07°58'49"E
C6	60.00'	263.92'	252°01'42"	82.54'	97.06'	N58°30'41"W
C7	60.00'	21.47'	20°30'08"	10.85'	7.67'	N13°03'13"E
C8	60.00'	7.67'	7°19'41"	3.84'	2.67'	N00°51'42"W
C9	60.00'	63.55'	60°41'16"	35.12'	60.62'	N72°26'51"W

APPROXIMATE TOWN LINE

TOWN OF WEST WARWICK

TOWN OF COVENTRY

SCITUATE SURVEYS, INC.

410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401 821 8101

LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 1"=30'

STATEMENT OF JURISDICTION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 20, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPENSATED BOUNDARY SURVEY

TYPE OF SUBDIVISION: DATA ACCUMULATION SURVEY

STATEMENT OF JURISDICTION

THE PURPOSE OF THIS PLAN IS TO REPORT THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AND TO SHOW A PROPOSED MINOR SUBDIVISION.

BY: *Julie Michelle Ramondi*

PROFESSIONAL LAND SURVEYOR

No. 2540

STATE OF RHODE ISLAND

JULIE MICHELLE RAMONDI

No. 2540

PROFESSIONAL LAND SURVEYOR

"HOXIE COURT PLACE"
PRELIMINARY MINOR SUBDIVISION
LOT LAYOUT PLAN

OF LAND OF
BRUCE B. GIBB & VICTORIA M. GIBB
ASSESSOR'S PLAT 88 LOTS 87 & 88.2

HOXIE COURT, NOTRE DAME STREET AND KERNAN STREET
COVENTRY, RHODE ISLAND

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817
(401) 615-2416

APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817
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LEGAL COUNSEL
THOMAS GRONIN, ESQ.
THE LAW OFFICES OF NOLAN, BRUNERO,
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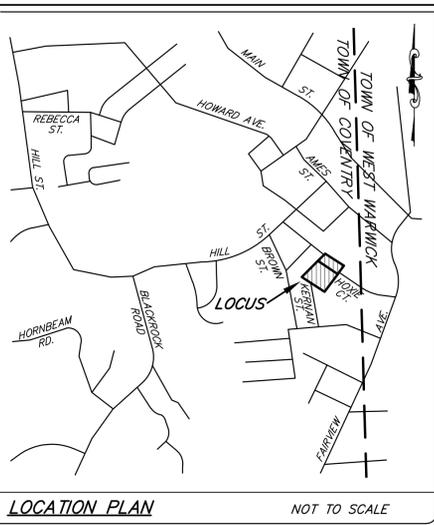
PROJECT NO.: SSS3148
DRAWING NO.: SSS218
DRAWN BY: C. J. BIITIG

SCALE: 1"=30'

DATE: NOVEMBER 14, 2025

REVISION: 03/06/2026

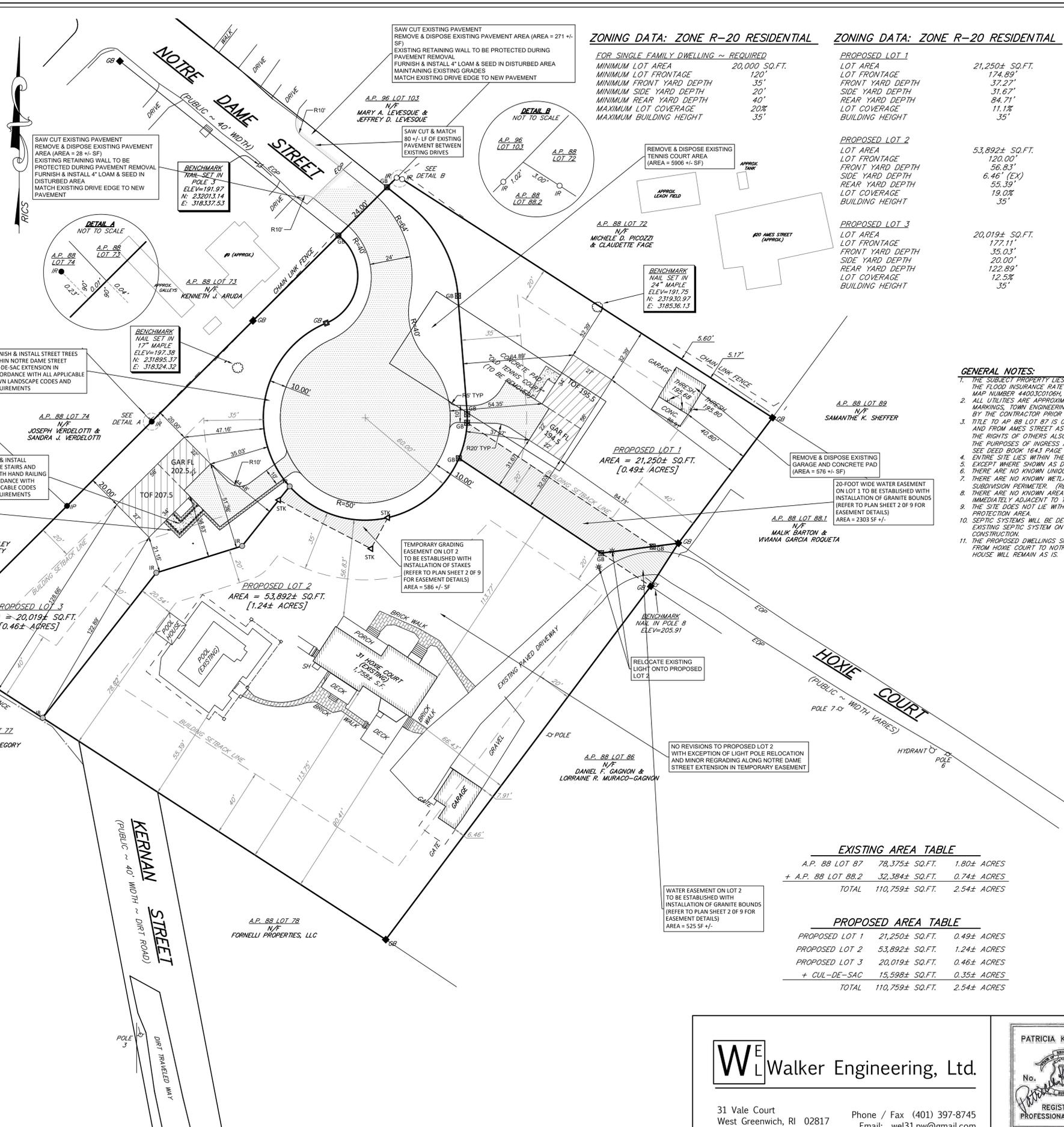
SHEET 2 of 9



- PLAN REFERENCES:**
- "HILL VIEW PLAT SITUATED IN COVENTRY R.I. THOMAS C. KERNAN & BELONGING TO LOUIS N. RAINVILLE BY ROBERT W. GREENE SCALE 50 FT PER INCH NOV. 1926"
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 - "REPLAT OF THE SUNSET PLAT, LOTS 1,2,3,4(P,T), & 6(P,T) ADMINISTRATIVE SUBDIVISION PLAN ASSESSORS PLAT 88 LOTS 73 PART, 74, & 75 LUCILLE STREET COVENTRY, RHODE ISLAND PLAN PREPARED FOR: JOSEPH VERDELOTTI, STEPHEN TROMBLEY LUCILLE STREET COVENTRY, RI 02816 BY SEVEN TWENTY ONE ASSOCIATES" RECORDED IN PLAN BOOK 15 PAGE 37 AND IN ENVELOPE #547.
 - RHODE ISLAND DEED APPLICATION #0006-400.
 - INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

SURVEY LEGEND

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ.FT. SQUARE FEET
- GB GRANITE BOUND FOUND
- IR IRON ROD FOUND
- IP IRON PIN FOUND
- IR IRON ROD WITH CAP SET
- U UTILITY POLE
- * L LIGHT POLE
- W WATER GATE
- S SEWER MANHOLE
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- OHW OVERHEAD WIRES
- EOP EDGE OF PAVEMENT
- SH OUTDOOR SHOWER
- T TEST HOLE LOCATION
- R RETAINING WALL
- - - C CHAIN LINK FENCE
- - - W WIRE FENCE
- - - W APPROXIMATE EXISTING WATER MAIN



LEGEND

EXISTING	DESCRIPTION	PROPOSED
■ GB	GRANITE BOUND	■ GB
● IR	IRON ROD	● IR
○ IR	PUBLIC HYDRANT	○ IR
○ U	UTILITY POLE	○ U
- - - W - - -	WATER LINE	- - - W - - -
● CV	CURB STOP WITH GATE VALVE	● CV
● CS	CORPORATION STOP	● CS
▲	THRUST BLOCK	▲
③	LOT NO.	③
[Pattern]	PAVEMENT	[Pattern]
[Pattern]	BUILDING	[Pattern]
[Pattern]	CONCRETE WALK	[Pattern]
- - - 00 - - -	3' H MAX RETAINING WALL	- - - 00 - - -
- - - 00 - - -	CONTOUR LINE	- - - 00 - - -
○ - ○	LIMIT OF DISTURBANCE WITH E&S MEASURES	○ - ○
▲ STK	STAKE	▲ STK
- - - S - - -	SANITARY LINE	- - - S - - -

- GENERAL NOTES:**
- THE SUBJECT PROPERTY LIES WITHIN A ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, KENT COUNTY, RHODE ISLAND MAP NUMBER 4403C0100H, EFFECTIVE DATE: OCTOBER 21, 2015.
 - ALL UTILITIES ARE APPROXIMATE AND BASED OFF OF AVAILABLE DATA INCLUDING DIG SAFE MARKINGS, TOWN ENGINEERING PLANS, AND GIS INFORMATION. UTILITIES WILL NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - TITLE TO AP 88 LOT 87 IS CONVEYED WITH THE RIGHT TO USE A FIFTEEN FOOT DRIFTWAY TO AND FROM AMES STREET AS SET FORTH IN PRIOR DEEDS, BUT SUBJECT TO THE RIGHTS OF OTHERS ALSO TO USE SAID DRIFTWAY, AND ALSO WITH A RIGHT OF WAY FOR THE PURPOSES OF INGRESS AND EGRESS FOR ALL PURPOSES TO AND FROM SAID PREMISES. SEE DEED BOOK 1643 PAGE 838.
 - ENTIRE SITE LIES WITHIN THE CENTRAL FIRE DISTRICT FOR THE TOWN OF COVENTRY.
 - EXCEPT WHERE SHOWN AS DEVELOPED ON THIS PLAN, THE SITE IS ENTIRELY WOODED.
 - THERE ARE NO KNOWN UNIQUE NATURAL, MANMADE OR HISTORIC FEATURES ON THE SITE.
 - THERE ARE NO KNOWN WETLANDS OR WATERCOURSES ON THE SITE OR WITHIN 200' OF THE SUBDIVISION PERIMETER. (REFERENCE TO AVIZING ENVIRONMENTAL SERVICES REPORT)
 - THERE ARE NO KNOWN AREAS OF EXISTING AGRICULTURAL USE OR HISTORIC CEMETERIES OR IMMEDIATELY ADJACENT TO THE SITE.
 - THE SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, HISTORIC DISTRICT, OR GROUNDWATER PROTECTION AREA.
 - SEPTIC SYSTEMS WILL BE DESIGNED FOR PROPOSED LOTS 1 & 3 BY SCITUATE SURVEYS, INC. THE EXISTING SEPTIC SYSTEM ON PROPOSED LOT 2 SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - THE PROPOSED DWELLINGS SHALL BE CONNECTED TO THE PROPOSED WATER MAIN EXTENSION FROM HOXIE COURT TO NOTRE DAME STREET. THE CURRENT WATER SERVICE FOR THE EXISTING HOUSE WILL REMAIN AS IS.

EXISTING AREA TABLE

A.P. 88 LOT 87	78,375± SQ.FT.	1.80± ACRES
+ A.P. 88 LOT 88.2	32,384± SQ.FT.	0.74± ACRES
TOTAL	110,759± SQ.FT.	2.54± ACRES

PROPOSED AREA TABLE

PROPOSED LOT 1	21,250± SQ.FT.	0.49± ACRES
PROPOSED LOT 2	53,892± SQ.FT.	1.24± ACRES
PROPOSED LOT 3	20,019± SQ.FT.	0.46± ACRES
+ CUL-DE-SAC	15,598± SQ.FT.	0.35± ACRES
TOTAL	110,759± SQ.FT.	2.54± ACRES

PLAN REFERENCE NOTE
REFER TO PLAN SHEET 2 OF 9, LOT LAYOUT PLAN FOR NEW LOTS CONFIGURATIONS, ROADWAY EXTENSION AND EASEMENTS

FOR STREET INDEX FILE UNDER:
HOXIE COURT
KERNAN STREET
NOTRE DAME STREET

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
COVENTRY, RI 02816

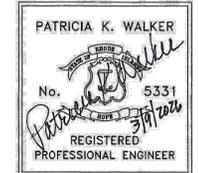
APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT
BEN GASIOR
BEN@NBGCONSTRUCTION.COM
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WEL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31pw@gmail.com



SCITUATE SURVEYS, INC.

410 TROBRIK AVENUE
COVENTRY, RHODE ISLAND 02816
401-882-8101

LAND SURVEYING / MAPPING / SITE PLANNING

SCALE IN FEET: 30 15 0 30 60 90

3/29/26

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY

TYPE OF SURVEY: OWNER DATA ACCUMULATION SURVEY

DATE OF SURVEY: 3/29/26

BY: Julie Michelle Ramondi, Professional Land Surveyor No. 2540

JULIE MICHELLE RAMONDI
No. 2540
PROFESSIONAL LAND SURVEYOR

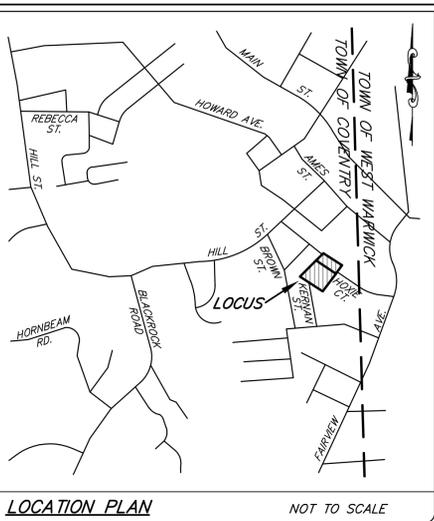
LAYOUT PLAN

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

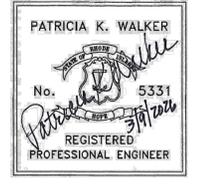
PROJECT NO.: SS3148
DRAWING NO.: SS5218
DRAWN BY: SSI / WEL

SHEET 3 OF 9

DATE: NOV 14, 2025 REVISION: MAR 9, 2026



WEL Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wel31.pw@gmail.com



FOR STREET INDEX, FILE UNDER:
**HOXIE COURT
 KERNAN STREET
 NOTRE DAME STREET**

LEGEND

EXISTING	DESCRIPTION	PROPOSED
GB	GRANITE BOUND	GB
IR	IRON ROD	IR
PH	PUBLIC HYDRANT	PH
W	WATER LINE	W
CV	CURB STOP WITH GATE VALVE	CV
CS	CORPORATION STOP	CS
▲	THRUST BLOCK	▲
③	LOT NO.	③
[Pattern]	PAVEMENT	[Pattern]
[Pattern]	BUILDING	[Pattern]
[Pattern]	CONCRETE WALK	[Pattern]
[Pattern]	3'H MAX RETAINING WALL	[Pattern]
---	CONTOUR LINE	---
---	LIMIT OF DISTURBANCE WITH E&S MEASURES	---
STK	STAKE	STK
---	SANITARY LINE	---

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401.821.8101
 LAND SURVEYING / MAPPING / SITE PLANNING

REQUIRED TOWN NOTES

THE FOLLOWING INFORMATION IS PROVIDED RELATED ONLY TO HOXIE COURT PLACE SUBDIVISION AND DOES NOT INCLUDE EXISTING CONDITIONS ON PROPOSED LOT 2, WHICH CONTAINS THE EXISTING RESIDENCE AND ITS ASSOCIATED AMENITIES

- THERE IS NO LEDGE EXCAVATION PROPOSED
- PROPOSED EXCAVATION IS ESTIMATED TO BE EQUAL TO PROPOSED FILL BASED ON PRELIMINARY ANALYSIS
- THERE ARE NO CONCRETE SIDEWALKS OR CURBING PROPOSED ALONG THE NOTRE DAME STREET EXTENSION AND CUL-DE-SAC
- 203 +/- LF OF NOTRE DAME STREET EXTENSION IS PROPOSED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF COVENTRY REGULATIONS, REQUIREMENTS AND STANDARDS.
- 127 +/- LF OF BITUMINOUS DRIVEWAYS ARE PROPOSED FOR PROPOSED LOTS 1 AND 3
- THERE ARE NO CATCH BASINS OR DRAINAGE MANHOLES PROPOSED
- PROPOSED WATER LINES
 - 325 +/- LF OF 8" WATER LINE
 - 10 +/- LF OF 6" WATER LINE FOR NEW HYDRANT
 - 194 +/- LF OF 3/4" WATER LINE SERVICES
- THERE ARE NO DRAIN LINES PROPOSED
- THE NUMBER AND SPECIES OF STREET TREES TO BE PROVIDED AS PART OF THE FINAL SUBMISSION AS COORDINATED WITH THE LANDSCAPER IN ACCORDANCE WITH TOWN REQUIREMENTS
- OWTS PROPOSED FOR LOTS 1 AND 3 PREPARED BY OTHERS INCLUDE 4" SANITARY PVC LINES, REFERENCE SAID PLANS PREPARED BY OTHERS FOR ADDITIONAL DETAILS
- ONE (1) PUBLIC HYDRANT IS PROPOSED FOR THE PROJECT AS REQUIRED BY THE FIRE MARSHAL AS SHOWN ON THE PLANS LOCATED IN THE VICINITY OF THE SITE

FURNISH & INSTALL TEMPORARY 15' X 15' CONCRETE TRUCK WASHOUT AREA DURING CONCRETE POUR. EXACT LOCATION TO BE FIELD DETERMINED AS CONSTRUCTION WARRANTS. WASHOUT AREA SHALL NOT BE INSTALLED IN ANY AREAS THAT REQUIRE INFILTRATION MEASURES AND SHALL BE REMOVED ONCE CONCRETE WORK IS COMPLETED.

PROVIDE 3' HIGH KNEE WALL ALONG BACK OF GARAGE

LIMITS OF DISTURBANCE (LOD) TYPICAL. FURNISH & INSTALL A CONTINUOUS LINE OF EROSION & SEDIMENTATION (E&S) CONTROL MEASURES LOCATED JUST INSIDE THE LOD PRIOR TO START OF CONSTRUCTION AND BE MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE AND A STABLE SURFACE COVERAGE IS ESTABLISHED. EXISTING VEGETATION WITHIN THE LOD SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE AND SUPPLEMENTED IN ACCORDANCE WITH TOWN LANDSCAPING REQUIREMENTS.

FURNISH & INSTALL 10'W X 50'L CONSTRUCTION ACCESS (RI STD 9.9.0)

VEGETATED / GRASSED AREA WITHIN THE RIGHT-OF-WAY SHALL BE A FILTERING STRIP PROVIDING FOR WATER QUALITY TREATMENT

FURNISH & INSTALL 20'L X 2'W RIP RAP WEIR FOR OVERFLOW WITH DISSIPATION RIP RAP APRON (6" D RIP RAP), TOP OF WEIR EL. = 187.8

VEGETATED INFILTRATION BASIN BOTTOM AREA = 1400 +/- SF, BOTTOM EL. = 187, TOP AREA = 2015 +/- SF, TOP EL. = 188, STORAGE PROVIDED WITH INFILTRATION CREDIT = 4530 +/- CF, SHGWT EL IN AREA = 183 +/-, MAX DEPTH = 1', SIDE SLOPES = 3:1

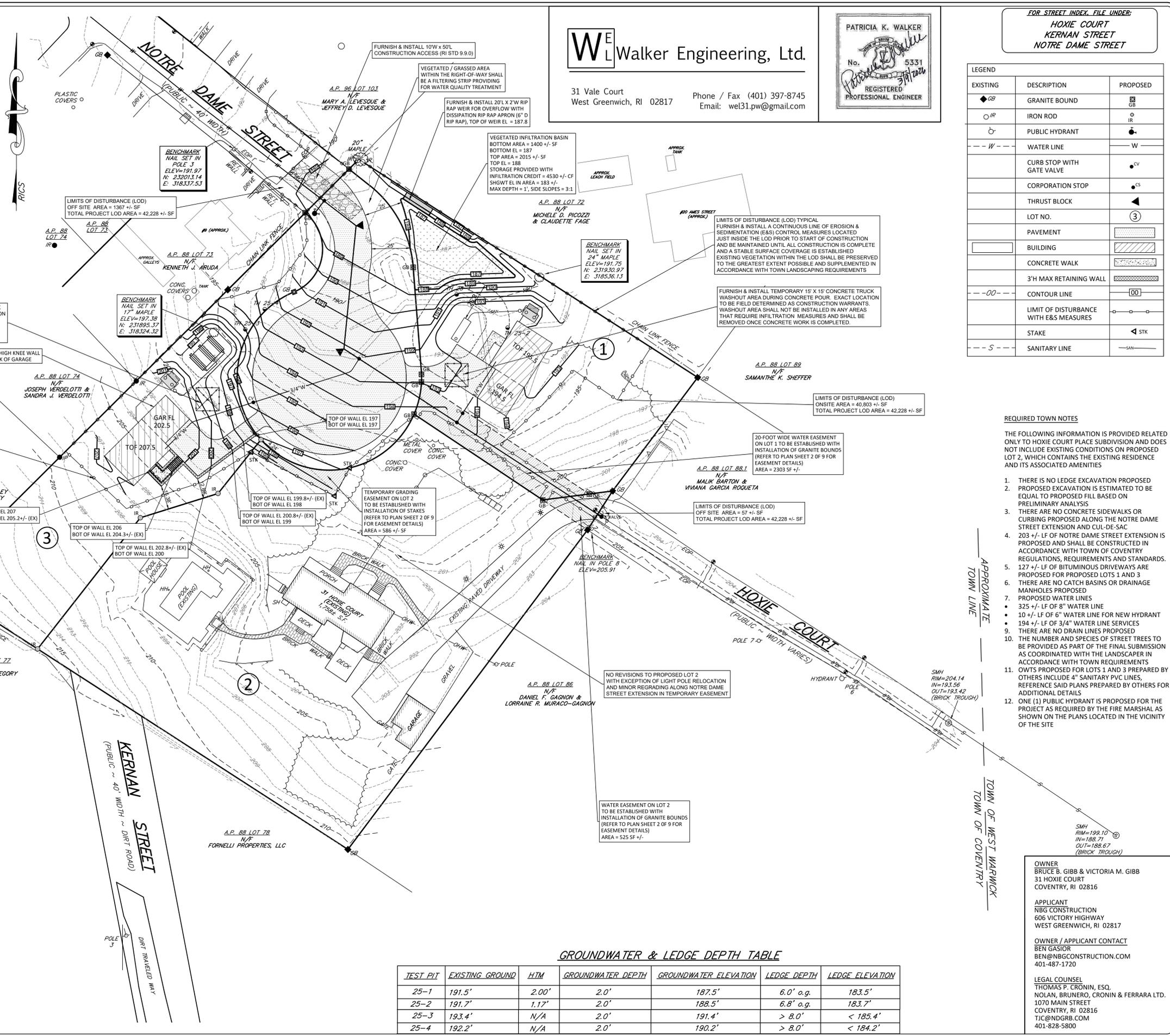
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GROUNDWATER & LEDGE DEPTH TABLE

TEST PIT	EXISTING GROUND	HTM	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
25-1	191.5'	2.00'	2.0'	187.5'	6.0' o.g.	183.5'
25-2	191.7'	1.17'	2.0'	188.5'	6.8' o.g.	183.7'
25-3	193.4'	N/A	2.0'	191.4'	> 8.0'	< 185.4'
25-4	192.2'	N/A	2.0'	190.2'	> 8.0'	< 184.2'

SURVEY LEGEND

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ.FT. SQUARE FEET
- GB GRANITE BOUND FOUND
- IR IRON ROD FOUND
- IP IRON PIN FOUND
- OR IRON ROD WITH CAP SET
- U UTILITY POLE
- * LIGHT POLE
- W WATER GATE
- S SEWER MANHOLE
- HH UTILITY HAND HOLE
- OHW OVERHEAD WIRES
- EOP EDGE OF PAVEMENT
- SH OUTDOOR SHOWER
- TEST HOLE LOCATION
- RETAINING WALL
- CHAIN LINK FENCE
- WIRE FENCE
- APPROXIMATE EXISTING WATER MAIN

JULIE MICHELLE RAMOND
 No. 2540
 PROFESSIONAL LAND SURVEYOR

DRAINAGE, GRADING, & EROSION CONTROL PLAN
HOXIE COURT PLACE
 AP 88 / LOTS 87 & 88.2
 HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
 COVENTRY, RHODE ISLAND

OWNER
 BRUCE B. GIBB & VICTORIA M. GIBB
 31 HOXIE COURT
 COVENTRY, RI 02816

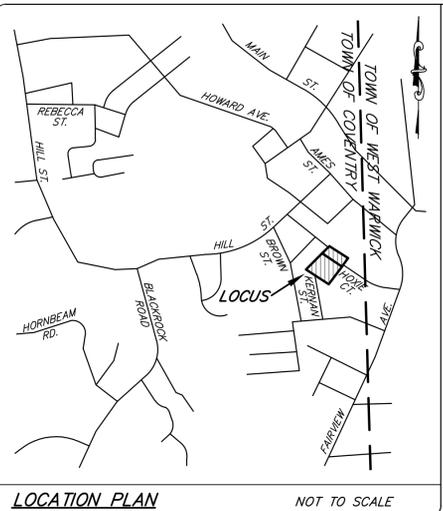
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OWNER / APPLICANT CONTACT
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 TIC@NDRB.COM
 401-828-5800

PROJECT NO.: SS3148
 DRAWING NO.: 555218
 DRAWN BY: SSI / WEL

SCALE: 1"=30'
 DATE: NOV 14, 2025
 REVISION: MAR 9, 2026
 SHEET 4 OF 9

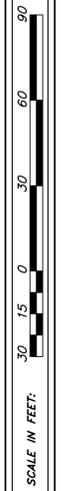


FOR STREET INDEX, FILE UNDER:
**HOXIE COURT
 KERNAN STREET
 NOTRE DAME STREET**

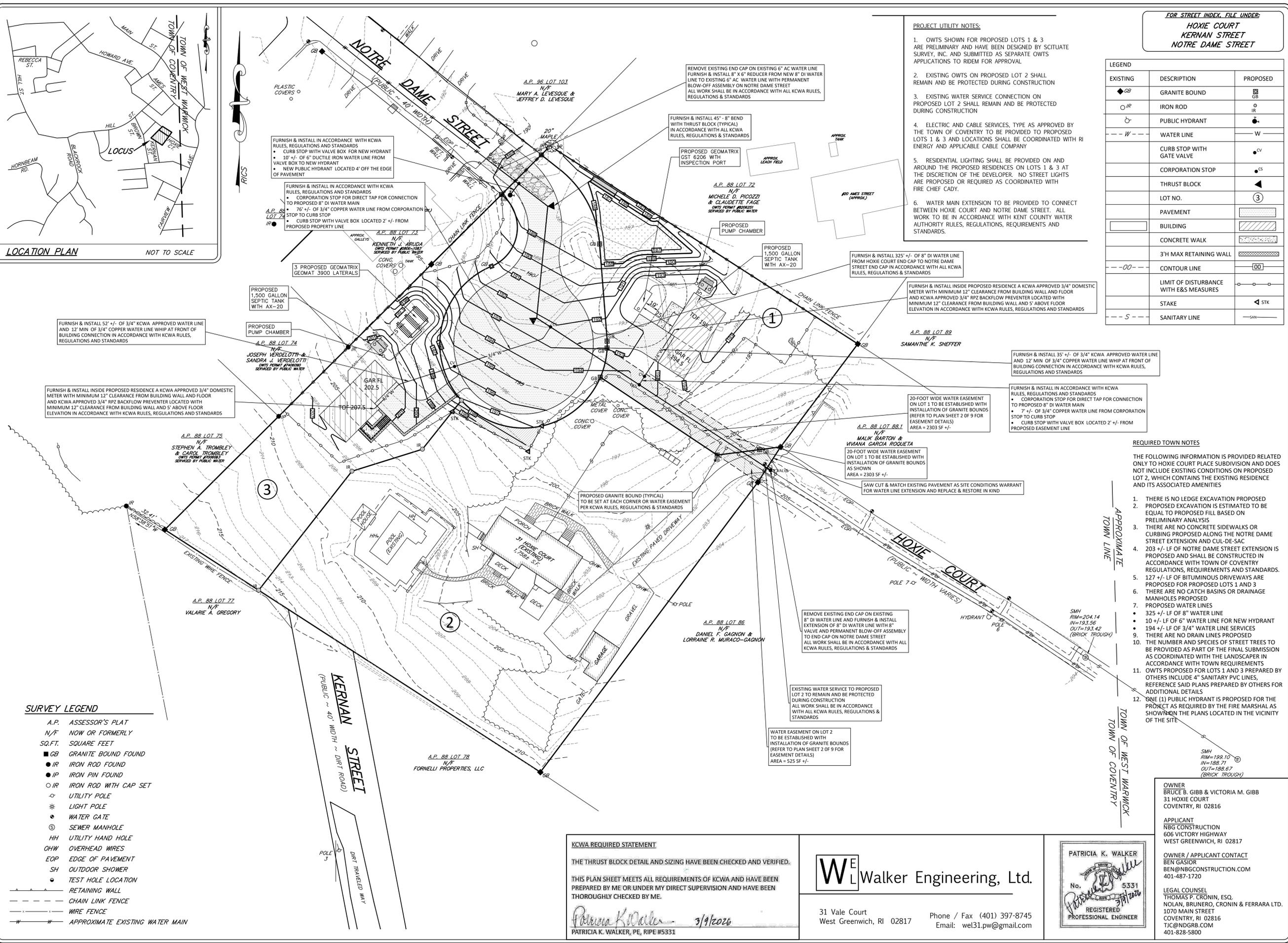
EXISTING	DESCRIPTION	PROPOSED
◆ GB	GRANITE BOUND	GB
○ IR	IRON ROD	IR
⊕	PUBLIC HYDRANT	PH
---	WATER LINE	W
	CURB STOP WITH GATE VALVE	CV
	CORPORATION STOP	CS
	THRUST BLOCK	▲
	LOT NO.	③
	PAVEMENT	[Pattern]
	BUILDING	[Pattern]
	CONCRETE WALK	[Pattern]
	3'H MAX RETAINING WALL	[Pattern]
---	CONTOUR LINE	00
	LIMIT OF DISTURBANCE WITH E&S MEASURES	[Symbol]
---	STAKE	▲ STK
---	SANITARY LINE	SAN

- PROJECT UTILITY NOTES:**
- OWTS SHOWN FOR PROPOSED LOTS 1 & 3 ARE PRELIMINARY AND HAVE BEEN DESIGNED BY SCITUATE SURVEY, INC. AND SUBMITTED AS SEPARATE OWTS APPLICATIONS TO RIDEM FOR APPROVAL.
 - EXISTING OWTS ON PROPOSED LOT 2 SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - EXISTING WATER SERVICE CONNECTION ON PROPOSED LOT 2 SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - ELECTRIC AND CABLE SERVICES, TYPE AS APPROVED BY THE TOWN OF COVENTRY TO BE PROVIDED TO PROPOSED LOTS 1 & 3 AND LOCATIONS SHALL BE COORDINATED WITH RI ENERGY AND APPLICABLE CABLE COMPANY.
 - RESIDENTIAL LIGHTING SHALL BE PROVIDED ON AND AROUND THE PROPOSED RESIDENCES ON LOTS 1 & 3 AT THE DISCRETION OF THE DEVELOPER. NO STREET LIGHTS ARE PROPOSED OR REQUIRED AS COORDINATED WITH FIRE CHIEF CADY.
 - WATER MAIN EXTENSION TO BE PROVIDED TO CONNECT BETWEEN HOXIE COURT AND NOTRE DAME STREET. ALL WORK TO BE IN ACCORDANCE WITH KENT COUNTY WATER AUTHORITY RULES, REGULATIONS, REQUIREMENTS AND STANDARDS.

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401.821.8101
 LAND SURVEYING / MAPPING / SITE PLANNING



LOCATION PLAN NOT TO SCALE



- REQUIRED TOWN NOTES**
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KCWA REQUIRED STATEMENT

THE THRUST BLOCK DETAIL AND SIZING HAVE BEEN CHECKED AND VERIFIED.

THIS PLAN SHEET MEETS ALL REQUIREMENTS OF KCWA AND HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.

Patricia K. Walker 3/9/2026
 PATRICIA K. WALKER, PE, RIPE #5331

WEL Walker Engineering, Ltd.

31 Vale Court West Greenwich, RI 02817 Phone / Fax (401) 397-8745 Email: wel31.pw@gmail.com

PATRICIA K. WALKER
 No. 5331
 REGISTERED PROFESSIONAL ENGINEER

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SURVEY LEGEND

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- SQ.FT. SQUARE FEET
- ◆ GB GRANITE BOUND FOUND
- IR IRON ROD FOUND
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- SH OUTDOOR SHOWER
- TEST HOLE LOCATION
- RETAINING WALL
- CHAIN LINK FENCE
- WIRE FENCE
- APPROXIMATE EXISTING WATER MAIN

UTILITIES PLAN

HOXIE COURT PLACE
 AP 88 / LOTS 87 & 88-2
 HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
 COVENTRY, RHODE ISLAND

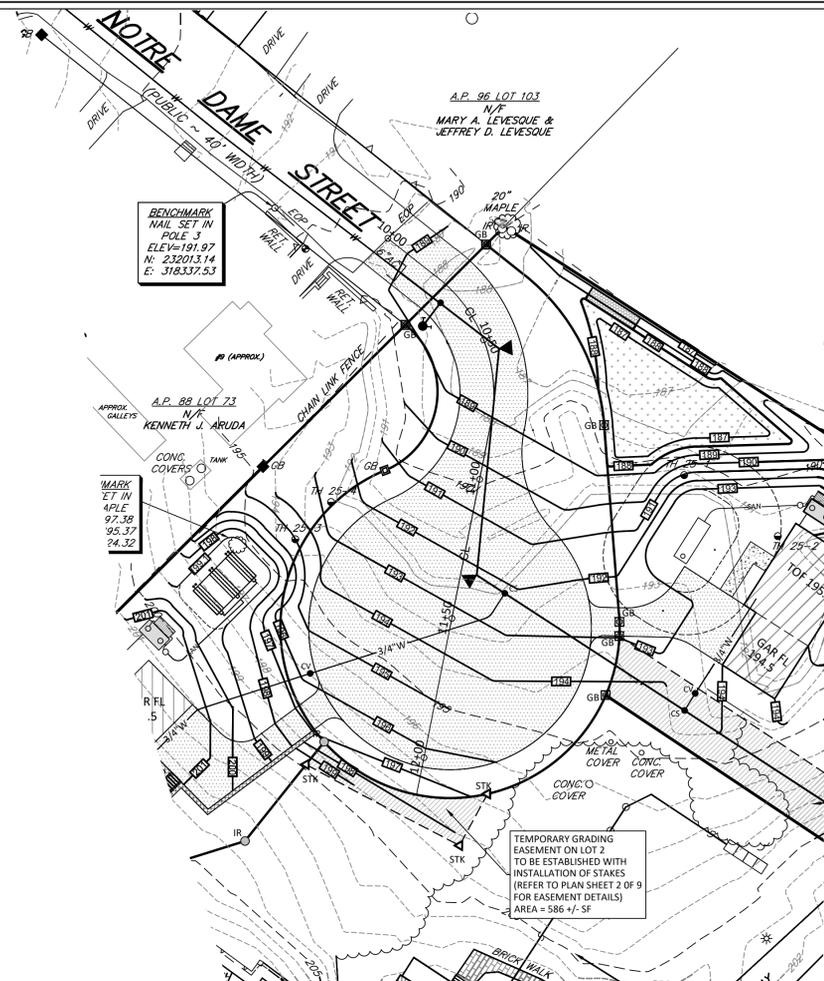
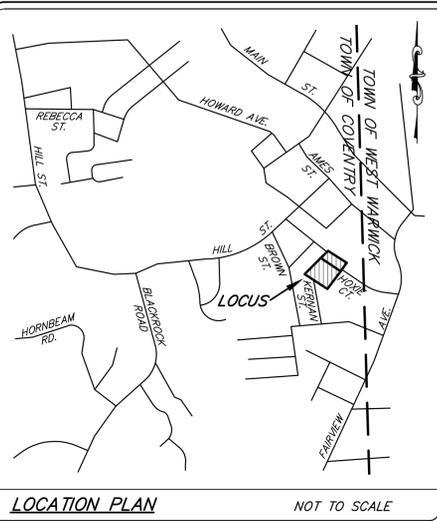
DATE: NOV 14, 2025 REVISION: MAR 9, 2026

SCALE: 1"=30'

SHEET 5 OF 9

JULIE MICHELLE RAMOND
 No. 2540
 PROFESSIONAL LAND SURVEYOR

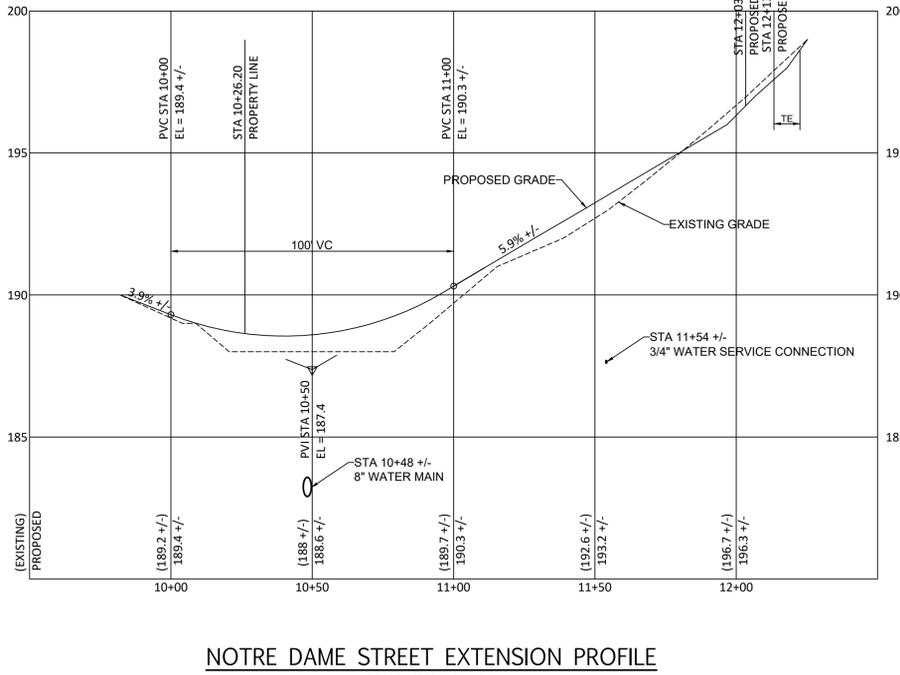
PROJECT NO.: S53148
DRAWING NO.: S55218
DRAWN BY: SSI / WEL



EXISTING	DESCRIPTION	PROPOSED
◆ GB	GRANITE BOUND	GB
○ IR	IRON ROD	IR
○	PUBLIC HYDRANT	PH
---	WATER LINE	W
	CURB STOP WITH GATE VALVE	CV
	CORPORATION STOP	CS
	THRUST BLOCK	▲
	LOT NO.	③
	PAVEMENT	[Pattern]
	BUILDING	[Pattern]
	CONCRETE WALK	[Pattern]
	3'H MAX RETAINING WALL	[Pattern]
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---	LIMIT OF DISTURBANCE WITH E&S MEASURES	[Pattern]
	STAKE	▲ STK
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- SH OUTDOOR SHOWER
- TEST HOLE LOCATION
- RETAINING WALL
- CHAIN LINK FENCE
- WIRE FENCE
- APPROXIMATE EXISTING WATER MAIN



NOTRE DAME STREET EXTENSION PROFILE
SCALE: HORIZ 1" = 30'
VERT 1" = 3'

NOTE: WATER LINE IS NOT LOCATED ALONG ROADWAY CENTERLINE, ONLY WATER LINE CROSSINGS SHOWN

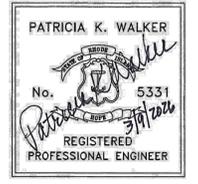
ROADWAY CONSTRUCTION NOTES

ALL ROADWAY IMPROVEMENTS SHALL CONFORM TO THE TOWN OF COVENTRY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS APPLICABLE, INCLUDING BUT NOT LIMITED TO:

1. ARTICLE XIII - DEVELOPMENT DESIGN AND PUBLIC IMPROVEMENT STANDARDS INCLUDING:
 - A. ROADWAY EXTENSION SHALL BE A CONTINUATION OF NOTRE DAME STREET
 - B. STREET LIGHTING NOT REQUIRED BY CENTRAL COVENTRY FIRE DEPARTMENT PER COORDINATION EFFORTS
 - C. NO STREET NAME OR TRAFFIC SIGNS ARE REQUIRED FOR NOTRE DAME STREET EXTENSION
 - D. STREET TREES AND OTHER LANDSCAPING MEASURES SHALL BE INSTALLED PER TOWN REQUIREMENTS BY THE DEVELOPER
 - E. MONUMENTATION SHALL BE INSTALLED PER TOWN REQUIREMENTS PER TOWN REQUIREMENTS BY THE DEVELOPER AS LOCATED BY THE PROJECT LAND SURVEYOR
 - F. NO SIDEWALKS ARE REQUIRED PER PRE-APPLICATION REVIEW
 - G. NO BICYCLE PATHS ARE PROPOSED
 - H. NO CURBING IS PROPOSED AS PART OF THE PROJECT
 - I. EASEMENTS ARE PROPOSED AS FOLLOWS:
 - KCWA EASEMENTS FOR THE WATER MAIN INSTALLATION CONNECTION FROM HOXIE COURT TO NOTRE DAME STREET
 - TEMPORARY GRADING EASEMENT
 - TOWN DRAINAGE EASEMENT FOR INSTALLATION AND MAINTENANCE OF THE INFILTRATION BASIN
 - J. DRAINAGE HAS BEEN DESIGNED UTILIZING THE TR-55 METHODOLOGY TO ENSURE THE EXISTING DRAINAGE PATTERN IS MAINTAINED AND THAT NO INCREASE IN RUNOFF RATE OR VOLUME RESULTS FROM THE PROPOSED IMPROVEMENTS
 - K. UNDERGROUND ELECTRIC AND CABLE SERVICE SHALL BE INSTALLED AS COORDINATED WITH RI ENERGY AND THE APPLICABLE CABLE COMPANY
 - L. WATER LINE EXTENSION AND PROPOSED SERVICES, AND THE PROVISION OF A PUBLIC HYDRANT SHALL BE INSTALLED AS APPROVED BY KCWA
 - M. NO PUBLIC GAS IS AVAILABLE TO THE PROJECT AREA
 - N. PUBLIC HYDRANT IS PROPOSED NEAR THE NOTRE DAME STREET EXTENSION AS REQUIRED BY THE CENTRAL COVENTRY FIRE DEPARTMENT AS COORDINATED
 - O. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL A STABLE GROUND COVER SURFACE IS ESTABLISHED AS APPROVED BY THE TOWN ENGINEER AND IN ACCORDANCE WITH THE TOWN'S REQUIRED PERMIT
2. ARTICLE XIV - SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS INCLUDING:
 - A. ALL ROADWAY CONSTRUCTION ELEMENTS SHALL BE APPROVED BY THE TOWN ENGINEER AND DIRECTOR OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION
 - B. UPON COMPLETION OF ALL REQUIRED IMPROVEMENTS, THE DEVELOPER SHALL FURNISH AS-BUILT DRAWINGS OF SUCH IMPROVEMENTS PREPARED BY A REGISTERED LAND SURVEYOR IN ACCORDANCE WITH ALL TOWN REQUIREMENTS.
 - C. THE ENTIRE RIGHT-OF-WAY AREA SHALL BE CLEARED AND GRUBBED. ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE SUBDIVISION
 - D. EARTH EXCAVATION SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OF CLAY, SAND, SUBSOIL, PEAT, LOAM, AND OTHER UNACCEPTABLE MATERIALS WITHIN THE LIMITS OF THE ROADWAY, DRAINAGE OR OTHER EXCAVATION. THE BACKFILLING OF ALL STUMP HOLES AND OTHER SURFACE IRREGULARITIES WILL BE FILLED WITH BANK RUN GRAVEL. ALL EXCAVATIONS SHALL BE TO A DEPTH AND CROSS-SECTION AS SHOWN ON THE APPROVED PLANS, PROFILES, AND CROSS-SECTION DRAWINGS, AND AS DIRECTED BY THE TOWN ENGINEER.
 - E. ROCK AND LEDGE EXCAVATION SHALL BE TO A DEPTH AT LEAST TWELVE (12) INCHES BELOW SUBGRADE.
 - F. WHERE GROUND WATER IS ENCOUNTERED ADEQUATE DRAINAGE SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE TOWN ENGINEER.
 - G. MATERIALS.
 - PREPARATION OF SUB-BASE. ALL CURBING, UNDERGROUND SEWER AND WATER LINES, UTILITIES, LATERALS, SERVICE LINES AND RELATED FACILITIES SHALL BE INSTALLED PRIOR TO ANY STREET CONSTRUCTION. TRENCH BACKFILL MUST CONSIST OF CLEAN GRAVEL BORROW, COMPACTED TO OPTIMUM DENSITY IN SIX (6) INCH LIFTS. AT LEAST THIRTY (30) DAYS FOLLOWING FILLING AND, COMPACTION OF ALL UTILITY TRENCHES, THE SUBBASE SHALL BE THOROUGHLY COMPACTED WITH A TEN-TON ROLLER OR ITS EQUIVALENT, TRUE TO THE LINES, GRADES AND CROSS-SECTIONS SHOWN ON THE APPROVED DRAWINGS.
 - BASE COURSE. THIS SHALL CONSIST OF PROCESSED GRAVEL OF A QUALITY ACCEPTABLE TO THE TOWN ENGINEER, WITH NO STONES GREATER THAN 6". AFTER THE SUBBASE HAS BEEN PROPERLY PREPARED, THE BASE COURSE OF BANK RUN GRAVEL SHALL BE SPREAD FOR THE FULL WIDTH AND IN SUCH VOLUME AS TO PROVIDE AN EIGHT-INCH CROSS-SECTION AFTER COMPACTION WITH A TEN-TON ROLLER.
 - BASE COURSE SURFACE. THIS SHALL CONSIST OF PROCESSED GRAVEL OF A QUALITY ACCEPTABLE TO THE TOWN ENGINEER AND MEETING RIDOT STANDARD M.01.09, WITH NO STONES GREATER THAN 1 1/2". FOLLOWING THOROUGH COMPACTION OF THE BASE COURSE, CRUSHED BANK RUN GRAVEL SHALL BE SPREAD FOR THE FULL WIDTH TO A DEPTH OF FOUR (4) INCHES AFTER COMPACTION WITH A TEN-TON ROLLER.
 - ASPHALT BINDER COURSE. THIS SHALL CONSIST OF BITUMINOUS PAVEMENT (HOT MIX), BINDER COURSE MEETING R.I. DEPARTMENT OF TRANSPORTATION STANDARD M.03. THE BITUMINOUS PAVEMENT (HOT MIX), BINDER COURSE SHALL BE APPLIED AT A TEMPERATURE OF TWO HUNDRED FIFTY (250) TO THREE HUNDRED FIFTY (350) DEGREES FAHRENHEIT BY MEANS OF A SELF PROPELLED PAYER. SUCH MATERIAL SHALL BE PLACED IN SUFFICIENT QUANTITY TO PROVIDE A MINIMUM COMPACTED CROSS-SECTION OF ONE AND ONE-HALF (1 1/2) INCHES. THE BINDER COURSE SHALL BE COMPACTED WITH A TEN-TON ROLLER EQUIPPED WITH A SPRINKLER SYSTEM TO WET THE WHEELS. COMPACTION SHALL BE IN ACCORDANCE WITH RIDOT SPECIFICATION 401.03.11.
 - SURFACE COURSE. THIS SHALL CONSIST OF BITUMINOUS PAVEMENT (HOT MIX), MEDIUM TEXTURE, TYPE I-1, MEETING R.I. DEPARTMENT OF TRANSPORTATION STANDARDS. THE ASPHALT BINDER SHALL BE SWEEP CLEAN OF ALL SAND, AND DEBRIS PROTRUSION SHALL BE REMOVED, AND ANY HOLES, RIPPLES OR UNEVENNESS IN THE SURFACE SHALL BE BROUGHT BACK TO TRUE LINE AND CROSS-SECTION BY THE SPOT APPLICATION AND PROPER COMPACTION OF CLASS I MIX. THE BITUMINOUS PAVEMENT (HOT MIX), TYPE I-1, SHALL BE APPLIED AT A TEMPERATURE OF THREE HUNDRED TEN (310) TO THREE HUNDRED FIFTY DEGREES FAHRENHEIT BY MEANS OF A SELF PROPELLED PAYER WITH A COMPACTOR. SUCH MATERIAL SHALL BE PLACED IN SUFFICIENT QUANTITY TO PROVIDE A MINIMUM COMPACTED CROSS-SECTION OF ONE AND ONE-HALF (1 1/2) INCHES. THE SURFACE COURSE SHALL BE COMPACTED WITH A TEN-TON ROLLER EQUIPPED WITH A SPRINKLER SYSTEM TO WET THE WHEELS. COMPACTION SHALL BE IN ACCORDANCE WITH RIDOT SPECIFICATION 401.03.11. TRAFFIC PASSING OVER CONSTRUCTED STREETS SHALL BE LIMITED TO WHEELED VEHICLES, AND TRACKED EQUIPMENT SHALL NOT BE PERMITTED OVER PAVED STREETS, CURBS, AND SIDEWALKS. THE DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY VIOLATION OF THIS REQUIREMENT WITHIN THE SUBDIVISION AND WILL REPAIR TO THE SATISFACTION OF THE TOWN ENGINEER. BITUMINOUS MATERIAL SHALL NOT BE PLACED ON ANY WET SURFACE OR WHEN THE TEMPERATURE OF THE AIR IS LESS THAN THIRTY-EIGHT (38) DEGREES FAHRENHEIT, OR ANY OTHER UNFAVORABLE WEATHER CONDITIONS AS MAY BE DETERMINED BY THE TOWN ENGINEER.
 - ALL DRIVEWAY APRONS SHALL BE PAVED TO THE RIGHT OF WAY LINE, AS SPECIFIED IN B. 6. STREET CONSTRUCTION.
 - THE DEVELOPER SHALL, AT ALL TIMES DURING CONSTRUCTION, MAINTAIN THE SUBDIVISION ROADS IN PASSABLE CONDITION, AND SHALL TAKE APPROPRIATE MEASURES TO ELIMINATE THE CREATION OF A DUST NUISANCE DURING CONSTRUCTION. THIS MAY REQUIRE THE FREQUENT APPLICATION OF CALCIUM CHLORIDE. NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED UNTIL THE ASPHALT BINDER HAS BEEN PLACED.
 - EARTHWORK AND DRAINAGE: ALL NECESSARY SURFACE AND SUBSURFACE STORM DRAINAGE STRUCTURES AND FACILITIES SHALL CONFORM TO THE STANDARD DETAILS FOR ROAD AND BRIDGE CONSTRUCTION, PUBLISHED BY THE STATE OF RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES, CURRENT EDITION.
 - THE ROADWAY CROSS SECTION SHALL FOLLOW THE GRADING AS SHOWN. THE ROADWAY SHALL HAVE A REVERSE CROWN OF 2% TO DIRECT RUNOFF TO THE PROPOSED INFILTRATION BASIN TO FOLLOW THE EXISTING DRAINAGE PATTERN.

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**NOTRE DAME STREET EXTENSION
PLAN & PROFILE**
HOXIE COURT PLACE
AP 88 / LOTS 87 & 882
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

PROJECT NO.: SS3148
DRAWING NO.: SS5218
DRAWN BY: SSI / WEL

SHEET
6 OF 9

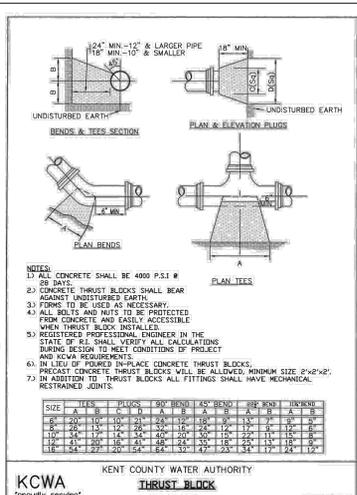
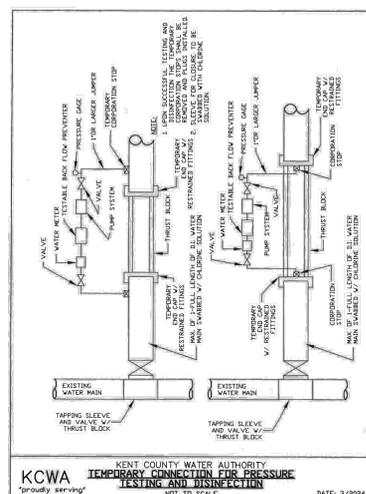
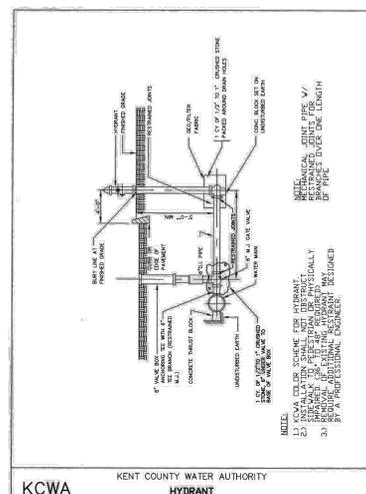
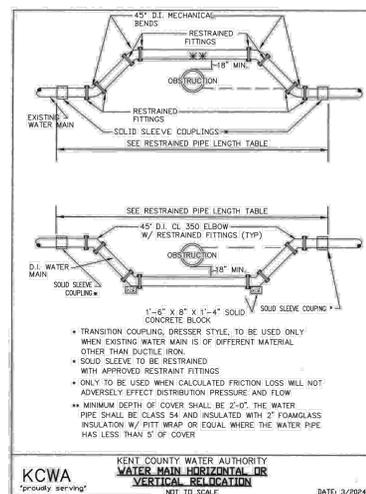
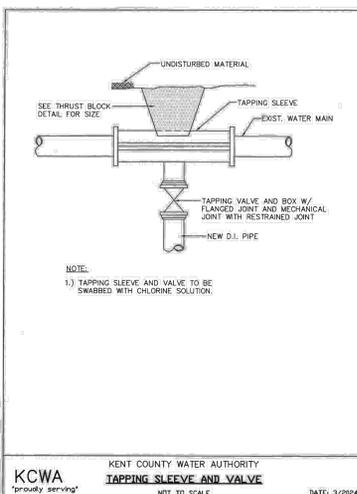
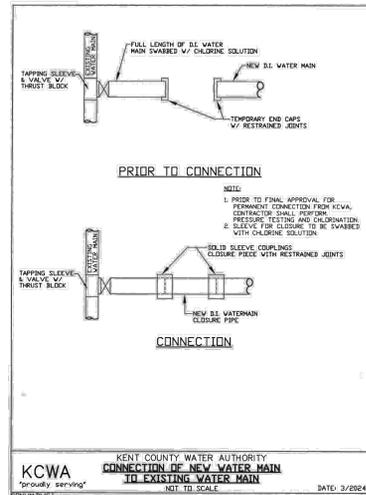
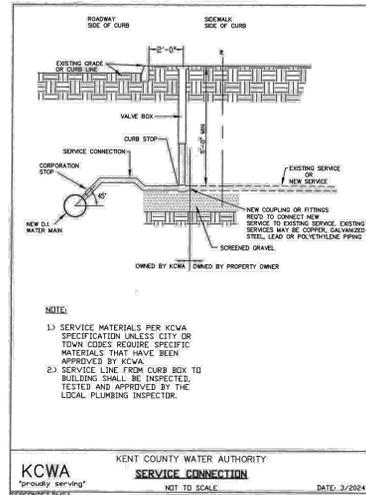
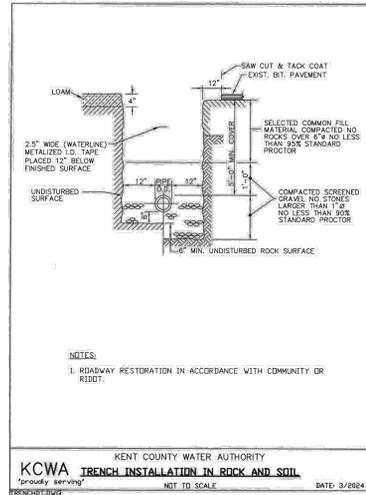
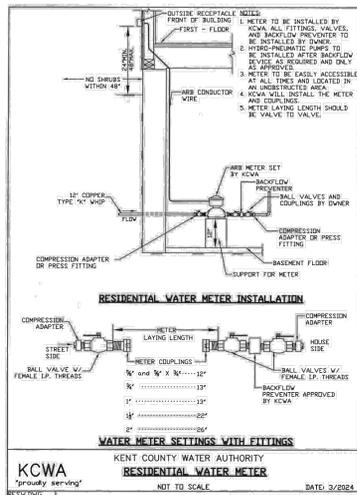
SCITUATE SURVEYS, INC.
410 TIGHE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101
LAND SURVEYING/MAPPING/SITE PLANNING

MEASUREMENT SPECIFICATION
CLASS I
MEASUREMENT SPECIFICATION
CLASS II

STATEMENT OF PURPOSE
THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESULTS OF A BOUNDARY RETRACTION SURVEY AND TO SHOW A PROPOSED EASEMENT SUBDIVISION.

DATE: NOV 14, 2025
REVISION: MAR 9, 2026

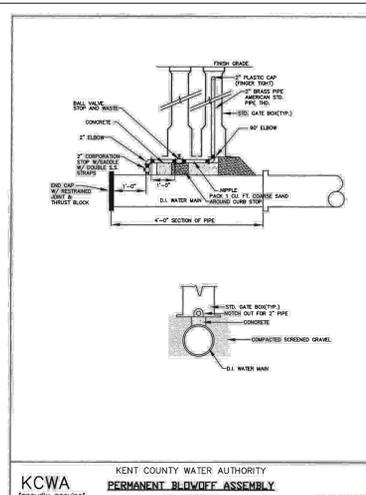
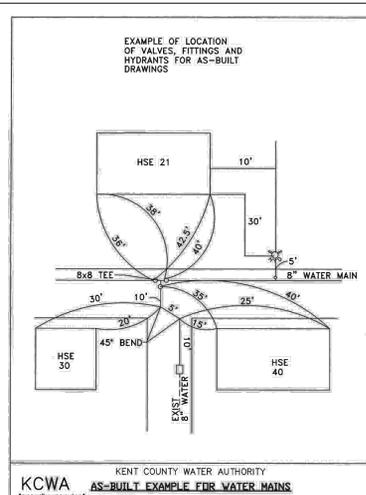
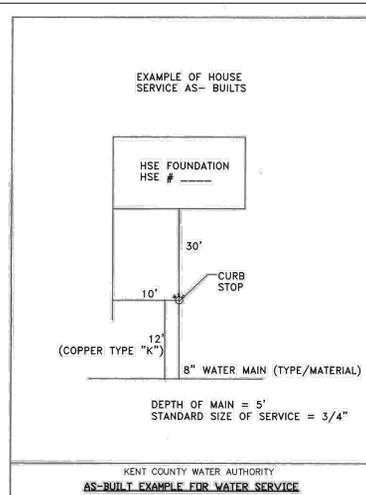
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RESTRAINED PIPE LENGTHS FOR RESTRAINED FITTINGS

FITTING	RESTRAINED LENGTH
12" DEAD END	50'
12" x 12" TEE	44' (ON BRANCH)
12" x 12" TEE	32' (ON MAIN)
12" x 8" TEE	23'
12" x 4" TEE	9'
12" 90° BEND	24'
12" 45° BEND	10'
12" 11-1/4" BEND	3'
12" x 8" REDUCER	20' (ON 12")
12" x 4" REDUCER	40' (ON 12")
8" x 4" REDUCER	48' (ON 12")
8" x 6" TEE	28' (ON BRANCH)
8" x 6" TEE	16' (ON BRANCH)
8" x 6" BEND	17'
8" x 4" BEND	7'
8" x 6" REDUCER	17' (ON 8")
8" x 4" REDUCER	28'
6" DEAD END	38'
6" x 6" TEE	19' (ON BRANCH)
6" x 6" BEND	13'
6" x 6" BEND	6'
6" x 4" BEND	3'
6" x 11/2" BEND	3'
6" x 11/2" BEND	2'
6" x 4" REDUCER	15' (ON 6")
6" x 4" REDUCER	15' (ON 6")

Kent County Water Authority
3/2024



WATER NOTES

- 8" DI WATER MAIN SHALL BE PROVIDED TO CONNECT EXISTING DEAD END MAINS ON HOXIE COURT AND NOTRE DAME STREET WITHIN EASEMENTS ON PROPOSED LOTS 1 AND 2 OF THE HOXIE COURT PLACE SUBDIVISION. REFERENCE PLAN SHEET 2 OF 9 FOR EASEMENTS INFORMATION. PROJECT SURVEYOR SHALL PREPARE FINAL EASEMENTS PLAN IN ACCORDANCE WITH ALL APPLICABLE KCWA, TOWN AND STATE REQUIREMENTS.
- NEW WATER SERVICES TO PROPOSED RESIDENCES SHALL BE METERED AND CONSTRUCTED IN ACCORDANCE TO ALL APPLICABLE KCWA, TOWN AND STATE REQUIREMENTS.
- WATER SERVICE FOR EACH PROPOSED RESIDENCE SHALL BE IN ACCORDANCE WITH APPLICABLE PLUMBING CODE REQUIREMENTS.
- IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, TOWN OF COVENTRY AND KENT COUNTY WATER AUTHORITY (KCWA) PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE KCWA AND TOWN/STATE DPW.
- ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE KCWA RULES, REGULATIONS, SPECIFICATIONS, AND DETAILS.
- WATER PIPE SHALL BE KCWA APPROVED MATERIAL AND IN ACCORDANCE WITH AWWA STANDARDS.
- ALL FITTINGS SHALL BE KCWA APPROVED STYLE MECHANICAL JOINT (BY AMERICAN MANUFACTURER ONLY).
- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS, AND MATERIALS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, KCWA RECOMMENDATIONS, AWWA STANDARDS, AND GOVERNMENTAL REQUIREMENTS.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST RESTRAINTS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- THRUST RESTRAINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
- LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AWWA RECOMMENDATIONS, KCWA REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST RESTRAINTS, FITTINGS, CASTINGS, ETC. SHALL BE KCWA APPROVED MATERIALS AND METHODS (AT THE TIME OF CONSTRUCTION).
- WATER LINE TRENCH TO BE AWWA TYPE 5. SAW CUTTING AND MATCHING WILL BE REQUIRED WHERE THE TRENCH IS LOCATED WITHIN EXISTING PAVEMENT. TRENCH PATCHING WILL CONFORM TO RIDOT, TOWN OF COVENTRY, AND KCWA REGULATIONS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND VALIDATIONS OF STANDARDS AND SPECIFICATIONS AS REQUIRED BY KCWA.
- METHODS OF TRENCHING, BEDDING, INSTALLATION, BACKFILLING, TESTING AND CHLORINATING OF WATER FACILITIES SHALL CONFORM TO KCWA REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS-BUILT PLANS DETAILING LOCATION OF CONNECTIONS, TEES, AND VALVES AS REQUIRED BY AND IN CONFORMANCE WITH KCWA REQUIREMENTS AND SHALL BE AT A SCALE IN ACCORDANCE WITH SECTION 3.13 OF THE KCWA RULES AND REGULATIONS AND SHALL BE PREPARED BY A RI PROFESSIONAL LAND SURVEYOR.
- VALVES TO BE KCWA APPROVED TYPES.
- THE NEW WATER LINE OR SERVICE CONNECTION SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY SEWER LINE OR STRUCTURES AND SHALL BE LOCATED A MINIMUM OF 5 FEET FROM ANY OTHER UTILITY LINES OR STRUCTURES.
- IN LOCATIONS WHERE THE SEWER LINE IS WITHIN 10 FEET HORIZONTAL AND/OR 18 INCHES VERTICAL OF ANY NEW WATER LINES, THE SEWER LINE SHALL BE SLEEVED OR DUCTILE IRON IN ACCORDANCE WITH KCWA RULES, REGULATIONS, AND STANDARDS.
- RESTRAINING DEVICES SHALL BE UTILIZED ON ALL MAINS UNDER THE FOLLOWING CONDITIONS: PIPELINE DIRECTION CHANGES (TEES, BENDS), VERTICAL AND HORIZONTAL, DEAD END LINES (CAPS OR PLUGS), TRANSITION PIECES (REDUCERS), VALVES ON DEAD END LINES, AND HYDRANTS.
- THRUST BLOCKS SHALL BE CONSTRUCTED FROM CONCRETE 3000 PSI AT 28 DAYS, SIZED ACCORDING TO THE SIZE OF PIPELINE, TYPE OF FITTING, WATER PRESSURE AND THE CHARACTERISTICS OF THE SOIL. BEARING SURFACE SHALL BE AGAINST UNDISTURBED SOLID EARTH FOR THE REQUIRED BEARING AREA. THE CONCRETE SHALL BE PROPERLY FORMED AS TO SLOPE FOR THE GIVEN APPLICATION AND BEARING WIDTH. THE CONCRETE SHALL BE IN CONTACT ONLY WITHIN THE FITTING, NOT WITH THE PIPE ITSELF, FASTENERS OR THE JOINT. CONCRETE CURING TIME SHALL BE A MINIMUM OF 5 DAYS.
- THRUST BLOCKS SHALL BE DESIGNED TO WITHSTAND THE FORCE IMPARTED BY THE HYDRAULIC INFLUENCE ENCOUNTERED WITHIN THE MAIN. MINIMUM 1-1/2 TIMES THE ANTICIPATED WORKING PRESSURE OF THE MAIN, BUT NOT LESS THAN 150 PSI. MAXIMUM LATERAL BEARING CAPACITY SHALL BE 1500 LB/SF.
- OPTIONAL THRUST RESTRAINT SHALL BE VIA RESTRAINED JOINT, DUCTILE IRON PIPE MEETING ANSI/ AWWA C151/A21.11 AND ANSI/ AWWA C11/A21.11 AND APPROVED BY THE KCWA GENERAL MANAGER/CHIEF ENGINEER. RESTRAINED JOINT PIPE LENGTHS (RESTRAINED LENGTH) SHALL BE SUFFICIENT TO RESTRAIN THRUST IMPARTED BY 1-1/2 TIMES THE ANTICIPATED WORKING PRESSURE, BUT NOT LESS THAN 150 PSI WITH A 1.5 FACTOR OF SAFETY.
- THE USE OF THE RODS MAY BE ALLOWED BY WRITTEN PERMISSION OF THE KCWA GENERAL MANAGER/CHIEF ENGINEER. THIS TYPE OF RESTRAINT CONFIGURATION WILL ONLY BE CONSIDERED IN SITUATIONS WHERE APPROVED TYPES OF RESTRAINT SYSTEMS CANNOT BE USED. IF ALLOWED, THEY SHALL BE OF SUFFICIENT STRENGTH TO WITHSTAND FORCES IMPARTED TO THEM. A FACTOR OF SAFETY SHALL BE 2.0 FOR ALL ROD THICKNESS CALCULATIONS. ALL RODS SHALL BE STAINLESS STEEL OR PROTECTED FROM CORROSION WITH TWO COATS OF EPOXY PAINT.
- APPROVED THRUST RESTRAINT SHALL BE BY AN APPROVED STYLE RESTRAINING GLAND SYSTEM UTILIZED IN COMBINATION WITH MECHANICAL JOINT PIPE AND FITTINGS. ALL CALCULATIONS MUST BE CONTAINED IN THE APPLICATION SUBMISSION AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURING REQUIREMENTS FOR LENGTH, FITTING AND TYPE OF RESTRAINT.

REVISIONS	DESCRIPTION	KCWA COMMENTS
DATE	MAR 2026	

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No. 5331
REGISTERED PROFESSIONAL ENGINEER

W^EL Walker Engineering, Ltd.

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

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West Greenwich, RI 02817

Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com

WATER NOTES & DETAILS

NOT TO SCALE

KCWA REQUIRED STATEMENT

THE THRUST BLOCK DETAIL AND SIZING HAVE BEEN CHECKED AND VERIFIED.

THIS PLAN SHEET MEETS ALL REQUIREMENTS OF KCWA AND HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.

Patricia K. Walker 3/9/2026
PATRICIA K. WALKER, PE, RIPE #5331

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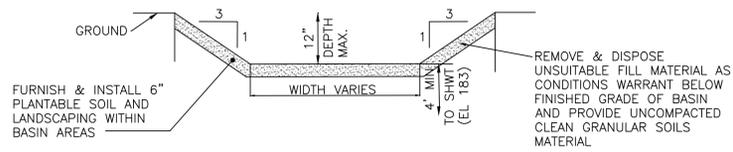
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NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

DATE: NOVEMBER 2025
REVISED MARCH 2026

SHEET: WND-1

SHEET 7 OF 9



INFILTRATION BASIN DETAIL
NOT TO SCALE

INFILTRATION VEGETATED BASIN INSTALLATION

1. INSTALL SEDIMENT CONTROL DEVICES
2. GRADE SITE TO ELEVATIONS SHOWN ON PLAN. INSTALL SAFETY FENCE AROUND CONSTRUCTION AREA OR EXCAVATION
3. STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT FOR THE BASIN TO BE PLANTED. SURROUND THE BASIN WITH A BIOLOG, STRAW BALES OR COMPOST BERM TO KEEP SEDIMENT OUT OF THE BASIN.
4. EXCAVATE BASIN AREA TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU MATERIALS. DO NOT LEAVE ANY OPEN AREAS OR PITS OPEN AT THE END OF THE DAY AND NO EXCAVATION OVER LOCAL JURISDICTION OR OSHA LIMITS.
5. IF EXISTING SOIL IS NOT WELL-DRAINED PLANTING SOIL, REMOVE EXISTING SOIL TO DEPTH OF AT LEAST 3' OR TO WATER TABLE. FILL BOTTOM OF CELL WITH A 4-INCH THICK LAYER OF WASHED GRAVEL OR STONE.
6. BACKFILL BASIN WITH PLANTING SOIL. FILL THE CELL WITH 8" LIFTS OF SOIL. SATURATE EACH LIFT AND LET IT DRAIN AND THEN PLACE THE NEXT LIFT. BE CAREFUL NOT TO COMPACT THE SOIL WITH EQUIPMENT AND OVER-SATURATE IT.
7. PLANT VEGETATION.
8. INSTALL EROSION PROTECTION AT ENTRANCE POINTS. REMOVE SEDIMENT CONTROL PRACTICES OR ENTRANCE BLOCKS WITH INSPECTOR AUTHORIZATION. LEAVE PERIMETER BIODEGRADABLE CONTROLS TO REDUCE SEDIMENT LOADS TO CELL UNTIL VEGETATION IS ESTABLISHED.

GENERAL INFILTRATION BASIN AREAS NOTES

1. ALL SIDE SLOPES OF THE BASIN AREA SHALL BE 3:1 (MAX.).
2. BOTTOM OF BASIN SHALL HAVE A MINIMUM OF 6" PLANTABLE SOIL. ALL OTHER AREAS NOT RIP RAPPED SHALL HAVE A MINIMUM OF 4" PLANTABLE SOIL. REFERENCE LANDSCAPING NOTES & DETAILS
3. BASIN SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO OTHER CONSTRUCTION. TEMPORARY RUNOFF SHALL BE DIVERTED TO TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE LOCATED IN THE FIELD AS CONDITIONS WARRANT ON UPLAND AREAS OUTSIDE OF ANY PERIMETER AND RIVERBANK WETLAND AREAS.
4. BASIN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL AND TOWN OF COVENTRY REQUIREMENTS.

GENERAL INFILTRATION BASIN MAINTENANCE PLAN

1. THE GRASS WITHIN THE BASIN SHALL BE MOWED A MINIMUM OF THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOWED HEIGHT OF THE VEGETATION SHALL NOT BE LESS THAN TWO (2) INCHES.
2. ACCUMULATED SILT AND DEBRIS SHALL BE REMOVED FROM THE BASINS A MINIMUM OF THREE (3) TIMES PER YEAR, PREFERABLY AT THE TIME OF MOWING.
3. AT THE TIME OF MOWING, ANY AREAS THAT SHOW SIGNS OF EROSION SHALL BE RESEED IMMEDIATELY.
4. DURING THE FIRST YEAR, WEEKLY MONITORING OF THE BASINS SHALL OCCUR AND MAINTENANCE PERFORMED AT THAT TIME AS MAY BE REQUIRED BY CONDITIONS.
5. ACCUMULATED SILT AND DEBRIS SHALL BE REMOVED FROM THE BASIN AS NECESSARY TO ENSURE PROPER BASIN FUNCTIONING.
6. ALL LONG TERM CARE AND MAINTENANCE OF THE BASIN SHALL BE IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF COVENTRY REQUIREMENTS.

DRAINAGE NOTES DURING CONSTRUCTION

1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.
2. DRAINAGE DESIGNED FOR A 100 YEAR, 24 HOUR STORM EVENT FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND AND TOWN OF COVENTRY REQUIREMENTS.
3. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF COVENTRY REQUIREMENTS.
4. THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.
5. ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.
6. NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.
7. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEED IMMEDIATELY.
8. AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.
9. THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.
10. MAINTENANCE OF THE SYSTEM SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTED TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.
11. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEED IMMEDIATELY.

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED LOT 1 OF HOXIE COURT PLACE LOCATED ON AP 88, LOTS 87 & 88.2

RESPONSIBLE PARTY FOR MAINTENANCE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL COMPLETELY CONSTRUCTED.
- THE PROPOSED LOT 1 OWNER SHALL ASSUME ALL RESPONSIBILITY FOR MAINTENANCE ONCE CONSTRUCTION IS COMPLETED

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
- DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR AS APPLICABLE.
- PREPARATION OF THE AREA FOR THE INFILTRATION BASIN SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE BASIN AREA DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

- YARD / LAWN AREA**
- THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED LOT 1 RESIDENCE AND ITS ASSOCIATED AMENITIES.
 - THE INFILTRATION BASIN SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE BASIN.
 - ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
 - MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE OF THE INFILTRATION BASIN BY THE PROPERTY OWNER OF PROPOSED LOT 1.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNER OF PROPOSED LOT 1 SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM AND AS SUCH, THEIR FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
- ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.
- NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE INFILTRATION BASIN.

GENERAL LANDSCAPE NOTES

SPECIFIC LANDSCAPING DESIGN AND NOTES SHALL SUPERCEDE ANY INFORMATION CONTAINED BELOW

1. THE CONTRACTOR SHALL LAY OUT ALL WORK. THE CONTRACTOR SHALL STAKE OUT ALL LOCATIONS OF RELATED SITE IMPROVEMENTS FOR APPROVAL BY THE ENGINEER OR SITE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE ALIGNMENT, GRADE, ETC. AS DIRECTED IN THE FIELD AS WARRANTED.
2. ALL WORK SHALL BE BASED UPON THE USE OF SPECIFIC MATERIALS AS INDICATED ON THE PLANS OR AS MAY BE REQUIRED BY LOCAL AND STATE PLANTING MEASURES. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE TOWN, OWNER AND/OR DEVELOPER.
3. STREET TREES SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY OF THE NOTRE DAME STREET EXTENSION IN ACCORDANCE WITH ALL APPLICABLE TOWN OF COVENTRY RULES, REGULATIONS AND STANDARDS
4. ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS SHALL CARRY A ONE (1) YEAR GUARANTEE. ALL PLANT MATERIAL SHALL MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AS TO GRADING AND QUALITY.
5. MULCH ALL PLANTINGS (EXCLUDING GROUND COVER AND PERENNIAL BEDS) WITH 3" DARK BROWN, FINE SHREDDED PINE BARK MULCH. GROUND COVER AND PERENNIAL BEDS SHALL BE PREPARED TO A DEPTH OF 12" MINIMUM WITH A LOAM/COMPOST MIX.
6. ALL LAWN AREAS SHALL BE PREPARED TO A DEPTH OF 6" (MIN.) WITH SCREENED LOAM.
7. ALL WORK SHALL BE EXECUTED IN A THOROUGH AND WORKMANLIKE MANNER IN ACCORDANCE TO STATE AND LOCAL CODES TO THE SATISFACTION OF THE OWNER.
8. SEEDING SHALL BE DONE IN ACCORDANCE WITH SECTION L02.03 OF THE RI STANDARD SPECIFICATIONS AND ONLY DURING THE FOLLOWING DATES:
MARCH 15 - MAY 31
AUGUST 15 - OCTOBER 15
9. LAWN SEED MIX:
• LESCO PARK ATHLETIC MIX OR EQUAL:
• 32.89% SHAMROCK KENTUCKY BLUEGRASS
• 32.65% CREEPING RED FESCUE
• 32.38% LAREDO PERENNIAL RYEGRASS
• APPLY AT A RATE OF 200 LBS./ACRE

ORDER OF PROCEDURE

1. PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR. SAID FLAGGING SHALL BE TEMPORARY, HIGH-VISIBILITY MARKINGS.
2. PRIOR TO COMMENCING OPERATIONS, EROSION CONTROLS SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS AND WETLAND AREAS.
3. ALL SEDIMENTATION BARRIERS SHALL BE PROPERLY INSTALLED, AS APPLICABLE AND AS SHOWN ON THE PLANS AND AS MAY BE REQUIRED IN THE FIELD.
4. A CONTINUOUS SEDIMENTATION BARRIER SHALL BE INSTALLED WITHIN THE APPROVED LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS PRIOR TO ANY SITE GRADING OR SOIL DISTURBANCE ACTIVITIES.
5. PRIOR TO GENERAL BUILDING CONSTRUCTION, TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS MAY BE REQUIRED TO RECEIVE AND CONTAIN CONSTRUCTION-PHASE STORMWATER RUNOFF. SAID SEDIMENTATION BASINS SHALL BE CONSTRUCTED OUTSIDE OF ANY WETLAND OR ASSOCIATED PERIMETERS AS SITE CONDITIONS WARRANT.
6. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
7. DURING CONSTRUCTION PHASE, SITE STABILIZATION ACTIVITIES INCLUDING SEEDING AND EROSION & SEDIMENTATION CONTROL REPLACEMENT SHALL BE INITIATED ON SEPTEMBER 1 OF THE YEAR IN PREPARATION FOR SITE OVER WINTER PERIOD.
8. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
9. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
10. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
11. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

PHASING AND GENERAL CONSTRUCTION SEQUENCE

IN ORDER TO FURTHER MINIMIZE SEDIMENT LOSS ON THE SITE, A GENERAL CONSTRUCTION SEQUENCE PLAN HAS BEEN DEVELOPED.

1. PRIOR TO CONDUCTING WORK ASSOCIATED WITH THIS PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL COPIES OF PERMIT APPLICATIONS AND APPROVALS THAT OUTLINE CONDITIONS GOVERNING THE PROPOSED WORK. THE CONTRACTOR WILL ALSO REVIEW THE DRAWINGS PREPARED FOR THE PROJECT.
2. THE CONTRACTOR WILL PLACE ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IN ACCORDANCE WITH THE DRAWINGS, OR AS MAY BE DICTATED BY SITE CONDITIONS, IN ORDER TO MAINTAIN THE INTENT OF THE SPECIFICATIONS AND PERMITS. DEFICIENCIES OR CHANGES ON THE DRAWINGS SHALL BE CORRECTED OR IMPLEMENTED AS SITE CONDITIONS CHANGE. CHANGES DURING CONSTRUCTION SHALL BE NOTED AND POSTED ON THE DRAWINGS (SITE PLANS).
3. THE INTENT IS TO DIRECT ALL WATER FROM DISTURBED AREAS THROUGH A SEDIMENTATION CONTROL PRIOR TO DISCHARGING TO RECEIVING DRAINAGE AREAS OR TO OFF-SITE WETLANDS. THERE SHALL BE NO DISCHARGE OF UNTREATED CONSTRUCTION RUNOFF FROM THIS SITE. THE CONTRACTOR SHALL CREATE SUFFICIENT HOLDING CAPACITY WITHIN THE TEMPORARY SEDIMENTATION BASINS TO HOLD ALL UNTREATED SITE RUNOFF.
4. THE CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROL SYSTEMS AS DICTATED BY SITE CONDITIONS, INDICATED IN THE CONSTRUCTION DOCUMENTS, OR AS DIRECTED BY GOVERNING AUTHORITIES OR OWNER TO CONTROL SEDIMENT UNTIL FINAL STABILIZATION.
5. THE CONTRACTOR SHALL RESPOND TO ANY MAINTENANCE OR ADDITIONAL WORK ORDERED BY OWNER OR GOVERNING AUTHORITIES IMMEDIATELY IF REQUIRED, AND ALWAYS WITHIN 7 DAYS.
6. THE CONTRACTOR SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES, PERMANENT SLOPE STABILIZATION, AND VEGETATION INTO THE PROJECT PLANS AT THE EARLIEST PRACTICAL TIME TO MINIMIZE THE NEED FOR TEMPORARY CONTROLS.
7. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITHIN 7 CALENDAR DAYS. IN THE EVENT THAT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES MUST BE STABILIZED WITH GEOTEXTILE FABRIC OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

TREATMENT OF EXISTING CONDITIONS

1. EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE
2. VEGETATION SHALL BE SUPPLEMENTED BY PROPOSED LANDSCAPING TO ENSURE ADEQUATE SCREENING BUFFERS AND REQUIRED LANDSCAPING ELEMENTS ARE PROVIDED IN ACCORDANCE WITH TOWN OF COVENTRY REQUIREMENTS.

LIMITS OF DISTURBANCE NOTES:

1. PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.
2. THE CONTINUOUS LINE OF EROSION CONTROLS SHALL BE LOCATED WITHIN THE LOD AS SITE CONDITIONS WARRANT AND AS SHOWN ON THE PLANS ON THE DOWNHILL SIDE OF THE LOD. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS SITE CONDITIONS WARRANT.
3. EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
4. AREAS DISTURBED DURING CONSTRUCTION, EXCLUDING THE RESIDENCES AND THEIR ASSOCIATED AMENITIES SHALL BE LANDSCAPED IN ACCORDANCE WITH TOWN OF COVENTRY LANDSCAPING REQUIREMENTS AND AT A MINIMUM BE LOAM & SEEDED.
5. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL STABLE GROUND COVER IS ESTABLISHED

GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF COVENTRY PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE TOWN PUBLIC WORKS AND ENGINEERING DEPARTMENTS.
3. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RI STANDARD SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS BY CONTACTING "DIG SAFE" AND THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE, OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES. ALL WORK, MATERIALS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
6. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND AND TOWN OF COVENTRY RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.
7. ALL DISTURBED AREAS ARE TO BE PROTECTED AGAINST EROSION AND/OR SEDIMENTATION.
8. PERIMETER CONDITIONS AND DRAINAGE PATTERNS SHALL REMAIN UNCHANGED.
9. EMBANKMENT SLOPES ARE NOT TO EXCEED 3:1 AND SHALL BE FULLY COMPACTED TO PROVIDE A STABLE PRODUCT.
10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
11. EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED ALONG AND JUST INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.
12. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE.

GENERAL OPERATION AND MAINTENANCE PLAN

ON-GOING O&M PLAN

1. PERIODIC INSPECTIONS OF THE LANDSCAPING AND SITE IMPROVEMENTS SHALL BE MADE BY THE RESPONSIBLE MAINTENANCE ENTITY.
2. ACCUMULATIONS OF TRASH, LEAVES, BRANCHES, SEDIMENT, OR ANY MATERIAL WHICH IS INTERFERING WITH THE INFILTRATION OF WATER SHALL BE REMOVED.

VEGETATION MAINTENANCE PLAN

1. VEGETATION THROUGHOUT THE SITE, SHALL BE MOWN AND MAINTAINED PERIODICALLY AS NEEDED.

NOT TO SCALE

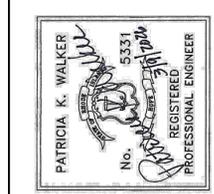
OWNER
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APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT
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REVISIONS	DESCRIPTION	TOWN COMMENTS
DATE	MAR 2026	



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31 Vale Court
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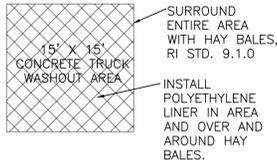
NOTES & DETAILS NO. 1

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

DATE: NOVEMBER 2025
REVISED MARCH 2026

SHEET: ND-1

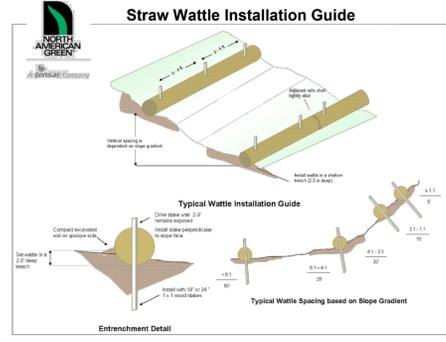
SHEET 8 OF 9



**CONCRETE TRUCK WASHOUT AREA
DETAIL & NOTES
NOT TO SCALE**

CONCRETE TRUCK WASHOUT AREA NOTES:

1. LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS
2. PREPARE GROUND AREA AND REMOVE ANY DEBRIS OR MATERIALS. GROUND SHOULD BE CLEARED AND LEVELED.
3. INSTALL HAY BALES, RI STD. 9.1.0 AROUND ENTIRE WASHOUT AREA
4. INSTALL THICK POLYETHYLENE LINER (MIN 6ML THICKNESS) ON GROUND AND OVER AND AROUND HAY BALES.
5. STAKE LINER IN PLACE TO ENSURE ITS PLACEMENT AND STABILITY
6. LINER TO BE INSPECTED TO ENSURE ITS INTEGRITY
7. LINER TO BE RESPECTED AS CONDITIONS WARRANT THROUGHOUT CONCRETE POURING OPERATIONS ON SITE.
8. LINER TO BE REMOVED AND DISPOSED OF OFF-SITE IN AN APPROPRIATE LOCATION AND MANNER
9. UPON COMPLETION, THE WASHOUT AREA SHALL BE INSPECTED AND ANY OVERSPILL SHALL BE REMOVED OF OFF-SITE



1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" (57.1 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.

2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-SLOPE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.

3. SECURE THE WATTLE WITH 18-20 (45.7-51.8 CM) STAKES EVERY 3'-4" (91.4 - 101.6 CM) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2" (5.1 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales for sediment control and storm water runoff.

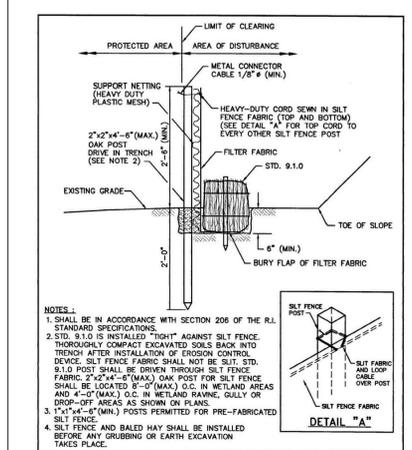
Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.

To maximize sediment containment with the Straw Wattle, place the initial structure at the top of the slope if significant runoff is expected from above. If no runoff from above is expected, the Straw Wattle can be installed at the appropriate distance downhill from the top of the slope. The final structure should be installed at or just beyond the bottom of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.

Straw Wattles are a temporary sediment control device and are not intended to replace inlet erosion control products (IIECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPS or HECPs be used to provide effective intermediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches to supplement sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on proper installation.

For additional installation assistance, please contact North American Green's Technical Services Department at 1-800-772-2040

14649 Highway 41 North, Evansville, Indiana 47725
1-800-772-2040 www.naagreen.com Rev. 1/2008



1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.

2. STD. 9.1.0 IS INSTALLED TIGHT AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOIL BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICE. SILT FENCE FABRIC SHALL NOT BE CONTROL. 9.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2"x2"x4"-6" (MAX.) OAK POST FOR SILT FENCE SHALL BE LOCATED 8"-10" (MAX.) O.C. IN WETLAND AREAS AND 4"-6" (MAX.) O.C. IN WETLAND RANNE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.

3. 1"x1"x4"-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.

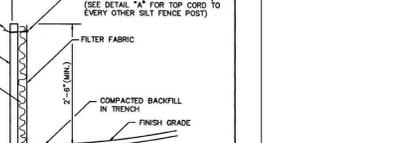
4. SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.

2. TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.

3. A BALE OF HAY IS TO BUTT PERPENDICULARLY.



1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.

2. 2"x2"x4"-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8"-10" (MAX.) O.C. IN WETLAND AREAS AND 4"-6" (MAX.) O.C. IN WETLAND RANNE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.

3. 1"x1"x4"-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.

4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. DENUEDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY OR INTO DRAINAGE SYSTEMS OR WETLANDS.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ALL E & S MEASURES MAINTENANCE AND SHALL INSPECT AND/OR REPLACE AS NEEDED.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW.
5. ADDITIONAL E & S MEASURES WILL BE INSTALLED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
6. ALL E & S MEASURES WILL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER DEVELOPS AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
7. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 TO OCTOBER 15. REFER TO LANDSCAPE PLANTING PLAN, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER, LOCAL DEPARTMENT OF PUBLIC WORKS, RIDOT OR RIDEM.
9. ALL AREAS SUBJECT TO EROSION FORCES SHALL RECEIVE PROTECTION.
10. STRAW OR LINING APPLICATIONS SHALL BE USED AS REQUIRED ON EXPOSED SURFACES TO PREVENT EROSION. ALL METHODS SHALL BE APPROVED BY THE ENGINEER.
11. ALL VEGETATION WHICH DOES NOT SURVIVE AND DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
12. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
13. THE DRAINAGE SYSTEM SHALL BE REVIEWED PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.
14. AS REQUIRED AND WARRANTED, SEDIMENTATION TRAPS WILL BE PROVIDED AT ALL DRAINAGE OUTLET STRUCTURES UNTIL PERMANENT STABILIZATION HAS OCCURRED.
15. NO SLOPES TO EXCEED 3:1.
16. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, OR FIBER MATTING.
17. STOCKPILES SHALL NOT BE LOCATED NEAR WATERWAYS AND SHALL HAVE NO SLOPE STEEPER THAN 3:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES AND SEEDED AND/OR STABILIZED.
18. FINAL TREATMENT FOR DISTURBED AREAS SHALL BE 4" PLANTABLE SOIL AND EROSION CONTROL SEED MIX, UNLESS OTHERWISE SHOWN ON LANDSCAPING PLANS.
19. LANDSCAPING SHALL BE LOCATED AT LOCATIONS AS SHOWN ON THE PLANS.
20. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RI STANDARD SPECIFICATIONS.
21. THE SEED MIX SHALL BE INOCULATED 24 HOURS BEFORE MIXING AND PLANTING WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
22. STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000 TO 4000 LBS PER ACRE.
23. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
24. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED AND PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
25. REFER TO THE LANDSCAPE DESIGN FOR PERMANENT SEEDING TREATMENT AND MIXTURES
26. TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) AND SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
27. ALL E & S MEASURES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED.

SPECIES	LBS/1000 SF	LBS/ACRE	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
SUDAN GRASS	0.7 - 1.0	30 - 40	MAY 15 - AUGUST 15
MILLET	0.7 - 1.0	30 - 40	MAY 15 - JUNE 15
WINTER RYE	3.0	120	APRIL 15 - JUNE 15

28. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RIDPW STD SPECIFICATIONS SECTION 202
29. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

SEDIMENTATION CONTROL PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.
2. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION.
3. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
6. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATER COURSES OR WETLANDS OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
7. ADDITIONAL E & S MEASURES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
9. REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY RIDEM AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE TOWN OF COVENTRY SOILS AND EROSION CONTROL ORDINANCES AS GUIDES.
10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
11. A CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

OTHER CONTROLS

THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:

1. NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR Poured WITHIN ANY WETLANDS.
2. SOLID WASTE WILL BE COLLECTED AND STORED IN A SECURE DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
3. CONSTRUCTION DEBRIS WILL INCLUDE ALL WOOD, STONE AND OTHER DEBRIS AND SITE MATERIALS REQUIRING REMOVAL. THESE MATERIALS WILL BE DISPOSED OF ACCORDING TO STATE AND FEDERAL LAW AND WILL NOT BE DISPOSED OF ON-SITE.
4. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN UNDISTURBED.
5. CONTINUOUS LINES OF EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WORK IS COMPLETE AND A STABLE GROUND SURFACE IS ESTABLISHED.
6. ALL E & S MEASURES SHALL BE MAINTAINED OR REPLACED AS REQUIRED TO ASSURE PROPER FUNCTION.
7. ALL BREACHES OR FAILURES IN E & S MEASURES SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
8. DEBRIS AND LITTER, WHICH ACCUMULATES ALONG THE CONSTRUCTION AREA, SHALL BE REMOVED DAILY AND DISPOSED OF OFF-SITE.
9. SEDIMENT BUILD-UP BEHIND ANY E & S MEASURES AND BARRIERS WILL BE MONITORED AND REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO 6-INCHES IN DEPTH.

ORDER OF PROCEDURE

1. PRIOR TO ANY CONSTRUCTION OR EXCAVATION, EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE INSTALLED AT THE PROPERTY LINE OR LIMIT OF DISTURBANCE. TEMPORARY E & S MEASURES SHALL BE INSTALLED AT THE LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES.
2. PRIOR TO COMMENCING OPERATIONS, TEMPORARY E & S MEASURES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS, ADJACENT PROPERTIES, OR WETLANDS.
3. ALL E & S MEASURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
4. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
5. TEMPORARY E & S MEASURES AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
6. E & S MEASURES AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

NOT TO SCALE

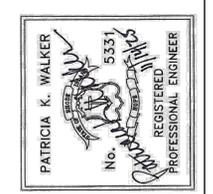
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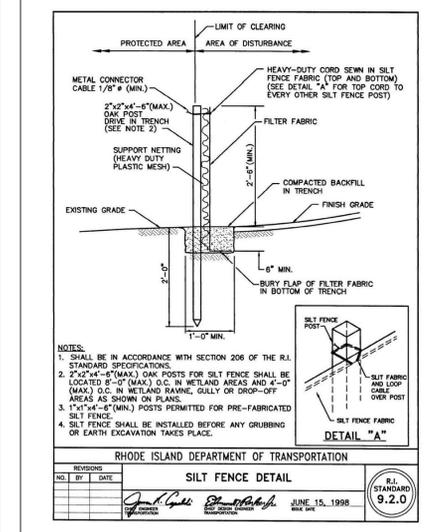
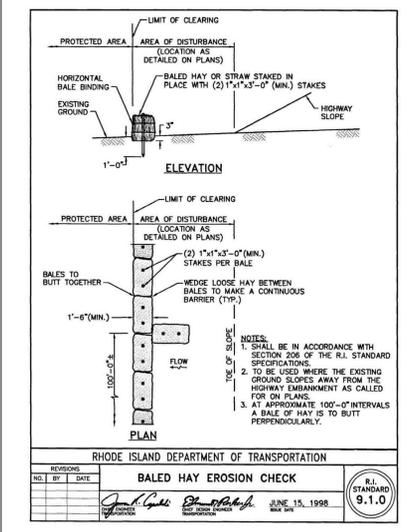
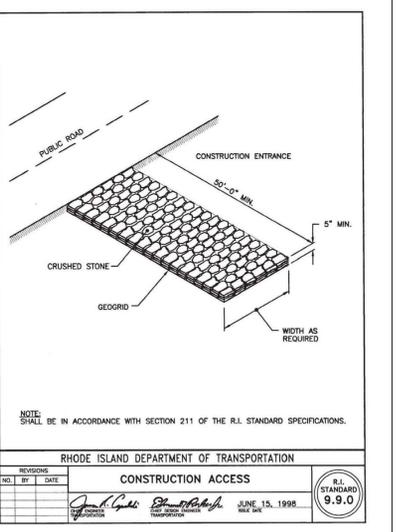
NOTES & DETAILS NO. 2

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

DATE: NOVEMBER 2025

SHEET: ND-2

SHEET 9 OF 9



EROSION CONTROL PLAN

1. ALL WORK PROPOSED SHALL BE IN ACCORDANCE WITH STATE OF RI AND TOWN OF COVENTRY RULES, REGULATIONS AND STANDARDS
2. EROSION AND SEDIMENT CONTROL METHODS (E & S MEASURES) FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF E & S MEASURES
3. EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
4. STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:
 - A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - B. PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED E & S MEASURES JUST INSIDE THE LIMITS OF DISTURBANCE.
 - C. A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD 9.9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - D. INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3".
 - E. CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
 - F. ONCE THE SITE HAS BEEN LOAMED AND SEEDED AND THE SITE IS STABLE, THE E & S MEASURES MAY BE REMOVED.

