

# HOXIE COURT PLACE

(AP 88, LOTS 87 & 88.2)

HOXIE COURT, NOTRE DAME STREET & KERNAN STREET  
COVENTRY, RHODE ISLAND

PRELIMINARY PLAN SUBMISSION / NOVEMBER 2025

<u>OWNER</u> BRUCE B. GIBB & VICTORIA M. GIBB 31 HOXIE COURT COVENTRY, RI 02816	<u>APPLICANT</u> NBG CONSTRUCTION 606 VICTORY HIGHWAY WEST GREENWICH, RI 02817
<u>OWNER / APPLICANT CONTACT</u> BEN GASIOR BEN@NBGCONSTRUCTION.COM 401-487-1720	

<u>LEGAL COUNSEL</u> THOMAS P. CRONIN, ESQ. NOLAN, BRUNERO, CRONIN & FERRARA LTD. 1070 MAIN STREET COVENTRY, RI 02816 TJC@NDGRB.COM 401-828-5800	<u>PROJECT MANAGER / SURVEYOR / OWTS DESIGNER / SOIL EVALUATOR</u>   410, TIQUE AVENUE COVENTRY, RI 02816 401-821-8101 LAND SURVEYING / MAPPING / SITE PLANNING
<u>PROJECT ENGINEER</u>   31 Vale Court West Greenwich, RI 02817 Phone / Fax: (401) 397-8745 Email: wet31pw@gmail.com	<u>WETLANDS BIOLOGIST</u>   PO BOX 836 CHARLESTOWN, RI 02813

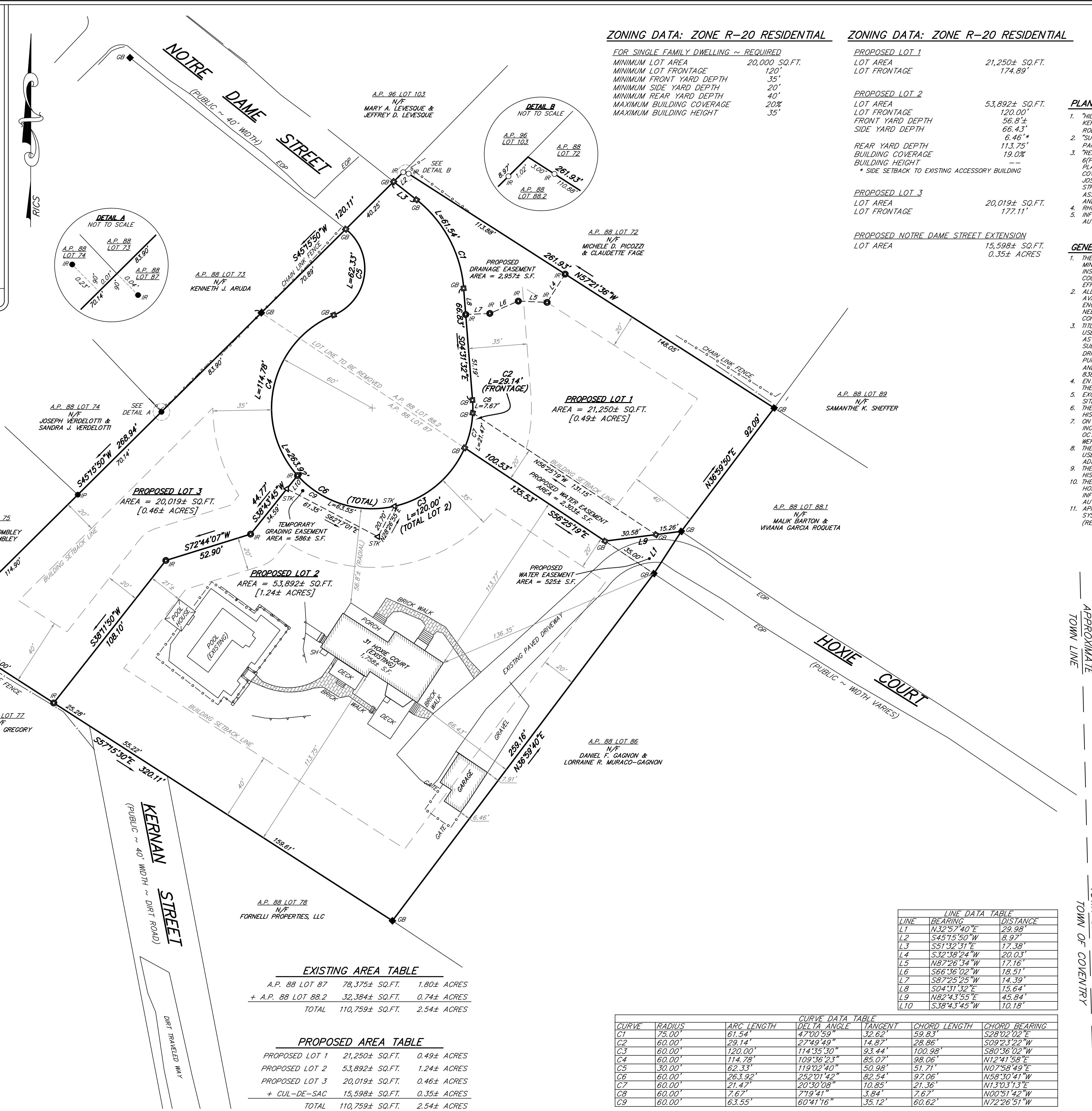
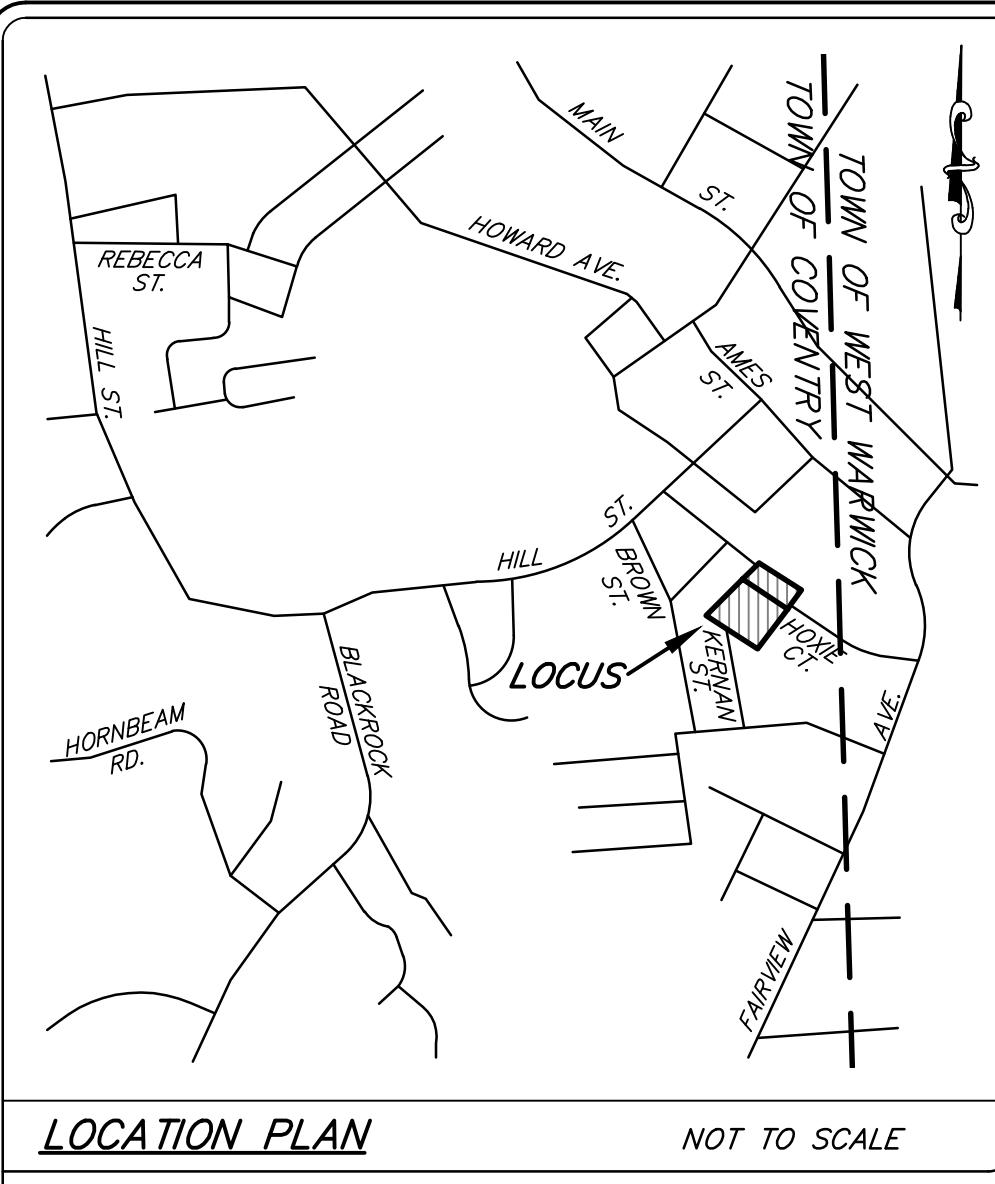
## PLAN SET INDEX

SHEET NO.	SHEET TITLE
1 OF 9	EXISTING CONDITIONS PLAN
2 OF 9	LOT LAYOUT PLAN
3 OF 9	LAYOUT PLAN
4 OF 9	DRAINAGE, GRADING & EROSION CONTROL PLAN
5 OF 9	UTILITIES PLAN
6 OF 9	NOTRE DAME ROAD EXTENSION PLAN & PROFILE
7 OF 9	WATER NOTES & DETAILS
8 OF 9	NOTES & DETAILS NO. 1
9 OF 9	NOTES & DETAILS NO. 2

PLAN SET USE NOTES:  
1. NOT FOR CONSTRUCTION WITHOUT ALL REQUIRED STATE, TOWN & UTILITIES APPROVALS AND PERMITS  
2. MAY BE USED FOR PRELIMINARY BIDDING PURPOSES PRIOR TO ALL REQUIRED APPROVALS BEING RECEIVED.

REVISIONS	
DATE	DESCRIPTION





FOR STREET INDEX, FILE UNDER:  
HOXIE COURT  
KERNAN STREET  
NOTRE DAME STREET

**PLAN REFERENCES:**

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- 1. "HILL VIEW PLAT SITUATED IN COVENTRY R.I. THOMAS C. KERNAN & BELONGING TO LOUIS N. RAINVILLE BY ROBERT W. GREENE SCALE 50 FT PR INCH NOV. 1926"
- 2. "SUNSET PLAT OWNED BY ALMANZOR AND DORIS PARENTEAU RAY C. MATTESON, ENG'R. NOVEMBER 1947"
- 3. "REPLAT OF THE SUNSET PLAT, LOTS 1,2,3,4(PT.), & 6(PT.) ADMINISTRATIVE SUBDIVISION PLAN ASSESSORS PLAT 88 LOTS 73 PART, 74, & 75 LUCILLE STREET COVENTRY, RHODE ISLAND PLAN PREPARED FOR: JOSEPH VERDELOTTI, STEPHEN TROMBLEY LUCILLE STREET COVENTRY, RI 02816 BY SEVEN TWENTY ONE ASSOCIATES" RECORDED IN PLAN BOOK 15 PAGE 37 AND IN ENVELOPE #547.
- 4. RHODE ISLAND DEM OWTS APPLICATION #9006-400.
- 5. INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

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**GENERAL NOTES:**

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**GENERAL NOTES:**

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THE SUBJECT PROPERTY LIES WITHIN A ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, KENT COUNTY, RHODE ISLAND MAP NUMBER 44003C0106H, EFFECTIVE DATE: OCTOBER 2, 2015.

2. ALL UTILITIES ARE APPROXIMATE AND BASED OFF OF AVAILABLE DATA INCLUDING DIG SAFE MARKINGS, TOWN ENGINEERING PLANS, AND GIS INFORMATION. UTILITIES WILL NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

2. TITLE TO AP 88 LOT 87 IS CONVEYED WITH THE "RIGHT TO USE A FIFTEEN FOOT DRIFTWAY TO AND FROM AMES STREET AS SET FORTH ON OR REFERRED TO IN PRIOR DEEDS, BUT SUBJECT TO THE RIGHTS OF OTHERS ALSO TO USE SAID DRIFTWAY," AND "ALSO WITH A RIGHT OF WAY FOR THE PURPOSES OF INGRESS AND EGRESS FOR ALL PURPOSES TO AND FROM SAID PREMISES". SEE DEED BOOK 1643 PAGE 838.

2. ENTIRE SITE LIES WITHIN THE CENTRAL FIRE DISTRICT FOR THE TOWN OF COVENTRY.

2. EXCEPT WHERE SHOWN AS DEVELOPED ON THIS PLAN, THE SITE IS ENTIRELY WOODED.

2. THERE ARE NO KNOWN UNIQUE NATURAL, MANMADE OR HISTORIC FEATURES ON THE SITE.

2. ON OCTOBER 27, 2025, AVIZINIS ENVIRONMENTAL SERVICES, INC. VISITED THE SITE, AND PRODUCED A REPORT DATED OCTOBER 28, 2025 WHICH STATES THAT NO WETLANDS WERE FOUND WITHIN 200 FEET OF THE SUBJECT PROPERTY.

2. THERE ARE NO KNOWN AREAS OF EXISTING AGRICULTURAL USE OR HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE.

2. THE SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, HISTORIC DISTRICT, OR GROUNDWATER PROTECTION AREA.

2. THE APPROXIMATE LOCATION OF THE WATER LINES IN HOXIE COURT AND NOTRE DAME STREET ARE TAKEN FROM INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

1. APPLICATIONS FOR ON-SITE WASTEWATER TREATMENT SYSTEMS HAVE BEEN SUBMITTED FOR LOTS 1 AND 3 (REFERENCE IA NUMBERS 13722 AND 13725).

Scituate Surveys, Inc. logo featuring a stylized 'S' and 'C' inside a triangle. The company name 'SCITUATE SURVEYS, INC.' is written vertically next to it. Below the logo is an address: COVENTRY, RHODE ISLAND 02816, 401 821 8101. To the right is a vertical scale bar with markings at 30, 15, 0, 30, 60, and 90 feet. The word 'FEET:' is written vertically next to the scale bar.

REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:		<u>MEASUREMENT SPECIFICATION</u> CLASS I
<u>TYPE OF BOUNDARY SURVEY</u> COMPREHENSIVE BOUNDARY SURVEY	<u>TYPE OF SURVEY-OTHER</u> DATA ACCUMULATION SURVEY	
<u>STATEMENT OF PURPOSE</u> THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AND TO SHOW A PROPOSED MINOR SUBDIVISION.		<u>CLASS III</u>
		 JULIE M. RAYMOND, PROFESSIONAL LAND SURVEYOR NO. 2540 BY JULIE M. RAYMOND, PROFESSIONAL LAND SURVEYOR NO. 2540 (C) SCITUATE SURVEYS, INC. COA NO. IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "WET" STAMP, THEN IT IS NOT AN AUTHORITATIVE VER
No. 2540  PROFESSIONAL LAND SURVEYOR		JULIE MICHELLE RAYMOND

BRUCE B. GIBB & VICTORIA M. GIBB  
ASSESSOR'S PLAT 88 LOTS 87 & 88.2  
HOXE COURT, NOTRE DAME STREET AND KERNAN STREET  
COVENTRY, RHODE ISLAND

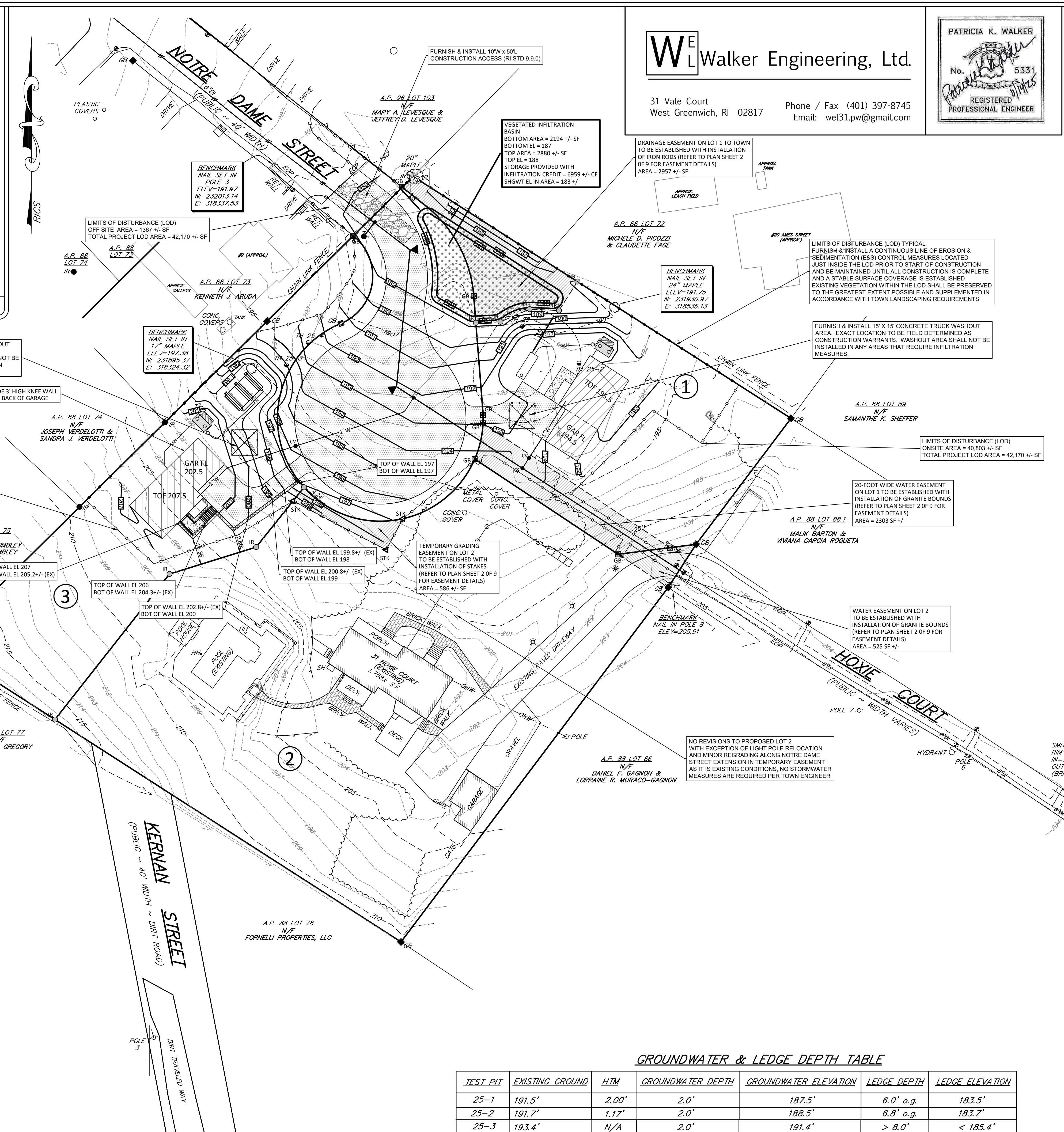
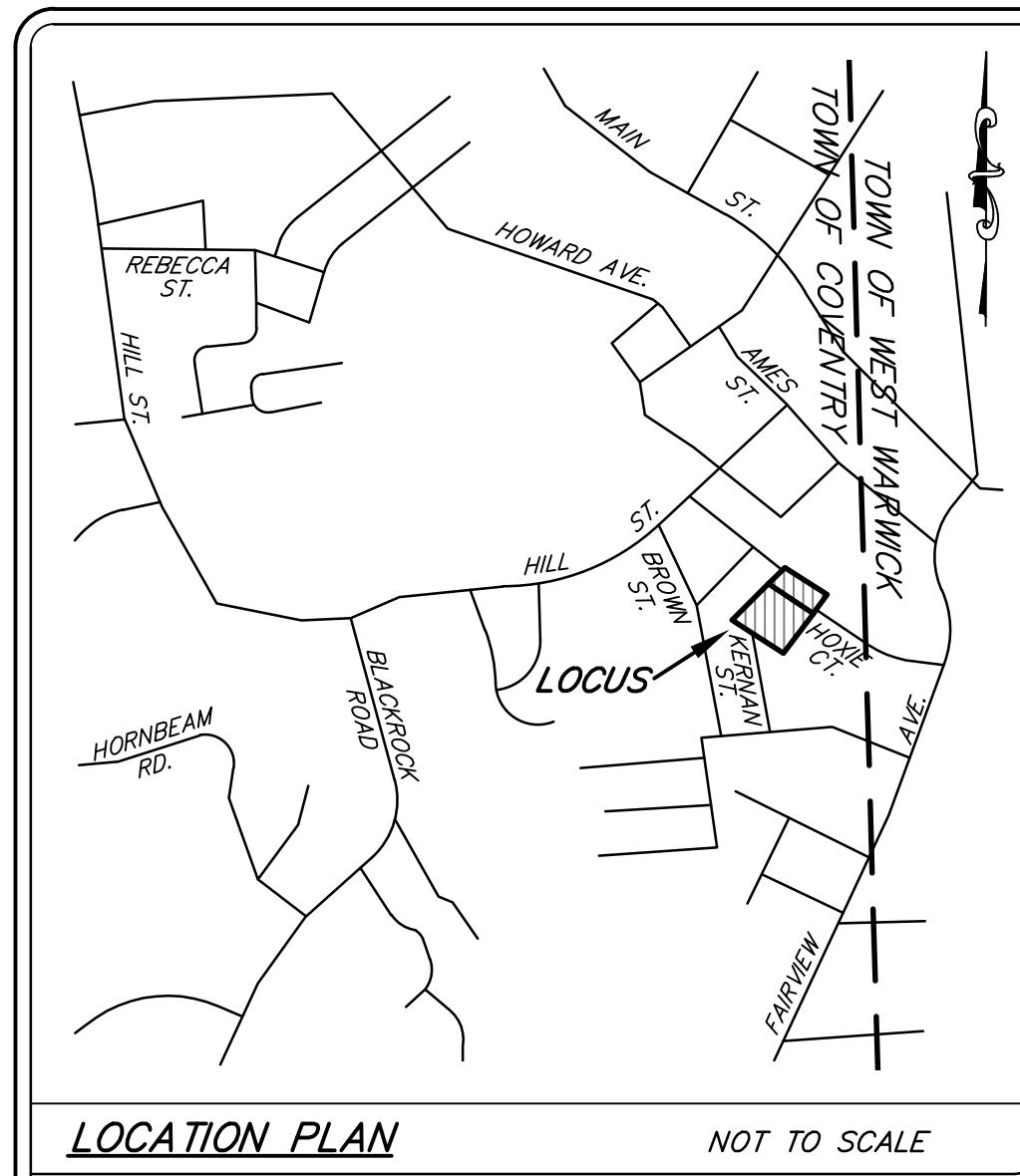
11111 COVETRY PLACE  
PRELIMINARY MINOR SUBDIVISION  
LOT LAYOUT PLAN

OF LAND OF

SSCALE: 1"=30'      DATE: NOVEMBER 14, 2025      REVISION:

PROJECT NO.: SS3148  
PAWNING NO.: SS5218  
PAWN BY: C. J. BLITTIG





<u>TEST PIT</u>	<u>EXISTING GROUND</u>	<u>HTM</u>	<u>GROUNDWATER DEPTH</u>	<u>GROUNDWATER ELEVATION</u>	<u>LEDGE DEPTH</u>	<u>LEDGE ELEVATION</u>
25-1	191.5'	2.00'	2.0'	187.5'	6.0' o.g.	183.5'
25-2	191.7'	1.17'	2.0'	188.5'	6.8' o.g.	183.7'
25-3	193.4'	N/A	2.0'	191.4'	> 8.0'	< 185.4'
25-4	192.2'	N/A	2.0'	190.2'	> 8.0'	< 184.2'

FOR STREET INDEX, FILE UNDER:  
**HOXIE COURT**  
**KERNAN STREET**  
**NOTRE DAME STREET**

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
◆ GB	GRANITE BOUND	□ GB
○ IR	IRON ROD	○ IR
○	PUBLIC HYDRANT	●
--- W ---	WATER LINE	— W —
	CURB STOP WITH GATE VALVE	● CV
	CORPORATION STOP	● CS
	THRUST BLOCK	◀
	LOT NO.	(3)
	PAVEMENT	[Dotted Pattern]
	BUILDING	[Hatched Pattern]
	CONCRETE WALK	[Dotted Pattern]
	3'H MAX RETAINING WALL	[Cross-hatched Pattern]
--- OO ---	CONTOUR LINE	[OO]
	LIMIT OF DISTURBANCE WITH E&S MEASURES	—□— □ —□—
	STAKE	◀ STK
--- S ---	SANITARY LINE	— SAN —

## REQUIRED TOWN NOTES

THE FOLLOWING INFORMATION IS PROVIDED RELATED ONLY TO HOXIE COURT PLACE SUBDIVISION AND DOES NOT INCLUDE EXISTING CONDITIONS ON PROPOSED LOT 2, WHICH CONTAINS THE EXISTING RESIDENCE AND ITS ASSOCIATED AMENITIES.

1. THERE IS NO LEDGE EXCAVATION PROPOSED
2. PROPOSED EXCAVATION IS ESTIMATED TO BE EQUAL TO PROPOSED FILL BASED ON PRELIMINARY ANALYSIS
3. THERE ARE NO CONCRETE SIDEWALKS OR CURBING PROPOSED ALONG THE NOTRE DAME STREET EXTENSION AND CUL-DE-SAC
4. 203 +/- LF OF NOTRE DAME STREET EXTENSION IS PROPOSED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF COVENTRY REGULATIONS, REQUIREMENTS AND STANDARDS.
5. 127 +/- LF OF BITUMINOUS DRIVEWAYS ARE PROPOSED FOR PROPOSED LOTS 1 AND 3
6. THERE ARE NO CATCH BASINS OR DRAINAGE MANHOLES PROPOSED
7. PROPOSED WATER LINES
  - 325 +/- LF OF 8" WATER LINE
  - 10 +/- LF OF 6" WATER LINE FOR NEW HYDRANT
  - 194 +/- LF OF 1" WATER LINE SERVICES
9. THERE ARE NO DRAIN LINES PROPOSED
10. THE NUMBER AND SPECIES OF STREET TREES ARE INCLUDED DIRECTLY ON THE LANDSCAPE PLAN PREPARED BY OTHERS
11. OWTS PROPOSED FOR LOTS 1 AND 3 PREPARED BY OTHERS INCLUDE 4" SANITARY PVC LINES, REFERENCE SAID PLANS PREPARED BY OTHERS FOR ADDITIONAL DETAILS
12. ONE (1) PUBLIC HYDRANT IS PROPOSED FOR THE PROJECT AS REQUIRED BY THE FIRE MARSHAL AS SHOWN ON THE PLANS LOCATED IN THE VICINITY OF THE SITE

*(BRICK TROUGH)*

APPLICANT  
NBG CONSTRUCTION  
606 VICTORY HIGHWAY  
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT  
BEN GASIOR  
BEN@NBGCONSTRUCTION.COM  
401-487-1720

LEGAL COUNSEL  
THOMAS P. CRONIN, ESQ.  
NOLAN, BRUNERO, CRONIN & FERRARA LTD.  
1070 MAIN STREET  
COVENTRY, RI 02816  
[TJC@NDGRB.COM](mailto:TJC@NDGRB.COM)  
401-828-5800

# DRAINAGE, GRADING, & EROSION CONTROL PLAN

HUXIE COURT FLAEL  
AP 88 / LOTS 87 & 88.2  
HUXIE COURT, NOTRE DAME STREET & KERNAN STREET  
COVENTRY, RHODE ISLAND

SHEET  
4 OF 9

<p>THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:</p> <p><u>TYPE OF BOUNDARY SURVEY</u> COMPREHENSIVE BOUNDARY SURVEY</p> <p><u>TYPE OF SURVEY—OTHER</u> DATA ACCUMULATION SURVEY</p>	<p><u>MEASUREMENT SPECIFICATION</u> CLASS I</p> <p><u>MEASUREMENT SPECIFICATION</u> CLASS III</p>	<p><u>STATEMENT OF PURPOSE</u> THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AND TO SHOW A PROPOSED MINOR SUBDIVISION.</p> <p><i>John M. Raymond</i> By: JULIE M. RAYMOND, PROFESSIONAL LAND SURVEYOR NO. 2540 ©SCITUATE SURVEYS, INC. COA NO. A-30 IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "WET" STAMP, THEN IT IS NOT AN AUTHORITATIVE VERSION.</p>
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Julie Michelle Raymond

2540

No.

PROFESSIONAL  
LAND SURVEYOR

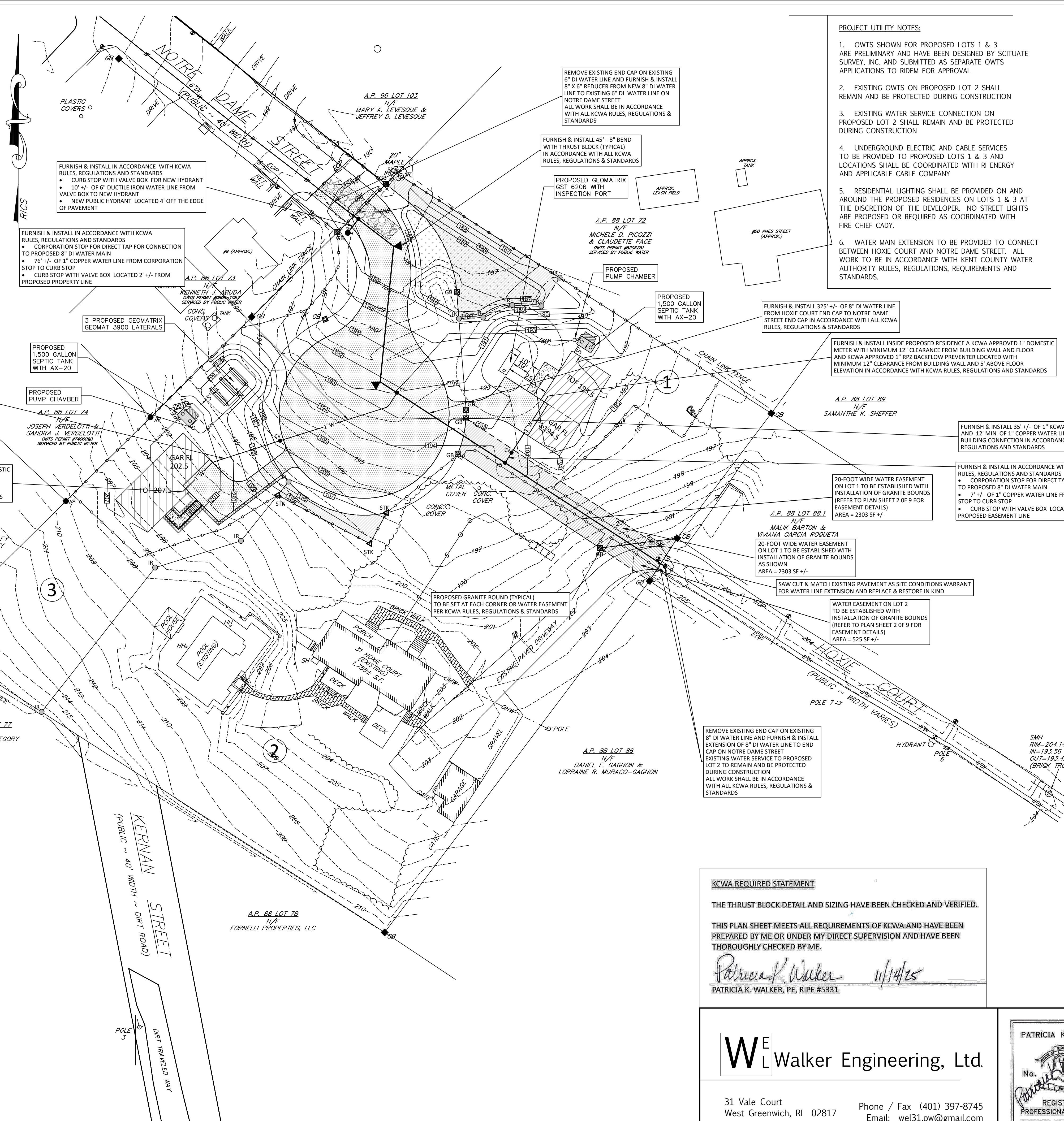
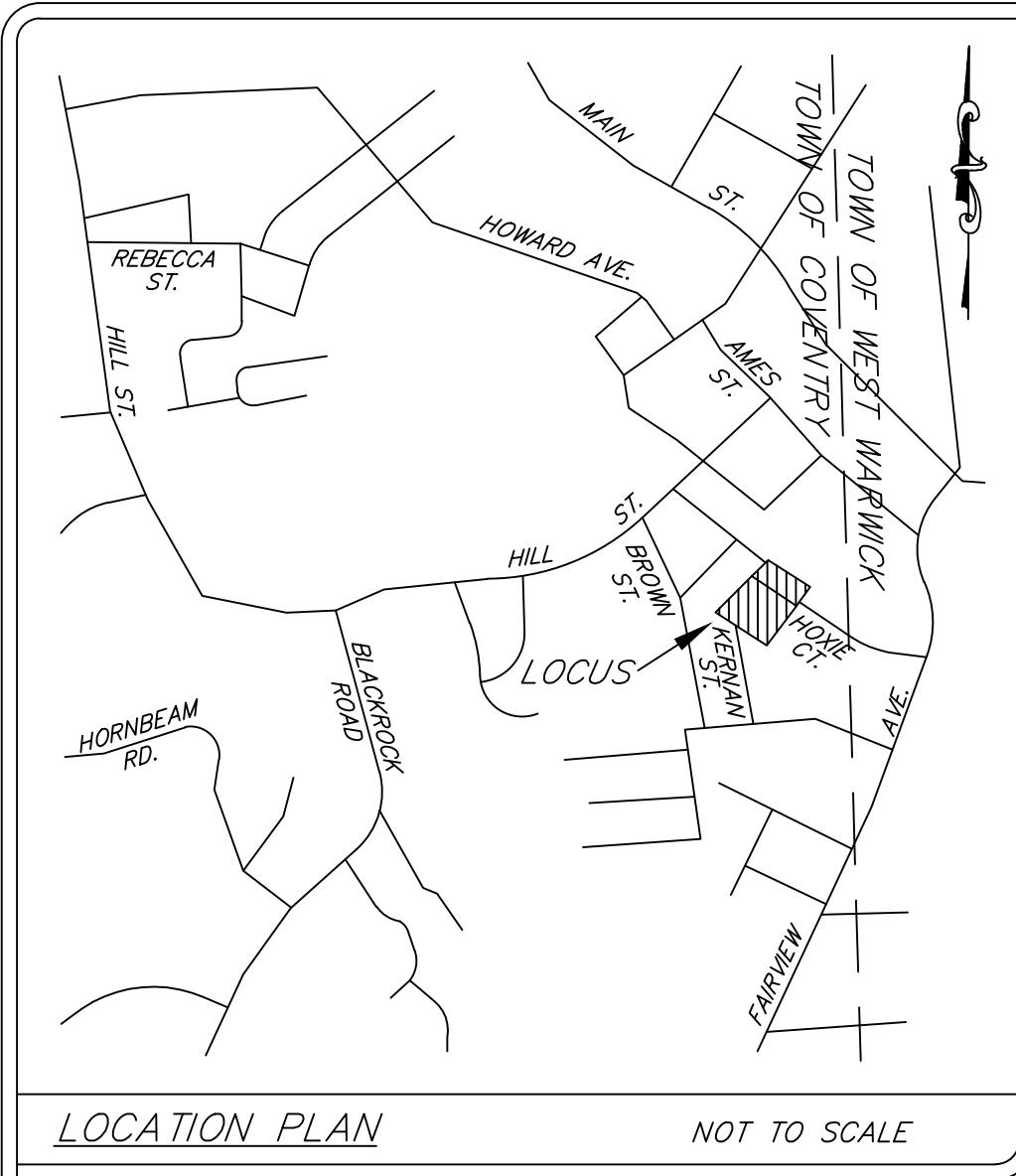
BROWN CO. ILLINOIS  
SURVEYOR

REDFERNS

DRAINAGE, GRADING, &  
EROSION CONTROL PLAN

HOXIE COURT PLACE

AP 88 / LOTS 87 & 88.2  
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET  
COVENTRY, RHODE ISLAND



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
◆ GB	GRANITE BOUND	□ GB
○ / R	IRON ROD	○ IR
○-	PUBLIC HYDRANT	● -
--- W ---	WATER LINE	W ---
	CURB STOP WITH GATE VALVE	● CV
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	THRUST BLOCK	◀
	LOT NO.	(3)
	PAVEMENT	[Dotted Pattern]
[Box]	BUILDING	[Hatched Pattern]
	CONCRETE WALK	[Dashed Pattern]
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--- S ---	SANITARY LINE	— SAN —

R STREET INDEX, FILE UNDER:  
HOXIE COURT  
KERNAN STREET  
NOTRE DAME STREET

SCOTTIA SURVEYS INC.

COVENTRY, RHODE ISLAND 02816  
410, TOOGUE AVENUE  
821 8101  
LAND SURVEYING / MAPPING / SITE PLANNING

440 ©SOCIATE SURVEYS, INC. COA NO. A30  
NET™ STAMP, THEN IT IS NOT AN AUTHORITATIVE VERSION

REVISION NO. 1  
NOVEMBER 14, 2025

1"=30'      DATE: NOVEMBER 14, 2025      REVISION:

SHEET  
5 OF 9

## UTILITIES PLAN

HOXIE COURT PLACE  
AP 88 / LOTS 87 & 88.2  
NOTRE DAME STREET & KERNAN STREET

COVENTRY, RHODE ISLAND

**W E**  
L Walker Engineering, Ltd.

31 Vale Court  
West Greenwich, RI 02817

Phone / Fax (401) 397-8745  
Email: wel31.pw@gmail.com

A rectangular stamp with a decorative border. The top half contains the name "PATRICIA K. WALKER". Below this is a circular emblem with a star in the center. The words "STATE OF RHODE ISLAND" are curved along the top of the emblem, and "PROFESSIONAL ENGINEER" are curved along the bottom. The registration number "5331" is to the right of the emblem. The bottom half of the stamp contains the text "REGISTERED PROFESSIONAL ENGINEER" and the date "11/14/25" handwritten in the bottom right corner. The entire stamp is signed "Patricia K. Walker" across the bottom.

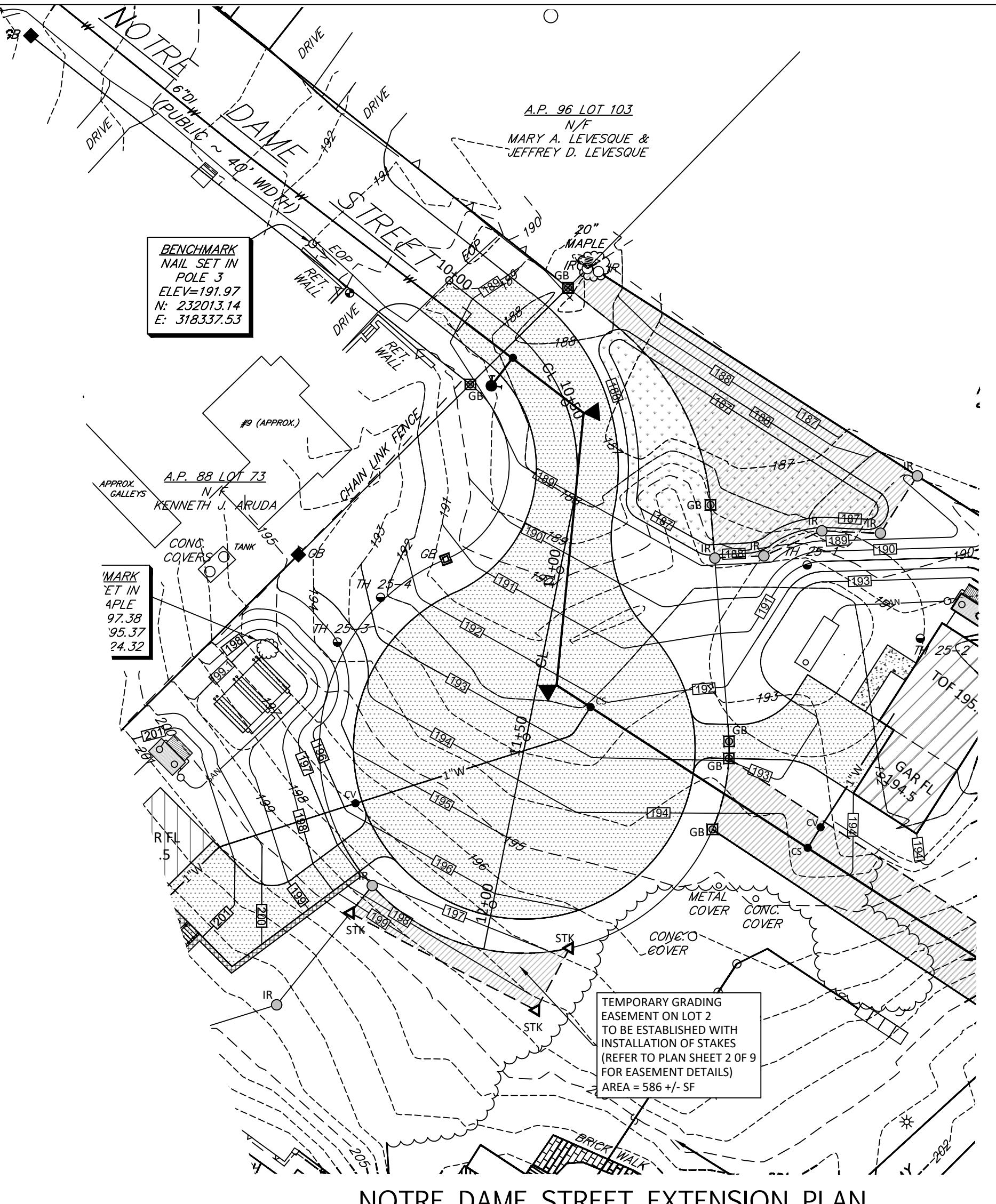
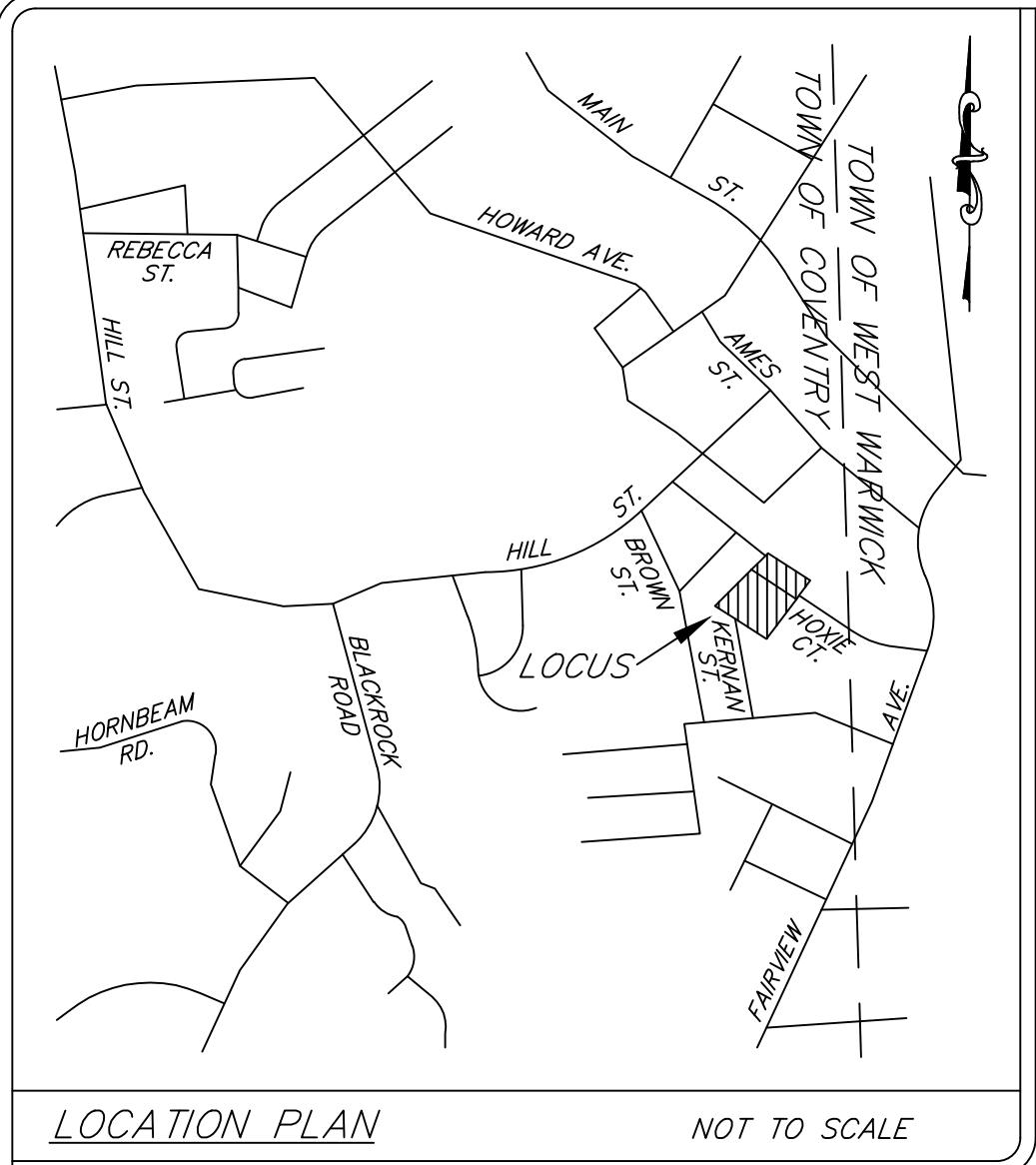
NER  
UCE B. GIBB & VICTORIA M. GIBB  
HOXIE COURT  
VENTRY, RI 02816

PLICANT  
G CONSTRUCTION  
T VICTORY HIGHWAY  
ST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT  
MIKI GASIOR  
MIKI@NBGCONSTRUCTION.COM  
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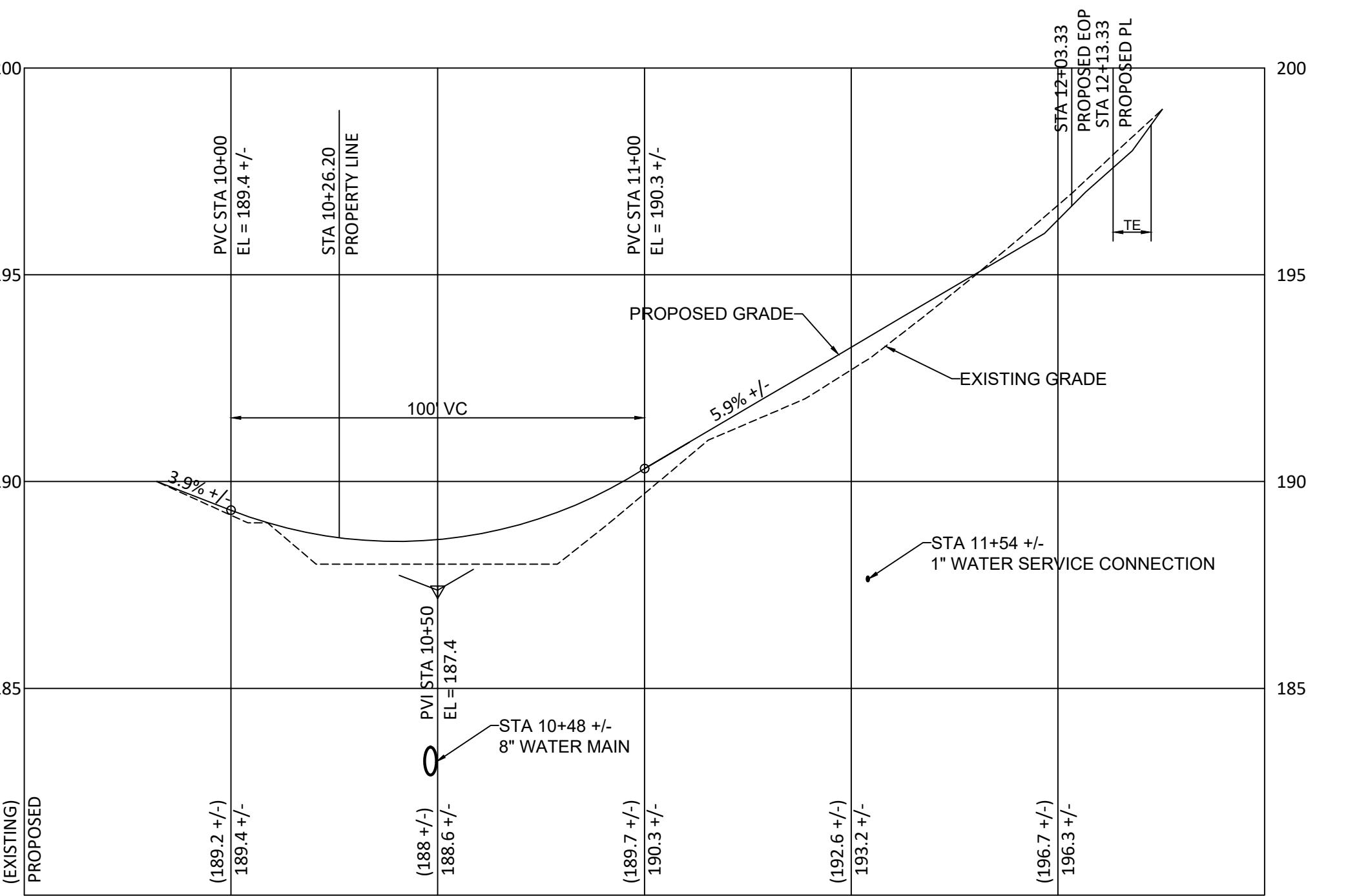
THOMAS P. CRONIN, ESQ.  
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10 MAIN STREET  
WENTWORTH, RI 02816  
@NDGRB.COM  
-828-5800

<p><b><u>KCWA REQUIRED STATEMENT</u></b></p> <p>THE THRUST BLOCK DETAIL AND SIZING HAVE BEEN CHECKED AND VERIFIED.</p> <p>THIS PLAN SHEET MEETS ALL REQUIREMENTS OF KCWA AND HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.</p> <p> Patricia K. Walker</p> <p>11/14/25</p> <p>PATRICIA K. WALKER, PE, RIPE #5331</p>
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# NOTRE DAME STREET EXTENSION PLAN

SCALE: 1" = 30'



# NOTRE DAME STREET EXTENSION PROFILE

SCALE: HORIZ 1" = 30'  
VERT 1" = 3'

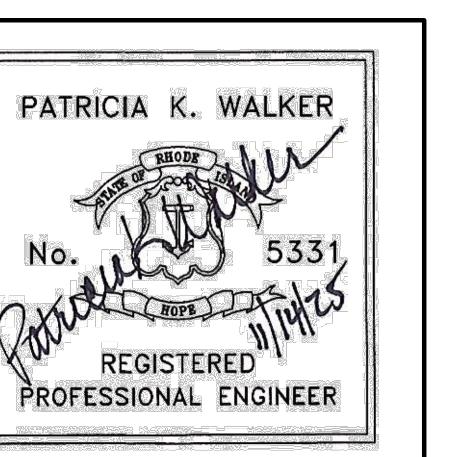
NOTE: WATER LINE IS NOT LOCATED  
ALONG ROADWAY CENTERLINE, ONLY  
WATER LINE CROSSINGS SHOWN

## ROADWAY CONSTRUCTION NOTES

ALL ROADWAY IMPROVEMENTS SHALL CONFORM TO THE TOWN OF COVENTRY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS APPLICABLE, INCLUDING BUT NOT LIMITED TO:

1. ARTICLE XIII - DEVELOPMENT DESIGN AND PUBLIC IMPROVEMENT STANDARDS INCLUDING:
  - A. ROADWAY EXTENSION SHALL BE A CONTINUATION OF NOTRE DAME STREET
  - B. STREET LIGHTING NOT REQUIRED BY CENTRAL COVENTRY FIRE DEPARTMENT PER COORDINATION EFFORTS
  - C. NO STREET NAME OR TRAFFIC SIGNS ARE REQUIRED FOR NOTRE DAME STREET EXTENSION
  - D. STREET TREES AND OTHER LANDSCAPING MEASURES SHALL BE INSTALLED PER TOWN REQUIREMENTS BY THE DEVELOPER
  - E. MONUMENTATION SHALL BE INSTALLED PER TOWN REQUIREMENTS PER TOWN REQUIREMENTS BY THE DEVELOPER AS LOCATED BY THE PROJECT LAND SURVEYOR
  - F. NO SIDEWALKS ARE REQUIRED PER PRE-APPLICATION REVIEW
  - G. NO BICYCLE PATHS ARE PROPOSED
  - H. NO CURBING IS PROPOSED AS PART OF THE PROJECT
    - I. EASEMENTS ARE PROPOSED AS FOLLOWS
      - KCWA EASEMENTS FOR THE WATER MAIN INSTALLATION CONNECTION FROM HOXIE COURT TO NOTRE DAME STREET
      - TEMPORARY GRADING EASEMENT
      - TOWN DRAINAGE EASEMENT FOR INSTALLATION AND MAINTENANCE OF THE INFILTRATION BASIN
    - J. DRAINAGE HAS BEEN DESIGNED UTILIZING THE TR-55 METHODOLOGY TO ENSURE THE EXISTING DRAINAGE PATTERN IS MAINTAINED AND THAT NO INCREASE IN RUNOFF RATE OR VOLUME RESULTS FROM THE PROPOSED IMPROVEMENTS
    - K. UNDERGROUND ELECTRIC AND CABLE SERVICE SHALL BE INSTALLED AS COORDINATED WITH RI ENERGY AND THE APPLICABLE CABLE COMPANY
    - L. WATER LINE EXTENSION AND PROPOSED SERVICES, AND THE PROVISION OF A PUBLIC HYDRANT SHALL BE INSTALLED AS APPROVED BY KCWA
    - M. NO PUBLIC GAS IS AVAILABLE TO THE PROJECT AREA
    - N. PUBLIC HYDRANT IS PROPOSED NEAR THE NOTRE DAME STREET EXTENSION AS REQUIRED BY THE CENTRAL COVENTRY FIRE DEPARTMENT AS COORDINATED
    - O. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL A STABLE GROUND COVER SURFACE IS ESTABLISHED AS APPROVED BY THE TOWN ENGINEER AND IN ACCORDANCE WITH THE TOWN'S REQUIRED PERMIT
  2. ARTICLE XIV - SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS INCLUDING:
    - A. ALL ROADWAY CONSTRUCTION ELEMENTS SHALL BE APPROVED BY THE TOWN ENGINEER AND DIRECTOR OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION
    - B. UPON COMPLETION OF ALL REQUIRED IMPROVEMENTS, THE DEVELOPER SHALL FURNISH AS-BUILT DRAWINGS OF SUCH IMPROVEMENTS PREPARED BY A REGISTERED LAND SURVEYOR IN ACCORDANCE WITH ALL TOWN REQUIREMENTS.
    - C. THE ENTIRE RIGHT-OF-WAY AREA SHALL BE CLEARED AND GRUBBED. ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE SUBDIVISION
    - D. EARTH EXCAVATION SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OF CLAY, SAND, SUBSOIL, PEAT, LOAM, AND OTHER UNACCEPTABLE MATERIALS WITHIN THE LIMITS OF THE ROADWAY, DRAINAGE OR OTHER EXCAVATION. THE BACKFILLING OF ALL STUMP HOLES AND OTHER SURFACE IRREGULARITIES WILL BE FILLED WITH BANK RUN GRAVEL. ALL EXCAVATIONS SHALL BE TO A DEPTH AND CROSS-SECTION AS SHOWN ON THE APPROVED PLANS, PROFILES, AND CROSS-SECTION DRAWINGS, AND AS DIRECTED BY THE TOWN ENGINEER.
    - E. ROCK AND LEDGE EXCAVATION SHALL BE TO A DEPTH AT LEAST TWELVE (12) INCHES BELOW SUBGRADE.
    - F. WHERE GROUND WATER IS ENCOUNTERED ADEQUATE DRAINAGE SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE TOWN ENGINEER.
    - G. MATERIALS.
      - PREPARATION OF SUB-BASE. ALL CURBING, UNDERGROUND SEWER AND WATER LINES, UTILITIES, LATERALS, SERVICE LINES AND RELATED FACILITIES SHALL BE INSTALLED PRIOR TO ANY STREET CONSTRUCTION. TRENCH BACKFILL MUST CONSIST OF CLEAN GRAVEL BORROW, COMPACTED TO OPTIMUM DENSITY IN SIX (6) INCH LIFTS. AT LEAST THIRTY (30) DAYS FOLLOWING FILLING AND, COMPACTION OF ALL UTILITY TRENCHES, THE SUBBASE SHALL BE THOROUGHLY COMPACTED WITH A TEN-TON ROLLER OR ITS EQUIVALENT, TRUE TO THE LINES, GRADES AND CROSS-SECTIONS SHOWN ON THE APPROVED DRAWINGS.
      - BASE COURSE. THIS SHALL CONSIST OF BANK RUN GRAVEL, OF A QUALITY ACCEPTABLE TO THE TOWN ENGINEER, WITH NO STONES GREATER THAN 6". AFTER THE SUBBASE HAS BEEN PROPERLY PREPARED, THE BASE COURSE OF BANK RUN GRAVEL SHALL BE SPREAD FOR THE FULL WIDTH AND IN SUCH VOLUME AS TO PROVIDE AN EIGHT-INCH CROSS-SECTION AFTER COMPACTION WITH A TEN-TON ROLLER.
      - BASE COURSE SURFACE. THIS SHALL CONSIST OF PROCESSED GRAVEL OF A QUALITY ACCEPTABLE TO THE TOWN ENGINEER AND MEETING RIDOT STANDARD M.01.09, WITH NO STONES GREATER THAN 1 ½". FOLLOWING THOROUGH COMPACTION OF THE BASE COURSE, CRUSHED BANK RUN GRAVEL SHALL BE SPREAD FOR THE FULL WIDTH TO A DEPTH OF FOUR (4) INCHES AFTER COMPACTION WITH A TEN-TON ROLLER.
      - ASPHALT BINDER COURSE. THIS SHALL CONSIST OF BITUMINOUS PAVEMENT (HOT MIX), BINDER COURSE MEETING R.I. DEPARTMENT OF TRANSPORTATION STANDARD M.03. THE BITUMINOUS PAVEMENT (HOT MIX), BINDER COURSE SHALL BE APPLIED AT A TEMPERATURE OF TWO HUNDRED FIFTY (250) TO THREE HUNDRED FIFTY (350) DEGREES FAHRENHEIT BY MEANS OF A SELF PROPELLED PAVER. SUCH MATERIAL SHALL BE PLACED IN SUFFICIENT QUANTITY TO PROVIDE A MINIMUM COMPACTED CROSS-SECTION OF ONE AND ONE-HALF (1 ½) INCHES. THE BINDER COURSE SHALL BE COMPACTED WITH A TEN-TON ROLLER EQUIPPED WITH A SPRINKLER SYSTEM TO WET THE WHEELS. COMPACTION SHALL BE IN ACCORDANCE WITH RIDOT SPECIFICATION 401.03.11.
      - SURFACE COURSE. THIS SHALL CONSIST OF BITUMINOUS PAVEMENT (HOT MIX), MEDIUM TEXTURE, TYPE I-1, MEETING R.I. DEPARTMENT OF TRANSPORTATION STANDARDS. THE ASPHALT BINDER SHALL BE SWEPT CLEAN OF ALL SAND, AND DEBRIS PROTRUSION SHALL BE REMOVED, AND ANY HOLES, RIPPLES OR UNEVENNESS IN THE SURFACE SHALL BE BROUGHT BACK TO TRUE LINE AND CROSS-SECTION BY THE SPOT APPLICATION AND PROPER COMPACTION OF CLASS I MIX. THE BITUMINOUS PAVEMENT (HOT MIX), TYPE I-1, SHALL BE APPLIED AT A TEMPERATURE OF THREE HUNDRED TEN (310) TO THREE HUNDRED FIFTY DEGREES FAHRENHEIT BY MEANS OF A SELF PROPELLED PAVER WITH A COMPACTOR. SUCH MATERIAL SHALL BE PLACED IN SUFFICIENT QUANTITY TO PROVIDE A MINIMUM COMPACTED CROSS-SECTION OF ONE AND ONE-HALF (1 ½) INCHES. THE SURFACE COURSE SHALL BE COMPACTED WITH A TEN-TON ROLLER EQUIPPED WITH A SPRINKLER SYSTEM TO WET THE WHEELS. COMPACTION SHALL BE IN ACCORDANCE WITH RIDOT SPECIFICATION 401.03.11. TRAFFIC PASSING OVER CONSTRUCTED STREETS SHALL BE LIMITED TO WHEELED VEHICLES, AND TRACKED EQUIPMENT SHALL NOT BE PERMITTED OVER PAVED STREETS, CURBS, AND SIDEWALKS. THE DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY VIOLATION OF THIS REQUIREMENT WITHIN THE SUBDIVISION AND WILL REPAIR TO THE SATISFACTION OF THE TOWN ENGINEER. BITUMINOUS MATERIAL SHALL NOT BE PLACED ON ANY WET SURFACE OR WHEN THE TEMPERATURE OF THE AIR IS LESS THAN THIRTY-EIGHT (38) DEGREES FAHRENHEIT, OR ANY OTHER UNFAVORABLE WEATHER CONDITIONS AS MAY BE DETERMINED BY THE TOWN ENGINEER.
      - ALL DRIVEWAY APRONS SHALL BE PAVED TO THE RIGHT OF WAY LINE, AS SPECIFIED IN B. 6. STREET CONSTRUCTION.
      - THE DEVELOPER SHALL, AT ALL TIMES DURING CONSTRUCTION, MAINTAIN THE SUBDIVISION ROADS IN PASSABLE CONDITION, AND SHALL TAKE APPROPRIATE MEASURES TO ELIMINATE THE CREATION OF A DUST NUISANCE DURING CONSTRUCTION. THIS MAY REQUIRE THE FREQUENT APPLICATION OF CALCIUM CHLORIDE. NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED UNTIL THE ASPHALT BINDER HAS BEEN PLACED.
      - EARTHWORK AND DRAINAGE. ALL NECESSARY SURFACE AND SUBSURFACE STORM DRAINAGE STRUCTURES AND FACILITIES SHALL CONFORM TO THE STANDARD DETAILS FOR ROAD AND BRIDGE CONSTRUCTION, PUBLISHED BY THE STATE OF RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES, CURRENT EDITION.
      - THE ROADWAY CROSS SECTION SHALL FOLLOW THE GRADING AS SHOWN. THE ROADWAY SHALL HAVE A REVERSE CROWN OF 2% TO DIRECT RUNOFF TO THE PROPOSED INFILTRATION BASIN TO FOLLOW THE EXISTING DRAINAGE PATTERN.

31 Vale Court  
West Greenwich RI 02817



NOTRE DAME STREET EXTENSION  
PLAN & PROFILE  
HOXIE COURT PLACE  
AD 32 / 1976 27 3 202

AP 88 / LOIS 8/ & 88.2  
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET  
COVENTRY, RHODE ISLAND

<u>TYPE OF BOUNDARY SURVEY</u> COMPREHENSIVE BOUNDARY SURVEY	<u>MEASUREMENT SPECIFICATION</u> CLASS I	<u>SCAL</u>
<u>TYPE OF SURVEY-OTHER</u> DATA ACCUMULATION SURVEY	<u>MEASUREMENT SPECIFICATION</u> CLASS III	
<p><u>STATEMENT OF PURPOSE</u>  <u>THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AND TO SHOW</u>  <u>A PROPOSED MINOR SUBDIVISION.</u></p>		
<p>By:   <u>JULIE M. RAINONDI, PROFESSIONAL LAND SURVEYOR NO. 2340</u>  <u>©SITUATE SURVEYS, INC. COA NO. A30</u>  <u>IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "WET" STAMP, THEN IT IS NOT AN AUTHORITATIVE VERSION.</u></p>		

JULIE MICHELLE RAYMOND

2540

No. 123456789

PROFESSIONAL  
LAND SURVEYOR

**PLAN & PROFILE**

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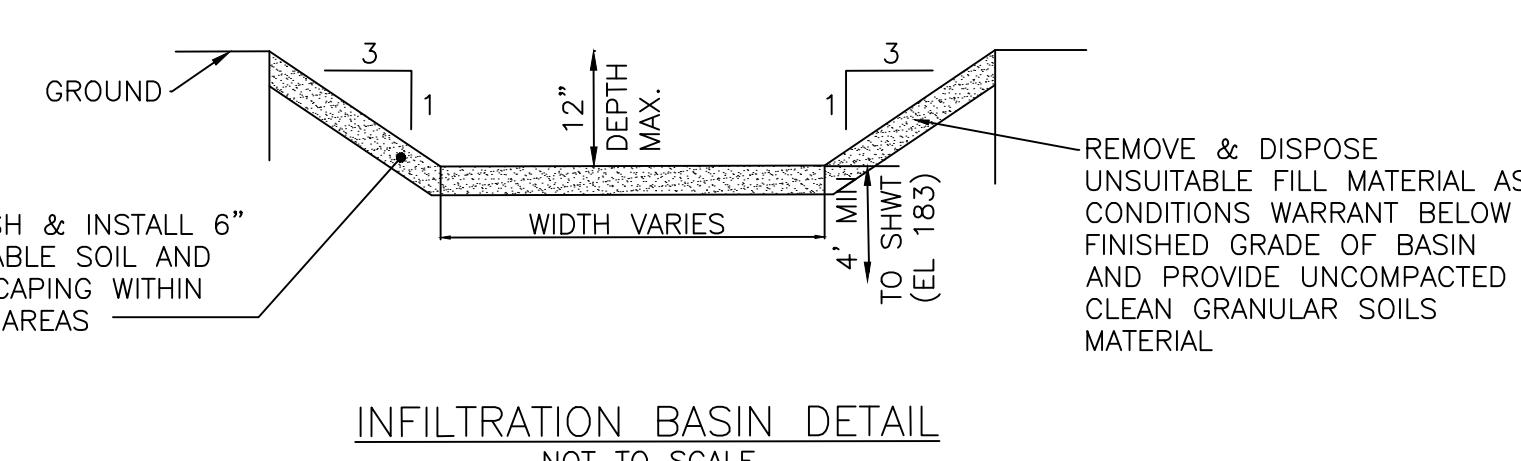
**HOXIE COURT PLACE**

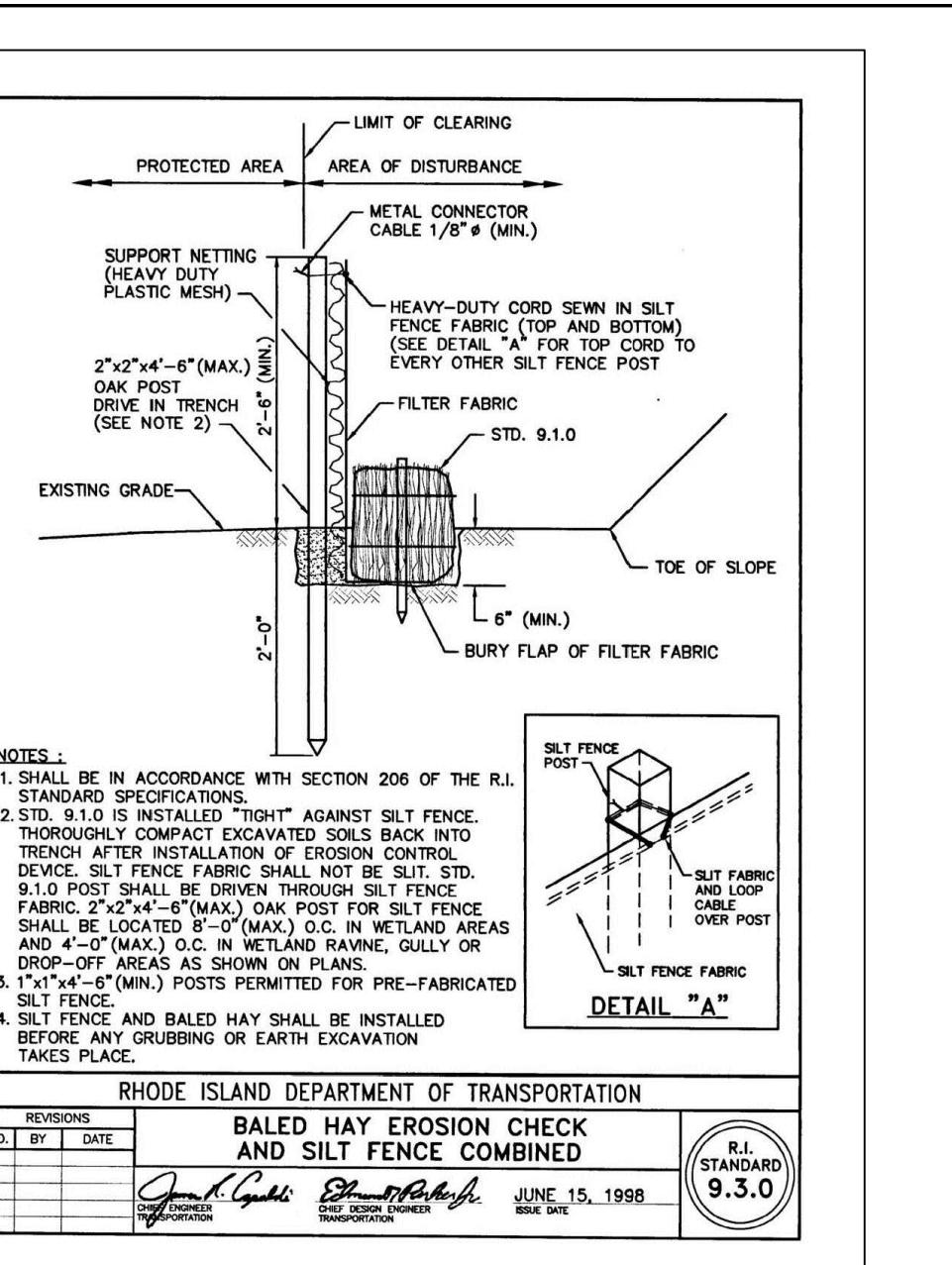
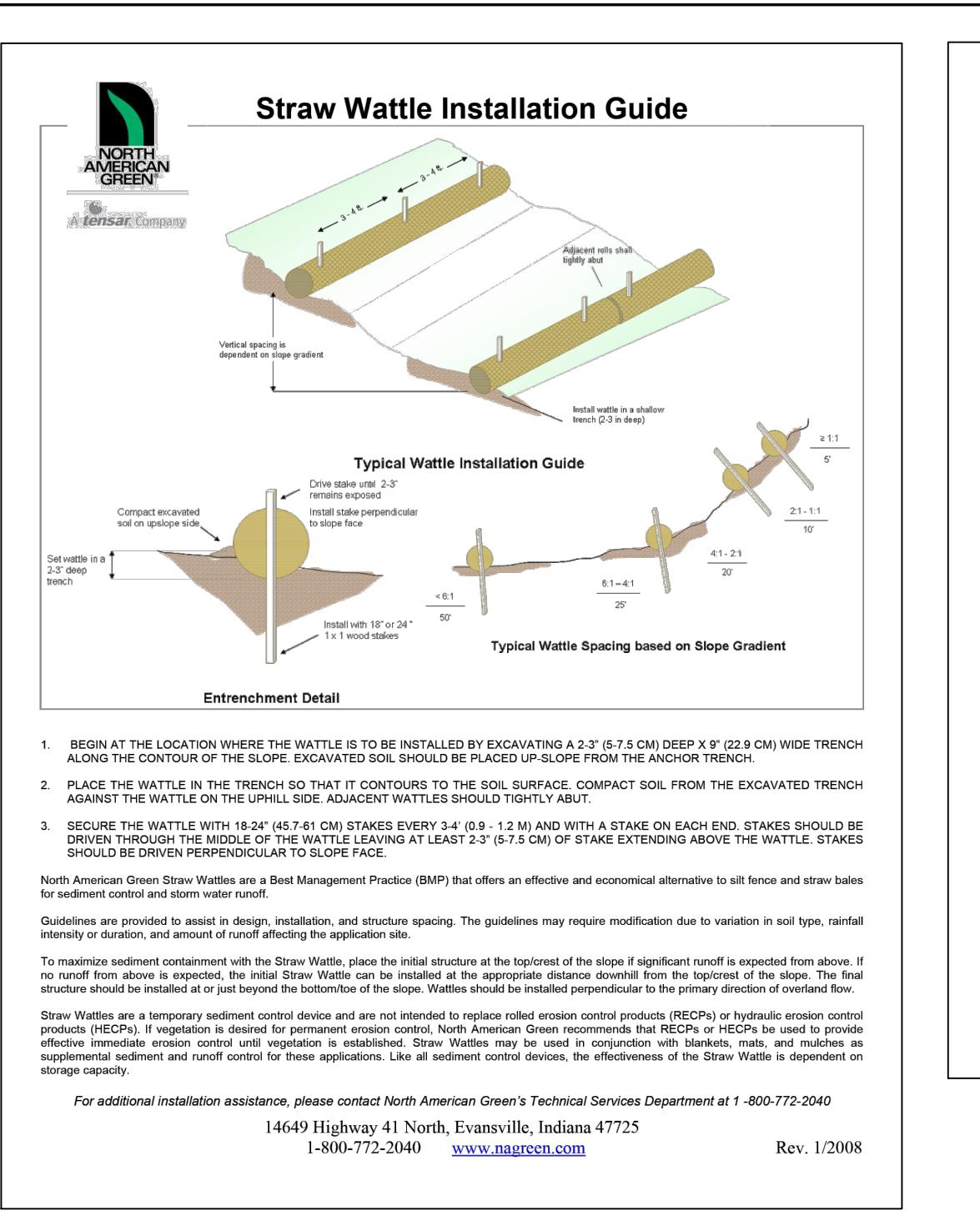
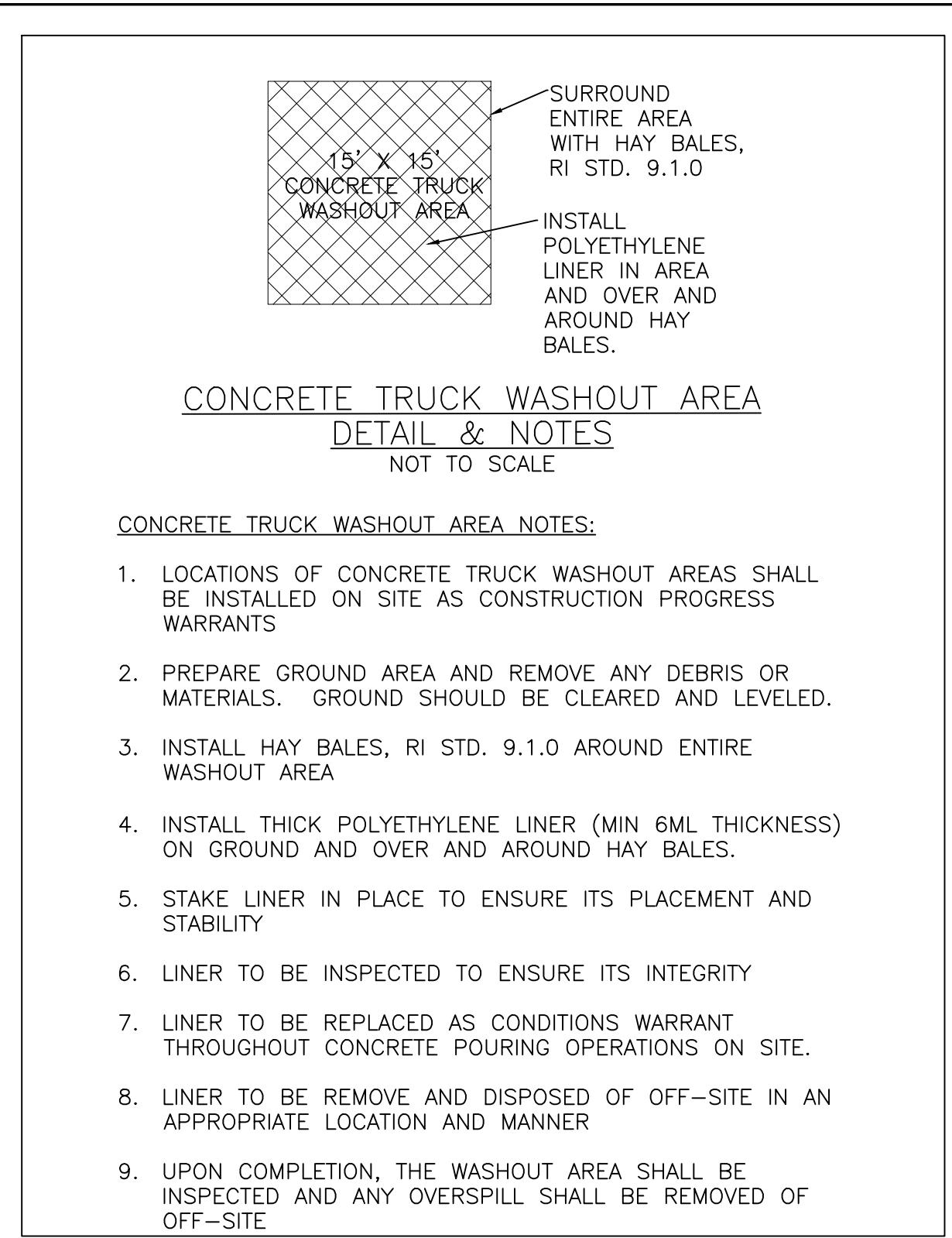
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AP 88 / LOTS 87 & 88.2

HOXIE COURT, NOTRE DAME STREET & KERNAN STREET  
COVENTRY, RHODE ISLAND

WATER NOTES & DETAILS		HOXE COURT PLACE																																																																											
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<p><b>KCWA THRUST BLOCK</b></p> <p>KENT COUNTY WATER AUTHORITY 'proudly serving' NOT TO SCALE DATE: 3/2024</p>	<p><b>RESTRAINED PIPE LENGTHS FOR RESTRAINED FITTINGS</b></p> <table border="1"> <thead> <tr> <th>FITTING</th> <th>RESTRAINED LENGTH</th> </tr> </thead> <tbody> <tr><td>12" x 12" TEE</td><td>44" (ON BRANCH)</td></tr> <tr><td>12" x 10" TEE</td><td>34" (ON BRANCH)</td></tr> <tr><td>12" x 8" TEE</td><td>23"</td></tr> <tr><td>12" x 6" TEE</td><td>12"</td></tr> <tr><td>12" 90° BEND</td><td>24"</td></tr> <tr><td>12" 45° BEND</td><td>10"</td></tr> <tr><td>12" 11-1/2" BEND</td><td>5"</td></tr> <tr><td>12" x 6" REDUCER</td><td>29" (ON 12")</td></tr> <tr><td>12" x 4" REDUCER</td><td>40" (ON 12")</td></tr> <tr><td>12" x 4" REDUCER</td><td>48" (ON 12")</td></tr> <tr><td>8" DEAD END</td><td>39"</td></tr> <tr><td>8" x 8" TEE</td><td>28" (ON BRANCH)</td></tr> <tr><td>8" x 6" TEE</td><td>16" (ON BRANCH)</td></tr> <tr><td>8" 90° BEND</td><td>13"</td></tr> <tr><td>8" 45° BEND</td><td>7"</td></tr> <tr><td>8" 22-1/2" BEND</td><td>4"</td></tr> <tr><td>8" 11-1/4" BEND</td><td>2" (ON 8")</td></tr> <tr><td>8" 4" REDUCER</td><td>10" (ON 8")</td></tr> <tr><td>8" 4" REDUCER</td><td>20"</td></tr> <tr><td>8" DEAD END</td><td>39"</td></tr> <tr><td>8" x 8" TEE</td><td>19" (ON BRANCH)</td></tr> <tr><td>8" 90° BEND</td><td>13"</td></tr> <tr><td>8" 45° BEND</td><td>7"</td></tr> <tr><td>8" 22-1/2" BEND</td><td>4"</td></tr> <tr><td>8" 11-1/4" BEND</td><td>2" (ON 8")</td></tr> <tr><td>8" 4" REDUCER</td><td>10" (ON 8")</td></tr> <tr><td>6" 11-1/4" BEND</td><td>7"</td></tr> <tr><td>6" 4" REDUCER</td><td>12"</td></tr> <tr><td>6" DEAD END</td><td>39"</td></tr> <tr><td>6" x 6" TEE</td><td>19" (ON BRANCH)</td></tr> <tr><td>6" 90° BEND</td><td>13"</td></tr> <tr><td>6" 45° BEND</td><td>7"</td></tr> <tr><td>6" 22-1/2" BEND</td><td>4"</td></tr> <tr><td>6" 11-1/4" BEND</td><td>2" (ON 6")</td></tr> <tr><td>6" 4" REDUCER</td><td>12"</td></tr> </tbody> </table> <p>NOTES: 1. CONCRETE SHALL BE 4000 PSI # 28 DAYS. 2. THRUST BLOCKS SHALL BE RESTRAINED AGAINST UNDISTURBED EARTH. 3. FITTING TO BE USED ON ALL BENDS. 4. ALL BENDS AND TEE'S TO BE ACCESSIBLE. 5. REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF RHODE ISLAND SHALL APPROVE ALL DESIGN DURING DESIGN TO MEET CONDITIONS OF PROJECT. 6. IN LIEU OF Poured IN-PLACE CONCRETE THRUST BLOCKS, PRECAST CONCRETE THRUST BLOCKS, MINIMUM SIZE 2'x2'x2'. 7. IN ADDITION TO THRUST BLOCKS ALL FITTINGS SHALL HAVE MECHANICAL RESTRAINED JOINTS.</p>	FITTING	RESTRAINED LENGTH	12" x 12" TEE	44" (ON BRANCH)	12" x 10" TEE	34" (ON BRANCH)	12" x 8" TEE	23"	12" x 6" TEE	12"	12" 90° BEND	24"	12" 45° BEND	10"	12" 11-1/2" BEND	5"	12" x 6" REDUCER	29" (ON 12")	12" x 4" REDUCER	40" (ON 12")	12" x 4" REDUCER	48" (ON 12")	8" DEAD END	39"	8" x 8" TEE	28" (ON BRANCH)	8" x 6" TEE	16" (ON BRANCH)	8" 90° BEND	13"	8" 45° BEND	7"	8" 22-1/2" BEND	4"	8" 11-1/4" BEND	2" (ON 8")	8" 4" REDUCER	10" (ON 8")	8" 4" REDUCER	20"	8" DEAD END	39"	8" x 8" TEE	19" (ON BRANCH)	8" 90° BEND	13"	8" 45° BEND	7"	8" 22-1/2" BEND	4"	8" 11-1/4" BEND	2" (ON 8")	8" 4" REDUCER	10" (ON 8")	6" 11-1/4" BEND	7"	6" 4" REDUCER	12"	6" DEAD END	39"	6" x 6" TEE	19" (ON BRANCH)	6" 90° BEND	13"	6" 45° BEND	7"	6" 22-1/2" BEND	4"	6" 11-1/4" BEND	2" (ON 6")	6" 4" REDUCER	12"	<p><b>KCWA RESTRAINED PIPE LENGTHS</b></p> <p>KENT COUNTY WATER AUTHORITY 'proudly serving' NOT TO SCALE ASBUILTPRL(BWG)</p>	<p><b>KCWA AS-BUILT EXAMPLE FOR WATER MAINS</b></p> <p>KENT COUNTY WATER AUTHORITY 'proudly serving' NOT TO SCALE ASBUILTMRA(BWG)</p>	<p><b>KCWA REQUIRED STATEMENT</b></p> <p>THE THRUST BLOCK DETAIL AND SIZING HAVE BEEN CHECKED AND VERIFIED.</p> <p>THIS PLAN SHEET MEETS ALL REQUIREMENTS OF KCWA AND HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.</p> <p><i>Patricia K. Walker</i> 11/14/25</p> <p>PATRICIA K. WALKER, PE, RIPE #5331</p>	
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 <p><b>INFILTRATION BASIN DETAIL</b> NOT TO SCALE</p> <p><b>INFILTRATION VEGETATED BASIN INSTALLATION</b></p> <ol style="list-style-type: none"> <li>1. INSTALL SEDIMENT CONTROL DEVICES</li> <li>2. GRADE SITE TO ELEVATIONS SHOWN ON PLAN. INSTALL SAFETY FENCE AROUND CONSTRUCTION AREA OR EXCAVATION</li> <li>3. STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT FOR THE BASIN TO BE PLANTED. SURROUND THE BASIN WITH A BIOLOG, STRAW BALES OR COMPOST BERM TO KEEP SEDIMENT OUT OF THE BASIN.</li> <li>4. EXCAVATE BASIN AREA TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU MATERIALS. DO NOT LEAVE ANY OPEN AREAS OR PITS OPEN AT THE END OF THE DAY AND NO EXCAVATION OVER LOCAL JURISDICTION OR OSHA LIMITS.</li> <li>5. IF EXISTING SOIL IS NOT WELL-DRAINED PLANTING SOIL, REMOVE EXISTING SOIL TO DEPTH OF AT LEAST 3' OR TO WATER TABLE. FILL BOTTOM OF CELL WITH A 4-INCH THICK LAYER OF WASHED GRAVEL OR STONE.</li> <li>6. BACKFILL BASIN WITH PLANTING SOIL. FILL THE CELL WITH 8" LIFTS OF SOIL. SATURATE EACH LIFT AND LET IT DRAIN AND THEN PLACE THE NEXT LIFT. BE CAREFUL NOT TO COMPACT THE SOIL WITH EQUIPMENT AND OVER-SATURATE IT.</li> <li>7. PLANT VEGETATION.</li> <li>8. INSTALL EROSION PROTECTION AT ENTRANCE POINTS. REMOVE SEDIMENT CONTROL PRACTICES OR ENTRANCE BLOCKS WITH INSPECTOR AUTHORIZATION. LEAVE PERIMETER BIODEGRADABLE CONTROLS TO REDUCE SEDIMENT LOADS TO CELL UNTIL VEGETATION IS ESTABLISHED.</li> </ol> <p><b>GENERAL INFILTRATION BASIN AREAS NOTES</b></p> <ol style="list-style-type: none"> <li>1. ALL SIDE SLOPES OF THE BASIN AREA SHALL BE 3:1 (MAX.).</li> <li>2. BOTTOM OF BASIN SHALL HAVE A MINIMUM OF 6" PLANTABLE SOIL. ALL OTHER AREAS NOT RIP RAPPED SHALL HAVE A MINIMUM OF 4" PLANTABLE SOIL. REFERENCE LANDSCAPING NOTES &amp; DETAILS</li> <li>3. BASIN SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO OTHER CONSTRUCTION. TEMPORARY RUNOFF SHALL BE DIVERTED TO TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE LOCATED IN THE FIELD AS CONDITIONS WARRANT ON UPLAND AREAS OUTSIDE OF ANY PERIMETER AND RIVERBANK WETLAND AREAS.</li> <li>4. BASIN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL AND TOWN OF COVENTRY REQUIREMENTS.</li> </ol> <p><b>GENERAL INFILTRATION BASIN MAINTENANCE PLAN</b></p> <ol style="list-style-type: none"> <li>1. THE GRASS WITHIN THE BASIN SHALL BE MOVED A MINIMUM OF THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOVED HEIGHT OF THE VEGETATION SHALL NOT BE LESS THAN TWO (2) INCHES.</li> <li>2. ACCUMULATED SILT AND DEBRIS SHALL BE REMOVED FROM THE BASINS A MINIMUM OF THREE (3) TIMES PER YEAR, PREFERABLY AT THE TIME OF MOWING.</li> <li>3. AT THE TIME OF MOWING, ANY AREAS THAT SHOW SIGNS OF EROSION SHALL BE RESEED IMMEDIATELY.</li> <li>4. DURING THE FIRST YEAR, WEEKLY MONITORING OF THE BASINS SHALL OCCUR AND MAINTENANCE PERFORMED AT THAT TIME AS MAY BE REQUIRED BY CONDITIONS.</li> <li>5. ACCUMULATED SILT AND DEBRIS SHALL BE REMOVED FROM THE BASIN AS NECESSARY TO ENSURE PROPER BASIN FUNCTIONING.</li> <li>6. ALL LONG TERM CARE AND MAINTENANCE OF THE BASIN SHALL BE IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF COVENTRY REQUIREMENTS.</li> </ol> <p><b>DRAINAGE NOTES DURING CONSTRUCTION</b></p> <ol style="list-style-type: none"> <li>1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.</li> <li>2. DRAINAGE DESIGNED FOR A 100 YEAR, 24 HOUR STORM EVENT FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND AND TOWN OF COVENTRY REQUIREMENTS.</li> <li>3. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF COVENTRY REQUIREMENTS.</li> <li>4. THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.</li> <li>5. ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.</li> <li>6. NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.</li> <li>7. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAVED AND RESEED IMMEDIATELY.</li> <li>8. AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.</li> <li>9. THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.</li> <li>10. MAINTENANCE OF THE SYSTEM SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTED TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.</li> <li>11. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAVED AND RESEED IMMEDIATELY.</li> </ol>	<p><b>GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION &amp; MAINTENANCE PLAN</b></p> <p>THE STORMWATER MANAGEMENT SYSTEM OPERATION &amp; MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED HOXIE COURT PLACE LOCATED ON AP 88, LOTS 87 &amp; 88.2</p> <p><b>RESPONSIBLE PARTY FOR MAINTENANCE</b></p> <ul style="list-style-type: none"> <li>• THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL COMPLETELY CONSTRUCTED.</li> <li>• THE TOWN OF COVENTRY SHALL ASSUME ALL RESPONSIBILITY FOR MAINTENANCE ONCE CONSTRUCTION IS COMPLETED PER RECORDED DRAINAGE EASEMENT</li> </ul> <p><b>DURING CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>• PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.</li> <li>• DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR AS APPLICABLE.</li> <li>• PREPARATION OF THE AREA FOR THE INFILTRATION BASIN SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.</li> <li>• CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE BASIN AREA DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.</li> </ul> <p><b>DESCRIPTION OF ANNUAL MAINTENANCE TASKS</b></p> <p><b>YARD / LAWN AREA</b></p> <ul style="list-style-type: none"> <li>• THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE RESIDENCES AND THEIR ASSOCIATED AMENITIES.</li> <li>• THE INFILTRATION BASIN SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE. SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE BASIN.</li> <li>• ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.</li> <li>• MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.</li> </ul> <p><b>DESCRIPTION OF APPLICABLE EASEMENTS</b></p> <p>RECORDED DRAINAGE EASEMENT IS PROVIDED AS REQUIRED TO PERFORM ANNUAL MAINTENANCE OF THE INFILTRATION BASIN BY THE TOWN OF COVENTRY.</p> <p><b>DESCRIPTION OF FUNDING SOURCES</b></p> <p>THE TOWN OF COVENTRY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM AND AS SUCH, THE TOWN'S FUNDS SHALL BE USED AS REQUIRED.</p> <p><b>MINIMUM VEGETATIVE COVER REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li>• THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.</li> <li>• ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.</li> </ul> <p><b>ACCESS &amp; SAFETY ISSUES</b></p> <ul style="list-style-type: none"> <li>• THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.</li> </ul> <p><b>POLLUTION PREVENTION MEASURES</b></p> <ul style="list-style-type: none"> <li>• ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.</li> <li>• NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE INFILTRATION BASIN.</li> </ul> <p><b>GENERAL LANDSCAPE NOTES</b></p> <p>SPECIFIC LANDSCAPING DESIGN AND NOTES SHALL SUPERCEDE ANY INFORMATION CONTAINED BELOW</p> <ol style="list-style-type: none"> <li>1. THE CONTRACTOR SHALL LAY OUT ALL WORK. THE CONTRACTOR SHALL STAKE OUT ALL LOCATIONS OF RELATED SITE IMPROVEMENTS FOR APPROVAL BY THE ENGINEER OR SITE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE ALIGNMENT, GRADE, ETC. AS DIRECTED IN THE FIELD AS WARRANTED.</li> <li>2. ALL WORK SHALL BE BASED UPON THE USE OF SPECIFIC MATERIALS AS INDICATED ON THE PLANS OR AS MAY BE REQUIRED BY LOCAL AND STATE PLANTING MEASURES. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND/OR DEVELOPER.</li> <li>3. ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS SHALL CARRY A ONE (1) YEAR GUARANTEE. ALL PLANT MATERIAL SHALL MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AS TO GRADING AND QUALITY.</li> <li>4. MULCH ALL PLANTINGS (EXCLUDING GROUNDCOVER AND PERENNIAL BEDS) WITH 3" DARK BROWN, FINE SHREDDED PINE BARK MULCH. GROUNDCOVER AND PERENNIAL BEDS SHALL BE PREPARED TO A DEPTH OF 12" MINIMUM WITH A LOAM/COMPOST MIX.</li> <li>5. ALL LAWN AREAS SHALL BE PREPARED TO A DEPTH OF 6" (MIN.) WITH SCREENED LOAM.</li> <li>6. ALL WORK SHALL BE EXECUTED IN A THOROUGH AND WORKMANLIKE MANNER IN ACCORDANCE TO STATE AND LOCAL CODES TO THE SATISFACTION OF THE OWNER.</li> <li>7. SEEDING SHALL BE DONE IN ACCORDANCE WITH SECTION L02.03 OF THE RI STANDARD SPECIFICATIONS AND ONLY DURING THE FOLLOWING DATES:</li> <ul style="list-style-type: none"> <li>MARCH 15 - MAY 31</li> <li>AUGUST 15 - OCTOBER 15</li> </ul> <li>8. LAWN SEED MIX: <ul style="list-style-type: none"> <li>• LESCO PARK ATHLETIC MIX OR EQUAL:</li> <li>• 32.89% SHAMROCK KENTUCKY BLUEGRASS</li> <li>• 32.65% CREEPING RED FESCUE</li> <li>• 32.38% LAREDO PERENNIAL RYEGRASS</li> <li>• APPLY AT A RATE OF 200 LBS./ACRE</li> </ul> </li> </ol> <p><b>ORDER OF PROCEDURE</b></p> <ol style="list-style-type: none"> <li>1. PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR. SAID FLAGGING SHALL BE TEMPORARY, HIGH-VISIBILITY MARKINGS.</li> <li>2. PRIOR TO COMMENCING OPERATIONS, EROSION CONTROLS SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS AND WETLAND AREAS.</li> <li>3. ALL SEDIMENTATION BARRIERS SHALL BE PROPERLY INSTALLED, AS APPLICABLE AND AS SHOWN ON THE PLANS AND AS MAY BE REQUIRED IN THE FIELD.</li> <li>4. A CONTINUOUS SEDIMENTATION BARRIER SHALL BE INSTALLED WITHIN THE APPROVED LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS PRIOR TO ANY SITE GRADING OR SOIL DISTURBANCE ACTIVITIES.</li> <li>5. PRIOR TO GENERAL BUILDING CONSTRUCTION, TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS MAY BE REQUIRED TO RECEIVE AND CONTAIN CONSTRUCTION-PHASE STORMWATER RUNOFF. SAID SEDIMENTATION BASINS SHALL BE CONSTRUCTED OUTSIDE OF ANY WETLAND OR ASSOCIATED PERIMETERS AS SITE CONDITIONS WARRANT.</li> <li>6. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.</li> <li>7. DURING CONSTRUCTION PHASE, SITE STABILIZATION ACTIVITIES INCLUDING SEEDING AND EROSION &amp; SEDIMENTATION CONTROL REPLACEMENT SHALL BE INITIATED ON SEPTEMBER 1 OF THE YEAR IN PREPARATION FOR SITE OVER WINTER PERIOD.</li> <li>8. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.</li> <li>9. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.</li> <li>10. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.</li> <li>11. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.</li> </ol> <p><b>PHASING AND GENERAL CONSTRUCTION SEQUENCE</b></p> <p>IN ORDER TO FURTHER MINIMIZE SEDIMENT LOSS ON THE SITE, A GENERAL CONSTRUCTION SEQUENCE PLAN HAS BEEN DEVELOPED.</p> <ol style="list-style-type: none"> <li>1. PRIOR TO CONDUCTING WORK ASSOCIATED WITH THIS PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL COPIES OF PERMIT APPLICATIONS AND APPROVALS THAT OUTLINE CONDITIONS GOVERNING THE PROPOSED WORK. THE CONTRACTOR WILL ALSO REVIEW THE DRAWINGS PREPARED FOR THE PROJECT.</li> <li>2. THE CONTRACTOR WILL PLACE ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IN ACCORDANCE WITH THE DRAWINGS, OR AS MAY BE DIRECTED BY SITE CONDITIONS, IN ORDER TO MAINTAIN THE INTENT OF THE SPECIFICATIONS AND PERMITS. DEFICIENCIES OR CHANGES ON THE DRAWINGS SHALL BE CORRECTED OR IMPLEMENTED AS SITE CONDITIONS CHANGE. CHANGES DURING CONSTRUCTION SHALL BE NOTED AND POSTED ON THE DRAWINGS (SITE PLANS).</li> <li>3. THE INTENT IS TO DIRECT ALL WATER FROM DISTURBED AREAS THROUGH A SEDIMENTATION CONTROL PRIOR TO DISCHARGING TO RECEIVING DRAINAGE AREAS OR TO OFF-SITE WETLANDS. THERE SHALL BE NO DISCHARGE OF UNTREATED CONSTRUCTION RUNOFF FROM THIS SITE. THE CONTRACTOR SHALL CREATE SUFFICIENT HOLDING CAPACITY WITHIN THE TEMPORARY SEDIMENTATION BASINS TO HOLD ALL UNTREATED SITE RUNOFF.</li> <li>4. THE CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROL SYSTEMS AS DIRECTED BY SITE CONDITIONS, INDICATED IN THE CONSTRUCTION DOCUMENTS, OR AS DIRECTED BY GOVERNING AUTHORITIES OR OWNER TO CONTROL SEDIMENT UNTIL FINAL STABILIZATION.</li> <li>5. THE CONTRACTOR SHALL RESPOND TO ANY MAINTENANCE OR ADDITIONAL WORK ORDERED BY OWNER OR GOVERNING AUTHORITIES IMMEDIATELY IF REQUIRED, AND ALWAYS WITHIN 7 DAYS.</li> <li>6. THE CONTRACTOR SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES, PERMANENT SLOPE STABILIZATION, AND VEGETATION INTO THE PROJECT PLANS AT THE EARLIEST PRACTICAL TIME TO MINIMIZE THE NEED FOR TEMPORARY CONTROLS.</li> <li>7. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITHIN 7 CALENDAR DAYS. IN THE EVENT THAT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES MUST BE STABILIZED WITH GEOTEXTILE FABRIC OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.</li> </ol> <p><b>GENERAL OPERATION AND MAINTENANCE PLAN</b></p> <p><b>ON-GOING O&amp;M PLAN</b></p> <ol style="list-style-type: none"> <li>1. PERIODIC INSPECTIONS OF THE LANDSCAPING AND SITE IMPROVEMENTS SHALL BE MADE BY THE RESPONSIBLE MAINTENANCE ENTITY.</li> <li>2. ACCUMULATIONS OF TRASH, LEAVES, BRANCHES, SEDIMENT, OR ANY MATERIAL WHICH IS INTERFERING WITH THE INFILTRATION OF WATER SHALL BE REMOVED.</li> </ol> <p><b>VEGETATION MAINTENANCE PLAN</b></p> <ol style="list-style-type: none"> <li>1. VEGETATION THROUGHOUT THE SITE, SHALL BE MOVED AND MAINTAINED PERIODICALLY AS NEEDED.</li> </ol> <p><b>TREATMENT OF EXISTING CONDITIONS</b></p> <ol style="list-style-type: none"> <li>1. EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE.</li> <li>2. VEGETATION SHALL BE SUPPLEMENTED BY PROPOSED LANDSCAPING TO ENSURE ADEQUATE SCREENING BUFFERS AND REQUIRED LANDSCAPING ELEMENTS ARE PROVIDED IN ACCORDANCE WITH TOWN OF COVENTRY REQUIREMENTS.</li> </ol> <p><b>LIMITS OF DISTURBANCE NOTES:</b></p> <ol style="list-style-type: none"> <li>1. PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.</li> <li>2. THE CONTINUOUS LINE OF EROSION CONTROLS SHALL BE LOCATED WITHIN THE LOD AS SITE CONDITIONS WARRANT AND AS SHOWN ON THE PLANS ON THE DOWNSHILL SIDE OF THE LOD. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS SITE CONDITIONS WARRANT.</li> <li>3. EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.</li> <li>4. AREAS DISTURBED DURING CONSTRUCTION, EXCLUDING THE RESIDENCES AND THEIR ASSOCIATED AMENITIES SHALL BE LANDSCAPED IN ACCORDANCE WITH TOWN OF COVENTRY LANDSCAPING REQUIREMENTS AND AT A MINIMUM BE LOAM &amp; SEEDED.</li> <li>5. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL STABLE GROUND COVER IS ESTABLISHED</li> </ol> <p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF COVENTRY PRIOR TO COMMENCING ANY WORK.</li> <li>2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE TOWN PUBLIC WORKS AND ENGINEERING DEPARTMENTS.</li> <li>3. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RI STANDARD SPECIFICATIONS.</li> <li>4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS BY CONTACTING "DIG SAFE" AND THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE, OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.</li> <li>5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES. ALL WORK, MATERIALS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.</li> <li>6. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND AND TOWN OF COVENTRY RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.</li> <li>7. ALL DISTURBED AREAS ARE TO BE PROTECTED AGAINST EROSION AND/OR SEDIMENTATION.</li> <li>8. PERIMETER CONDITIONS AND DRAINAGE PATTERNS SHALL REMAIN UNCHANGED.</li> <li>9. EMBANKMENT SLOPES ARE NOT TO EXCEED 3:1 AND SHALL BE FULLY COMPACTED TO PROVIDE A STABLE PRODUCT.</li> <li>10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DEDIMENTIAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.</li> <li>11. EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED ALONG AND JUST INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.</li> <li>12. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE.</li> </ol>	<p><b>NOTES &amp; DETAILS NO. 1</b></p> <p><b>HOXIE COURT PLACE</b> AP 88 / LOTS 87 &amp; 88.2 HOXIE COURT, NOTRE DAME STREET &amp; KERNAN STREET COVENTRY, RHODE ISLAND</p> <p><b>NOT TO SCALE</b></p> <p><b>OWNER</b> BRUCE B. GIBB &amp; VICTORIA M. GIBB 31 HOXIE COURT COVENTRY, RI 02817</p> <p><b>APPLICANT</b> NBG CONSTRUCTION 606 VICTORY HIGHWAY WEST GREENWICH, RI 02817</p> <p><b>OWNER / APPLICANT CONTACT</b> BEN GASIOR BEN@NBGCONSTRUCTION.COM 401-487-1720</p> <p><b>LEGAL COUNSEL</b> THOMAS P. CRONIN, ESQ. NOLAN, BRUNERO, CRONIN &amp; FERRARA LTD. 1070 MAIN STREET COVENTRY, RI 02816 TIC@NDGRB.COM 401-828-5800</p> <p><b>DATE:</b> NOVEMBER 2025</p> <p><b>SHEET:</b> ND-1</p> <p><b>SHEET 8 OF 9</b></p>			
<p><b>REVISIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"></td> <td style="width: 50%;"></td> </tr> </table>			<p><b>DESCRIPTION</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"></td> <td style="width: 50%;"></td> </tr> </table>		



**EROSION CONTROL AND SOIL STABILIZATION PROGRAM**

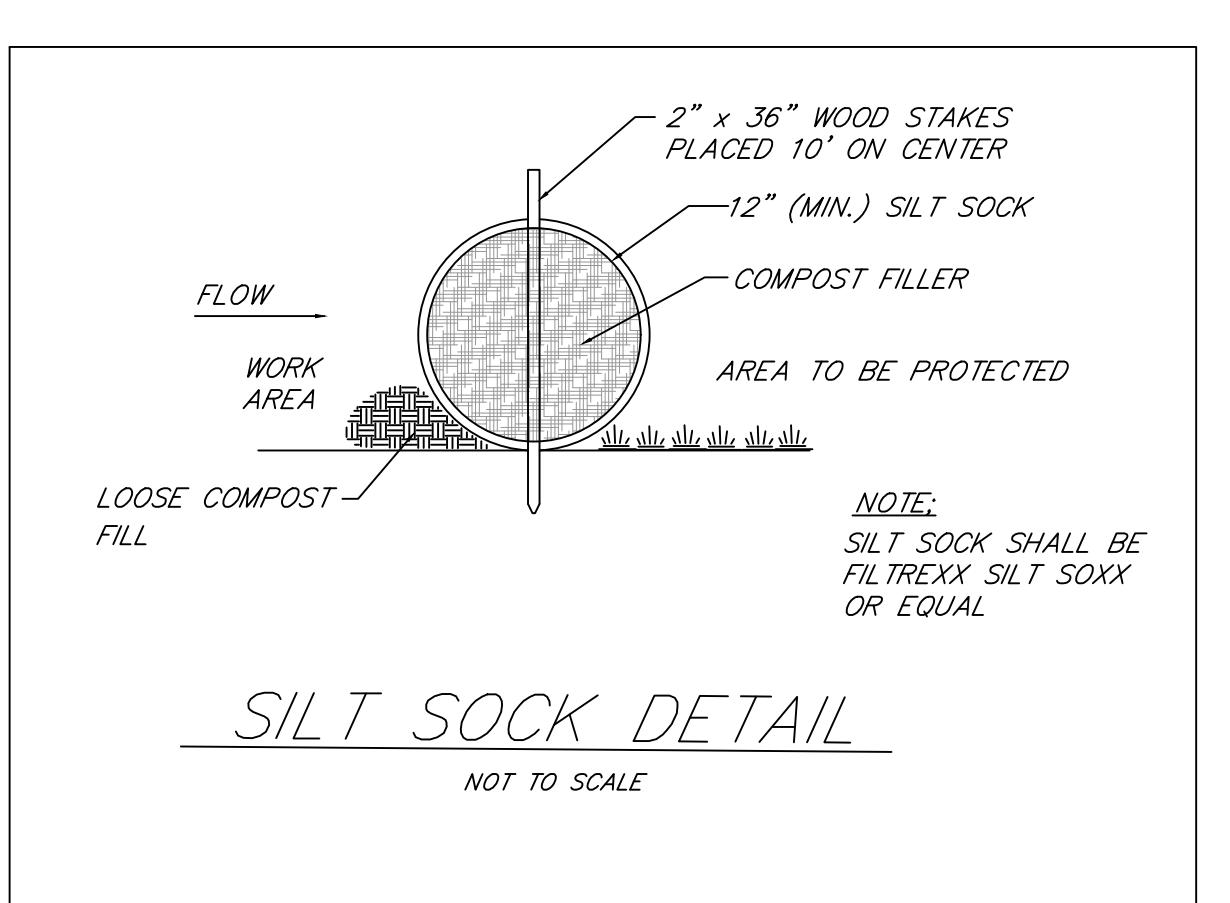
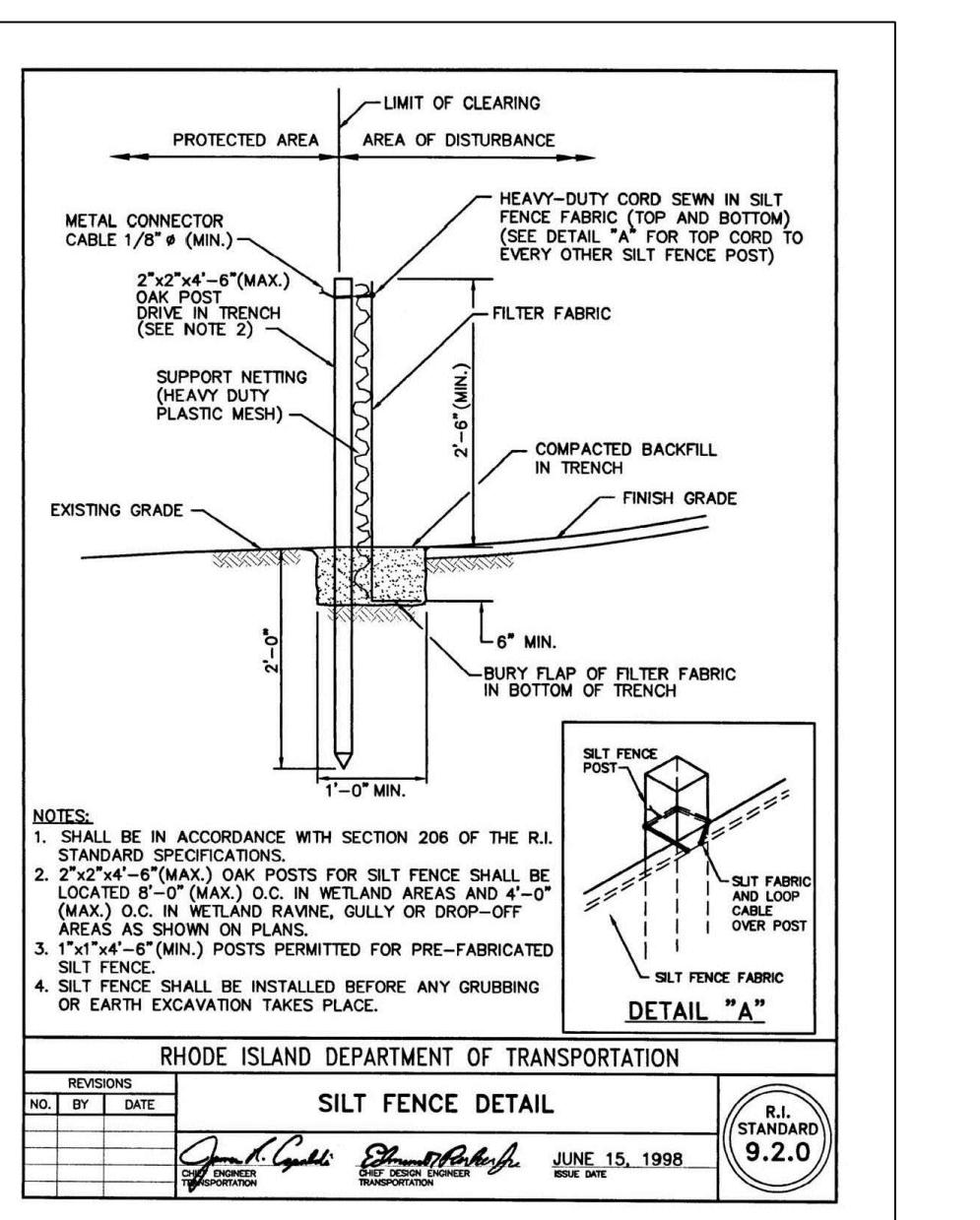
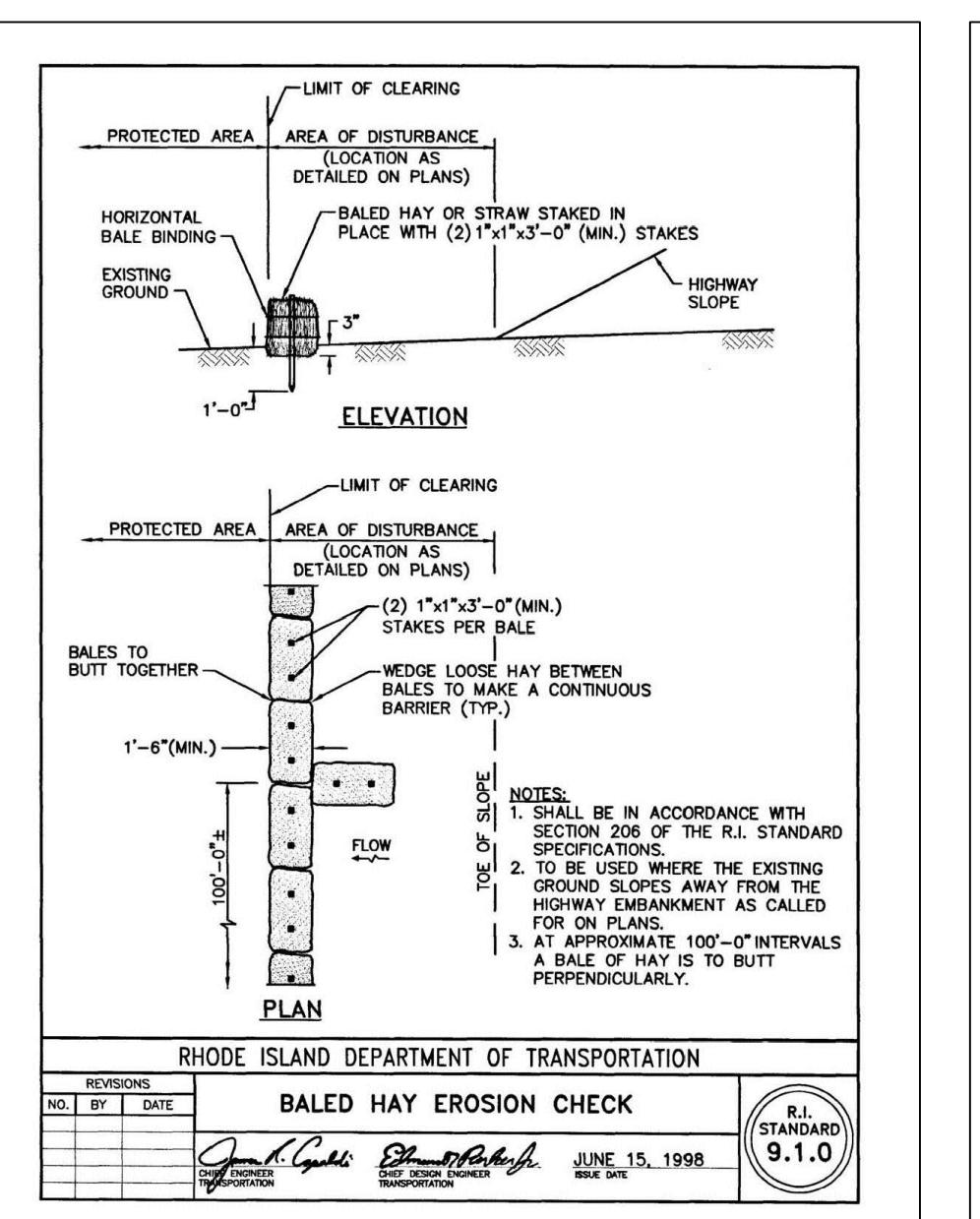
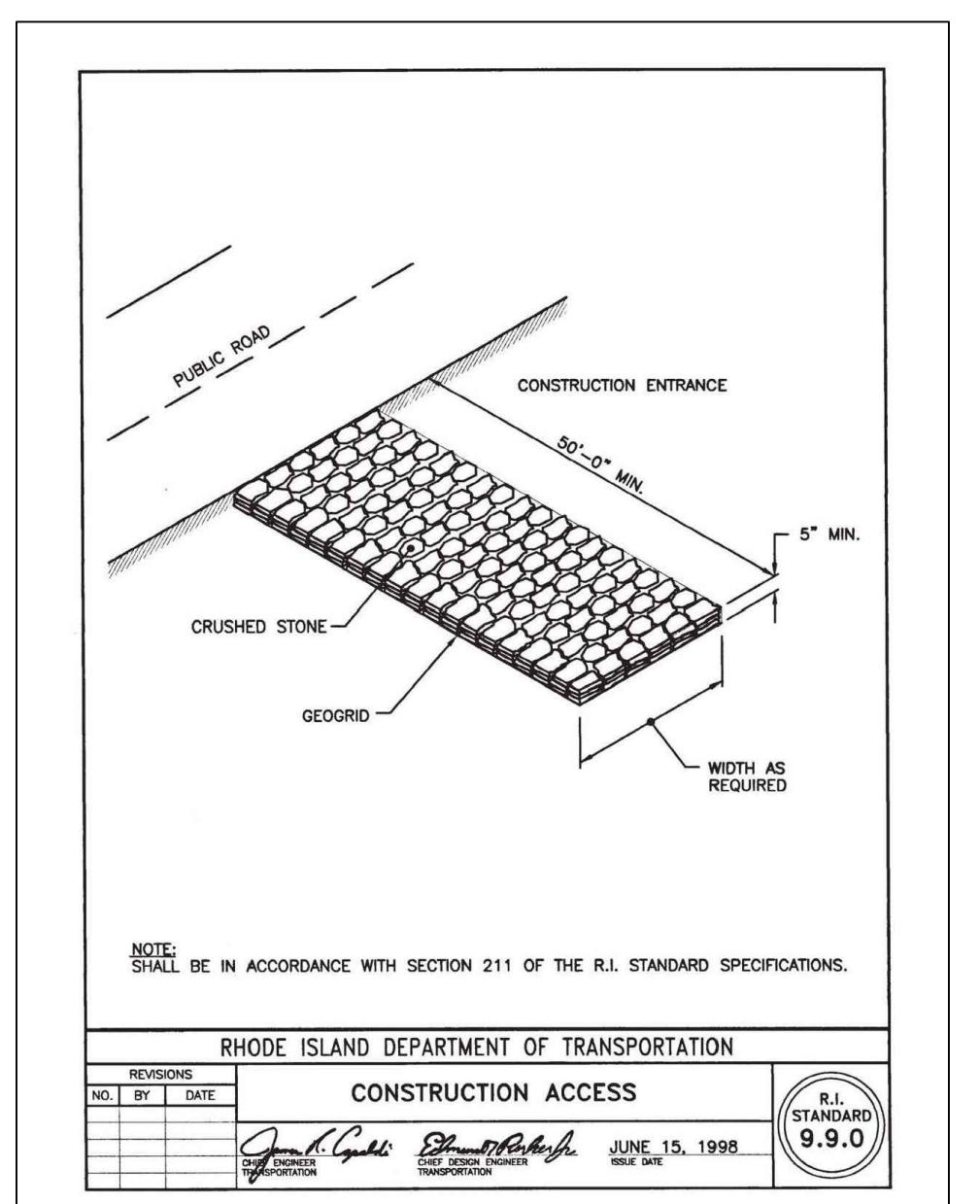
1. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY OR INTO DRAINAGE SYSTEMS OR WETLANDS.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ALL E & S MEASURES MAINTENANCE AND SHALL INSPECT AND/OR REPLACE AS NEEDED.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW.
5. ADDITIONAL E & S MEASURES WILL BE INSTALLED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
6. ALL E & S MEASURES WILL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER DEVELOPS AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
7. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 TO OCTOBER 15. REFER TO LANDSCAPE PLANTING PLAN, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
9. REFERENCE THE "RI EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY RIDEM AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE TOWN OF COVENTRY SOILS AND EROSION CONTROL ORDINANCES AS GUIDES.
10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DEDIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
11. A CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

**SEDIMENTATION CONTROL PROGRAM**

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.
2. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION.
3. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
6. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATER COURSES OR WETLANDS OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
7. ADDITIONAL E & S MEASURES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
9. REFERENCE THE "RI EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY RIDEM AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE TOWN OF COVENTRY SOILS AND EROSION CONTROL ORDINANCES AS GUIDES.
10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DEDIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
11. A CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

REVISIONS	DESCRIPTION

 <b>PATRICIA K. WALKER</b> No. 5331 REGISTERED ENGINEER	<b>W</b> <b>Walker Engineering, Ltd.</b> 31 Vale Court West Greenwich, RI 02817 Phone / Fax (401) 397-8745 Email: wel31.pwv@gmail.com
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**EROSION CONTROL PLAN**

1. ALL WORK PROPOSED SHALL BE IN ACCORDANCE WITH STATE OF RI AND TOWN OF COVENTRY RULES, REGULATIONS AND STANDARDS
2. EROSION AND SEDIMENT CONTROL METHODS (E & S MEASURES) FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF E & S MEASURES
3. EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
4. STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE PROCEDURES TO BE FOLLOWED:
  - A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  - B. PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED E & S MEASURES JUST INSIDE THE LIMITS OF DISTURBANCE.
  - C. A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD. 9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
  - D. INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3'.
  - E. CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
  - F. ONCE THE SITE HAS BEEN LOAMED AND SEDED AND THE SITE IS STABLE, THE E & S MEASURES MAY BE REMOVED.

- A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
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- F. ONCE THE SITE HAS BEEN LOAMED AND SEDED AND THE SITE IS STABLE, THE E & S MEASURES MAY BE REMOVED.

SPECIES	LBS/1000 SF	LBS/ACRE	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
SUDAN GRASS	0.7 - 1.0	30 - 40	MAY 15 - AUGUST 15
MILLET	0.7 - 1.0	30 - 40	MAY 15 - JUNE 15
WINTER RYE	3.0	120	APRIL 15 - JUNE 15

- A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- B. PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED E & S MEASURES JUST INSIDE THE LIMITS OF DISTURBANCE.
- C. A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD. 9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
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**NOTES & DETAILS NO. 2**

**HOXIE COURT PLACE**  
 AP 88 / LOTS 87 & 88.2  
 HOXIE COURT, COVENTRY, RHODE ISLAND

DATE: NOVEMBER 2025  
 SHEET: ND-2  
 SHEET 9 OF 9

OWNER  
 BRUCE B. GIBB & VICTORIA M. GIBB  
 31 HOXIE COURT  
 COVENTRY, RI 02816  
 APPLICANT  
 NBG CONSTRUCTION  
 606 VICTORY HIGHWAY  
 WEST GREENWICH, RI 02817  
 OWNER / APPLICANT CONTACT  
 BEN GASIOR  
 BEN@NBGCONSTRUCTION.COM  
 401-487-1720  
 LEGAL COUNSEL  
 THOMAS P. CRONIN, ESQ.  
 NOLAN, BRUNERO, CRONIN & FERRARA LTD.  
 1070 MAIN STREET  
 COVENTRY, RI 02816  
 TIC@NDGB.COM  
 401-828-5800