




HOXIE COURT PLACE

(AP 88, LOTS 87 & 88.2)

HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

PRELIMINARY PLAN SUBMISSION / NOVEMBER 2025

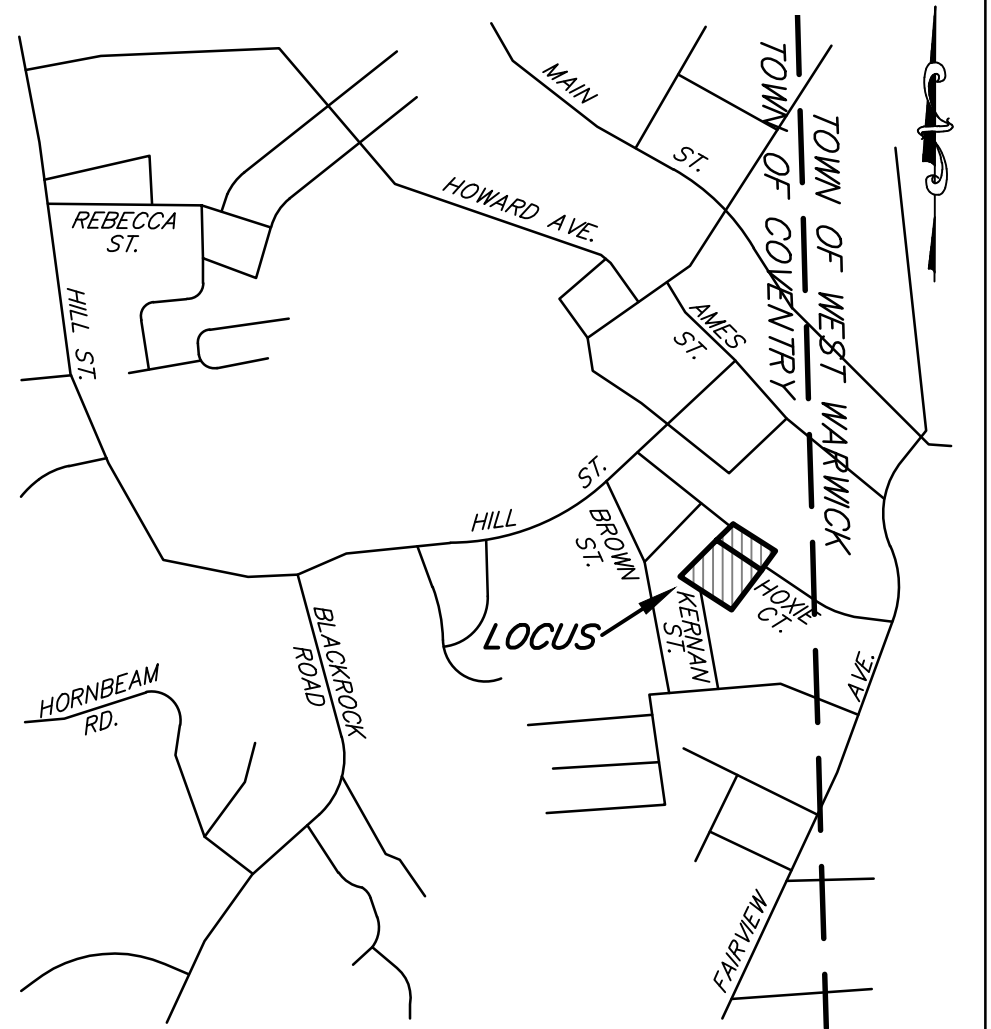
<u>OWNER</u> BRUCE B. GIBB & VICTORIA M. GIBB 31 HOXIE COURT COVENTRY, RI 02816	<u>APPLICANT</u> NBG CONSTRUCTION 606 VICTORY HIGHWAY WEST GREENWICH, RI 02817
<u>OWNER / APPLICANT CONTACT</u>	BEN GASIOR BEN@NBGCONSTRUCTION.COM 401-487-1720

<u>LEGAL COUNSEL</u> THOMAS P. CRONIN, ESQ. NOLAN, BRUNERO, CRONIN & FERRARA LTD. 1070 MAIN STREET COVENTRY, RI 02816 TJC@NDGRB.COM 401-828-5800	<u>PROJECT MANAGER / SURVEYOR / OWTS DESIGNER / SOIL EVALUATOR</u>  SCITUATE SURVEYS, INC. 410 TIGGUE AVENUE COVENTRY, RHODE ISLAND 02816 401 821 8101 LAND SURVEYING/MAPPING / SITE PLANNING
<u>PROJECT ENGINEER</u>  Walker Engineering, Ltd. 31 Vale Court West Greenwich, RI 02817 Phone / Fax (401) 397-8745 Email: wel31.pw@gmail.com	<u>WETLANDS BIOLOGIST</u>  PO BOX 836 CHARLESTOWN, RI 02813

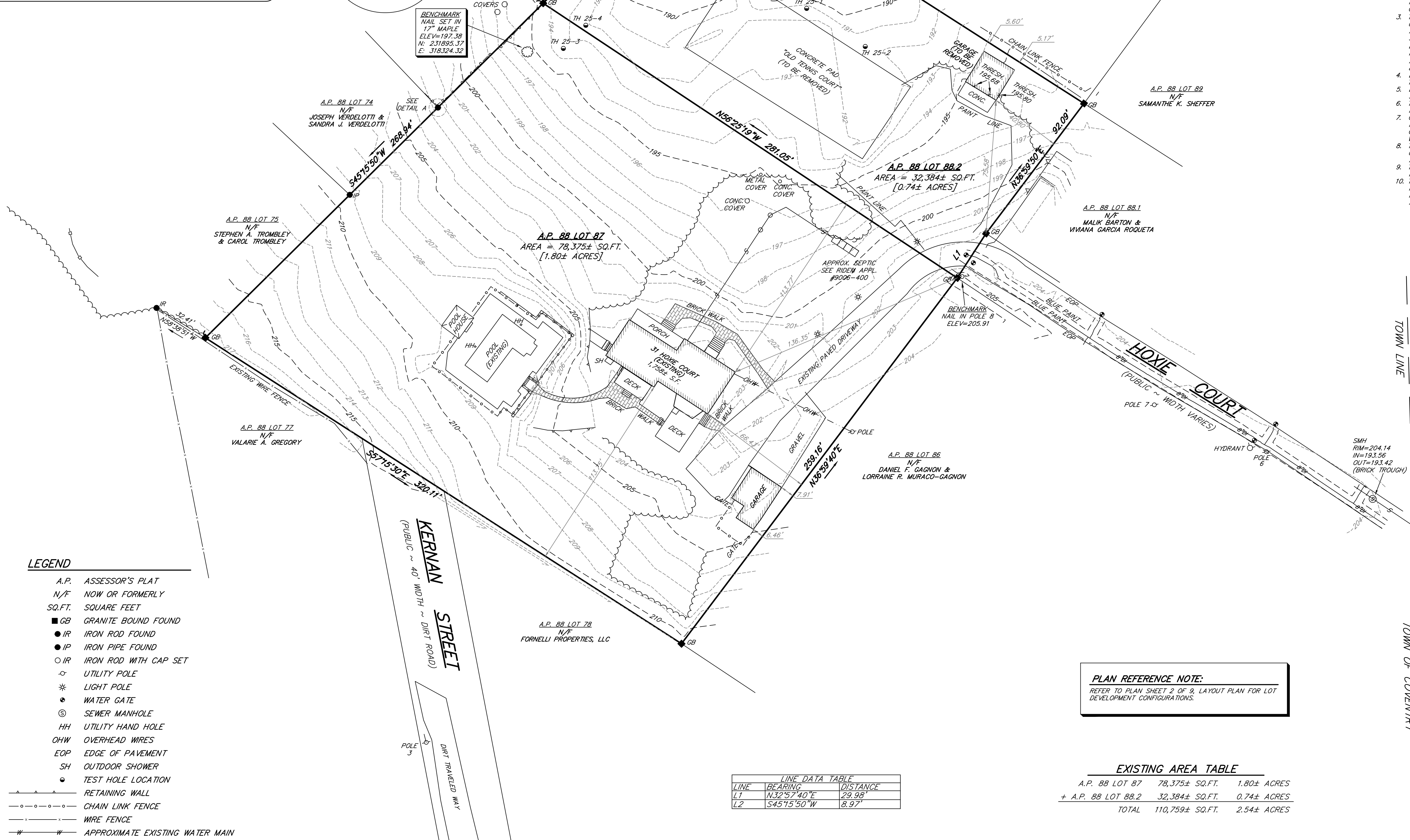
PLAN SET INDEX

SHEET NO.	SHEET TITLE
1 OF 9	EXISTING CONDITIONS PLAN
2 OF 9	LOT LAYOUT PLAN
3 OF 9	LAYOUT PLAN
4 OF 9	DRAINAGE, GRADING & EROSION CONTROL PLAN
5 OF 9	UTILITIES PLAN
6 OF 9	NOTRE DAME ROAD EXTENSION PLAN & PROFILE
7 OF 9	WATER NOTES & DETAILS
8 OF 9	NOTES & DETAILS NO. 1
9 OF 9	NOTES & DETAILS NO. 2

PLAN SET USE NOTES: 1. NOT FOR CONSTRUCTION WITHOUT ALL REQUIRED STATE, TOWN & UTILITIES APPROVALS AND PERMITS 2. MAY BE USED FOR PRELIMINARY BIDDING PURPOSES PRIOR TO ALL REQUIRED APPROVALS BEING RECEIVED.	
REVISIONS	
DATE	DESCRIPTION



LOCATION PLAN NOT TO SCALE



- LEGEND**
- A.P. ASSESSOR'S PLAT
 - N/F. NOW OR FORMERLY
 - SQ.FT. SQUARE FEET
 - GB GRANITE BOUND FOUND
 - IR IRON ROD FOUND
 - IP IRON PIPE FOUND
 - IR IRON ROD WITH CAP SET
 - U UTILITY POLE
 - * LIGHT POLE
 - W WATER GATE
 - S SEWER MANHOLE
 - HH UTILITY HAND HOLE
 - OHW OVERHEAD WIRES
 - EOP EDGE OF PAVEMENT
 - SH OUTDOOR SHOWER
 - TEST HOLE LOCATION
 - RETAINING WALL
 - CHAIN LINK FENCE
 - WIRE FENCE
 - APPROXIMATE EXISTING WATER MAIN

LINE DATA TABLE		
LINE	BEARING	DISTANCE
L1	N32°57'40"E	29.98'
L2	S45°15'50"W	8.97'

EXISTING AREA TABLE			
A.P. 88 LOT 87	78,375± SQ.FT.	1.80± ACRES	
+ A.P. 88 LOT 88.2	32,384± SQ.FT.	0.74± ACRES	
TOTAL	110,759± SQ.FT.	2.54± ACRES	

ZONING DATA: ZONE R-20 RESIDENTIAL

FOR SINGLE FAMILY DWELLING ~ REQUIRED
MINIMUM LOT AREA 20,000 SQ.FT.
MINIMUM LOT FRONTAGE 120'
MINIMUM FRONT YARD DEPTH 35'
MINIMUM SIDE YARD DEPTH 20'
MINIMUM REAR YARD DEPTH 20%
MAXIMUM BUILDING COVERAGE 20%
MAXIMUM BUILDING HEIGHT 35'

ZONING DATA: ZONE R-20 RESIDENTIAL

EXISTING A.P. 88 LOT 87
LOT AREA 78,375± SQ.FT.
LOT FRONTAGE 0'
FRONT YARD DEPTH 136.35'
SIDE YARD DEPTH 66.43'
REAR YARD DEPTH 6.46'*
BUILDING COVERAGE 113.75%
BUILDING HEIGHT 14.5%
* SIDE SETBACK TO EXISTING ACCESSORY BUILDING

EXISTING A.P. 88 LOT 88.2

LOT AREA 32,384± SQ.FT.
LOT FRONTAGE 29.98'
FRONT YARD DEPTH 75.58'
SIDE YARD DEPTH 5.17'
REAR YARD DEPTH 198.44'
BUILDING COVERAGE 1.8%
BUILDING HEIGHT --

FOR STREET INDEX, FILE UNDER:

**HOXIE COURT
KERNAN STREET
NOTRE DAME STREET**

PLAN REFERENCES:

- "HILL VIEW PLAT SITUATED IN COVENTRY R.I. THOMAS C. KERNAN & BELONGING TO LOUIS N. RAINVILLE BY ROBERT W. GRENE SCALE 50 FT PER INCH NOV. 1926"
- "SUNSET PLAT OWNED BY ALMANZOR AND DORIS PARENTEAU RAY C. MATTESON, ENGR. NOVEMBER 1947"
- "REPLAT OF THE SUNSET PLAT, LOTS 1,2,3,4(PT.), & 6(PT.) ADMINISTRATIVE SUBDIVISION PLAN, ASSESSORS PLAT 88 LOTS 73 PART, 74, & 75 LUCILLE STREET COVENTRY, RHODE ISLAND PLAN PREPARED FOR: JOSEPH VERDELOTTI, STEPHEN TROMBLEY, LUCILLE STREET COVENTRY, RI 02816 BY SEVEN TWENTY ONE ASSOCIATES" RECORDED IN PLAT BOOK 15 PAGE 37 AND IN ENVELOPE #547.
- RHODE ISLAND DEM OMTS APPLICATION #9006-400.
- INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

GENERAL NOTES:

- THE SUBJECT PROPERTY LIES WITHIN A ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, KENT COUNTY, RHODE ISLAND MAP NUMBER 44003C0106H, EFFECTIVE DATE: OCTOBER 2, 2015.
- ALL UTILITIES ARE APPROXIMATE AND BASED OFF OF AVAILABLE DATA INCLUDING DIG SAFE MARKINGS, TOWN ENGINEERING PLANS, AND GIS INFORMATION. UTILITIES WILL NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- TITLE TO AP 88 LOT 87 IS CONVEYED WITH THE "RIGHT TO USE A FIFTEEN FOOT DRIFTWAY TO AND FROM AMES STREET AS SET FORTH ON OR REFERRED TO IN PRIOR DEEDS, BUT SUBJECT TO THE RIGHTS OF OTHERS ALSO TO USE SAID DRIFTWAY," AND "ALSO WITH A RIGHT OF WAY FOR THE PURPOSES OF INGRESS AND EGRESS FOR ALL PURPOSES TO AND FROM SAID PREMISES". SEE DEED BOOK 1643 PAGE 838.
- ENTIRE SITE LIES WITHIN THE CENTRAL FIRE DISTRICT FOR THE TOWN OF COVENTRY.
- EXCEPT WHERE SHOWN AS DEVELOPED ON THIS PLAN, THE SITE IS ENTIRELY WOODED.
- THERE ARE NO KNOWN UNIQUE NATURAL, MANMADE OR HISTORIC FEATURES ON THE SITE.
- ON OCTOBER 27, 2025, ARIZONIS ENVIRONMENTAL SERVICES, INC. VISITED THE SITE, AND PRODUCED A REPORT DATED OCTOBER 28, 2025 WHICH STATES THAT NO WETLANDS WERE FOUND WITHIN 200 FEET OF THE SUBJECT PROPERTY.
- THERE ARE NO KNOWN AREAS OF EXISTING AGRICULTURAL USE OR HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE.
- THE SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, HISTORIC DISTRICT, OR GROUNDWATER PROTECTION AREA.
- THE APPROXIMATE LOCATION OF THE WATER LINES IN HOXIE COURT AND NOTRE DAME STREET ARE TAKEN FROM INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

PLAN REFERENCE NOTE:

REFER TO PLAN SHEET 2 OF 9, LAYOUT PLAN FOR LOT DEVELOPMENT CONFIGURATIONS.

OWNER

BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
COVENTRY, RI 02816
(401) 615-2416

APPLICANT

NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817
(401) 487-1720

LEGAL COUNSEL

THOMAS CRONIN, ESQ.
THE LAW OFFICES OF NOLAN, BRUNERO,
CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816
(401) 828-5800

**"HOXIE COURT PLACE"
PRELIMINARY MINOR SUBDIVISION
EXISTING CONDITIONS PLAN**

OF LAND OF
BRUCE B. GIBB & VICTORIA M. GIBB
ASSESSOR'S PLAT 88 LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET AND KERNAN STREET
COVENTRY, RHODE ISLAND

PROJECT NO.: SS3148
DRAWING NO.: SSS218
DRAWN BY: C. J. BIJTIG

SCALE: 1"=30' DATE: NOVEMBER 14, 2025 REVISION:

SHEET
1 OF 9

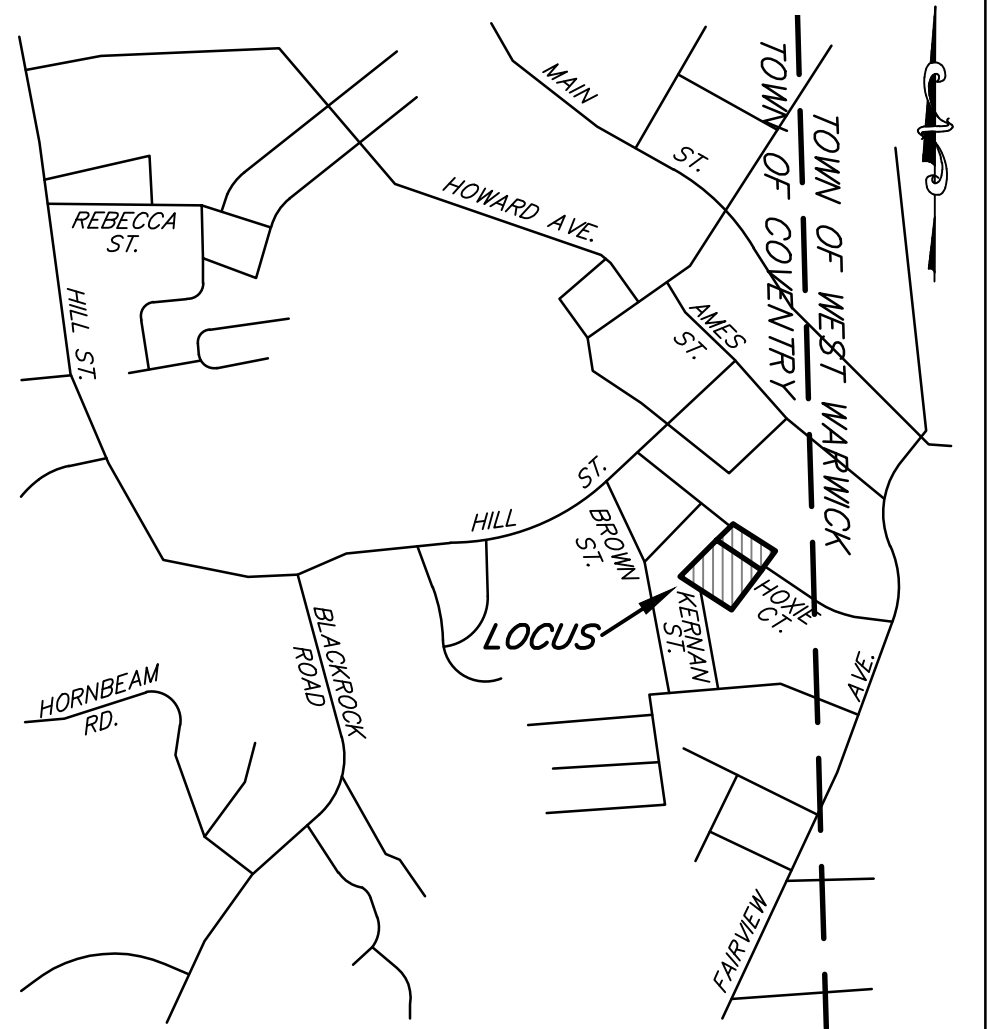
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 20, 2014, AS FOLLOWS:
TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I
MEASUREMENT SPECIFICATION: CLASS III

STATEMENT OF JURORSE
THE PURPOSE OF THIS PLAN IS TO REPORT THE RESULTS OF A BOUNDARY RETRACTION SURVEY AND TO SHOW EXISTING CONDITIONS FOR THE PURPOSE OF A PROPOSED MINOR SUBDIVISION.
BY: *Julie Michelle Ramond*
JULIE MICHELLE RAMOND, PROFESSIONAL LAND SURVEYOR, NO. 2540
IF THE MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTIC VERSION.

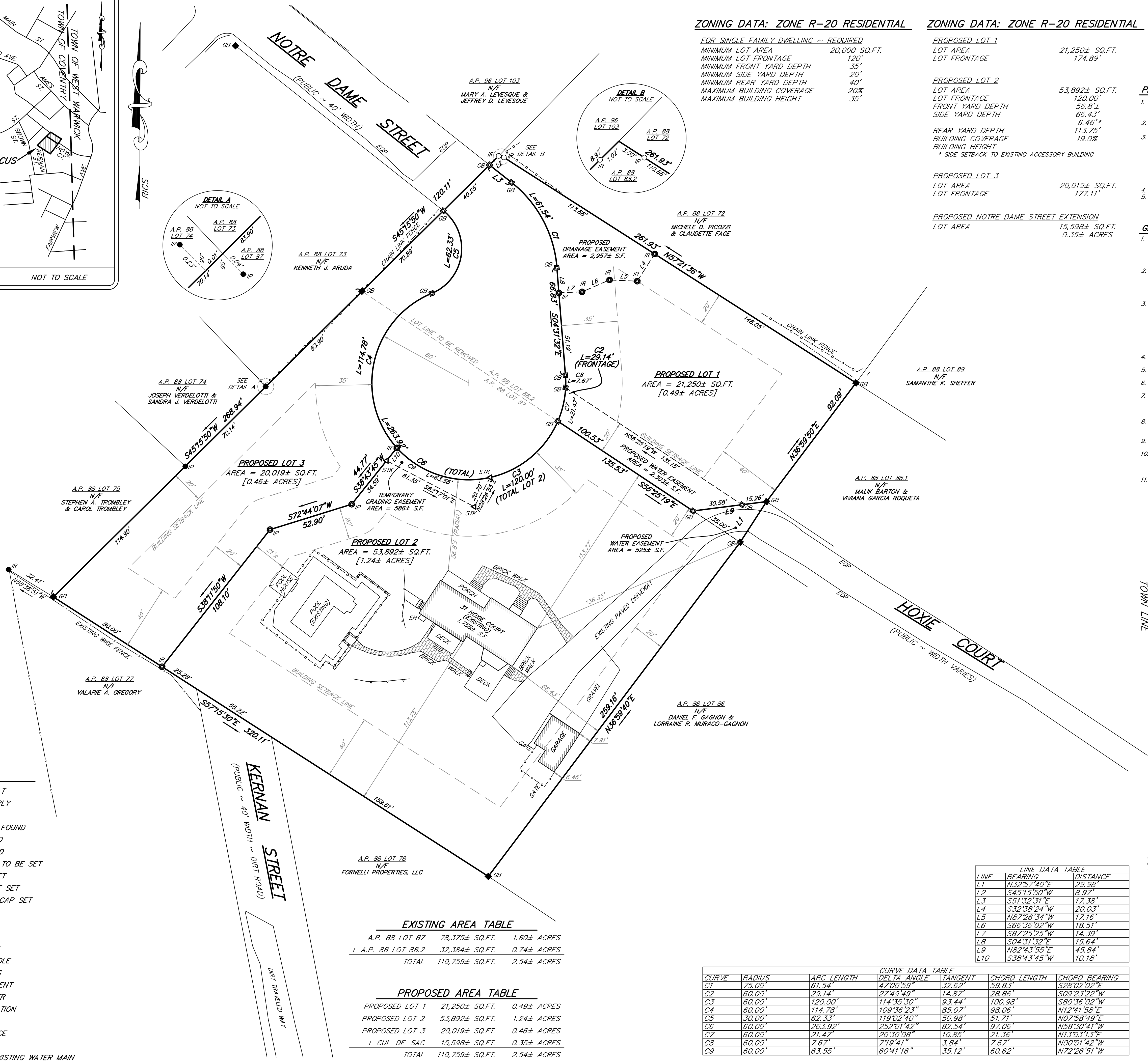
JULIE MICHELLE RAMOND
No. 2540
PROFESSIONAL
LAND SURVEYOR

SCITUATE SURVEYS, INC.
410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401 821 8101
LAND SURVEYING/MAPPING/SITE PLANNING

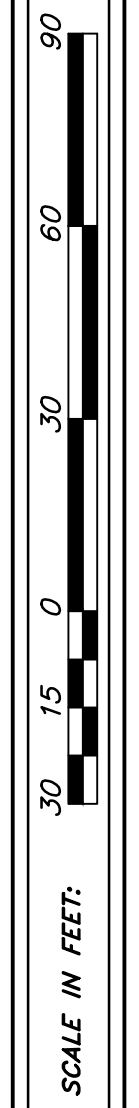
SCALE IN FEET:
30 15 0 30 60 90



LOCATION PLAN NOT TO SCALE



410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401 821 8101
LAND SURVEYING/MAPPING/SITE PLANNING



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 20, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY

MEASUREMENT SPECIFICATION: CLASS I

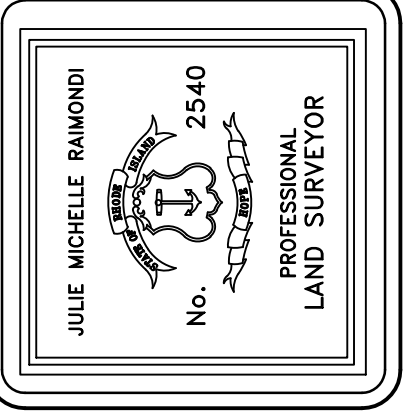
DATE OF SURVEY: 2025

DATE OF PLAN: 2025

STATEMENT OF JUROR: THE PURPOSE OF THIS PLAN IS TO REPORT THE RESULTS OF A BOUNDARY RETRACTION SURVEY AND TO SHOW A FENCED AREA FOR CONSTRUCTION.

BY: Julie M. Ramond, Professional Land Surveyor, No. 2540

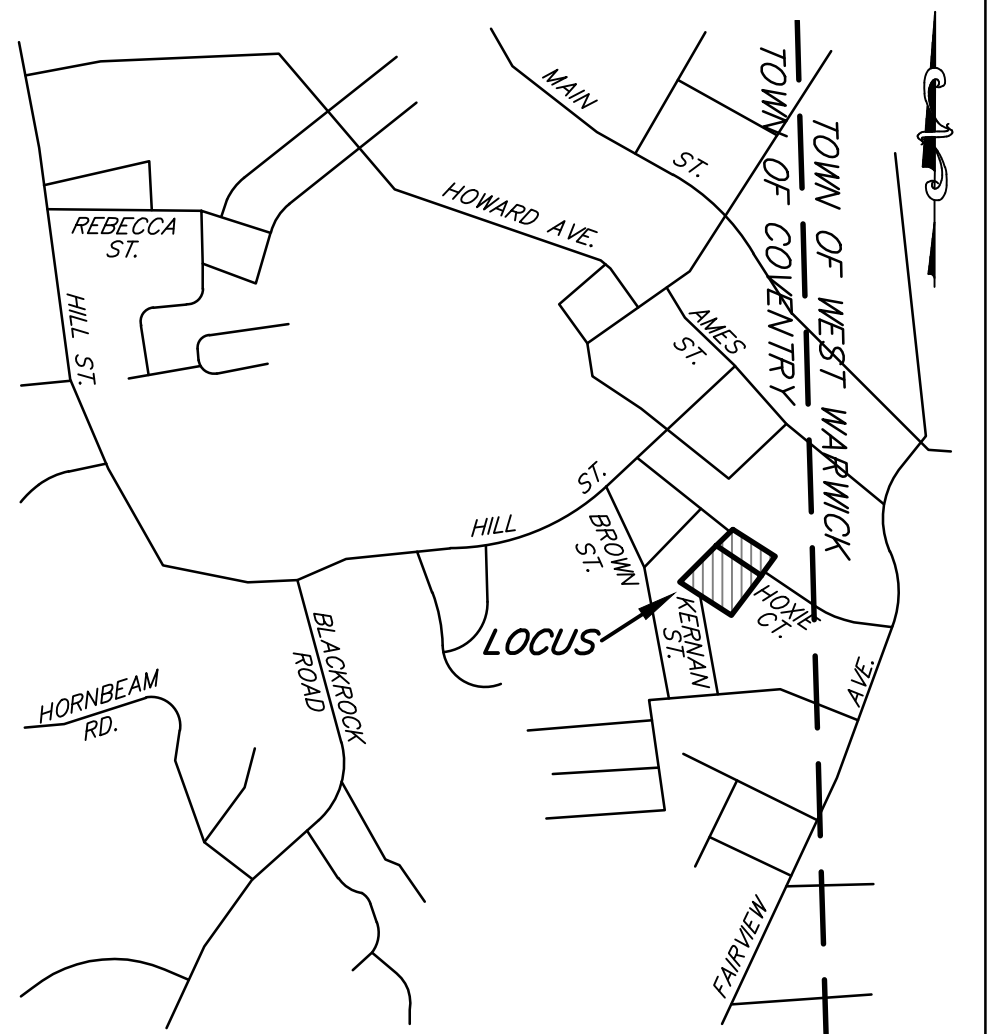
IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS CONDUCTED AND THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, AND THAT IT IS NOT AN AUTHENTICATED VERSION.



"HOXIE COURT PLACE"
PRELIMINARY MINOR SUBDIVISION
LOT LAYOUT PLAN
OF LAND OF
BRUCE B. GIBB & VICTORIA M. GIBB
ASSESSOR'S PLAT 88 LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET AND KERNAN STREET
COVENTRY, RHODE ISLAND

PROJECT NO.: SS3148
DRAWING NO.: SSS218
DRAWN BY: C. J. BLITTING

SHEET
2 of 9



LOCATION PLAN

NOT TO SCALE

PLAN REFERENCES:

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- RHODE ISLAND DEM APPLICATION #9006-400.
- INFORMATION PROVIDED BY THE KENT COUNTY WATER AUTHORITY.

FURNISH & INSTALL CONCRETE STAIRS AND WALK WITH HAND RAILING IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS

FURNISH & INSTALL 3" MAX RETAINING WALL ALONG WALK & DRIVE AREA

A.P. 88 LOT 75

N/F

STEPHEN A. TROMBLEY & CAROL TROMBLEY

PROPOSED LOT 3

AREA = 20,019± SQ.FT.

[0.46± ACRES]

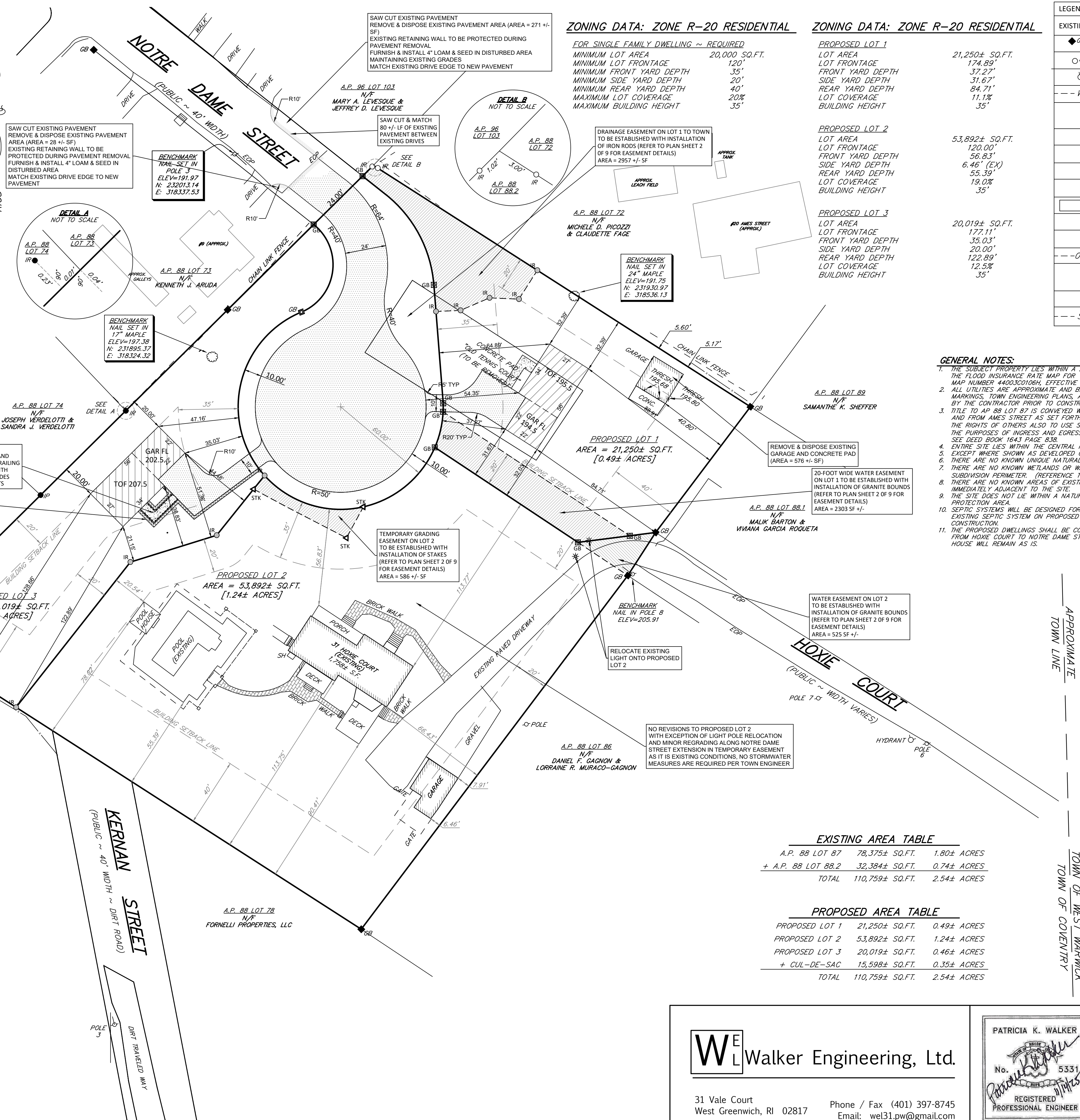
A.P. 88 LOT 77

N/F

VALARIE A. GREGORY

SURVEY LEGEND

- A.P. ASSESSOR'S PLAT
N/F NOW OR FORMERLY
SQ.FT. SQUARE FEET
GB GRANITE BOUND FOUND
IR IRON ROD FOUND
IP IRON PIN FOUND
OR IRON ROD WITH CAP SET
U UTILITY POLE
* LIGHT POLE
W WATER GATE
S SEWER MANHOLE
HH UTILITY HAND HOLE
OHW OVERHEAD WIRES
EOP EDGE OF PAVEMENT
SH OUTDOOR SHOWER
● TEST HOLE LOCATION
RETAINING WALL
CHAIN LINK FENCE
WIRE FENCE
W APPROXIMATE EXISTING WATER MAIN



ZONING DATA: ZONE R-20 RESIDENTIAL

FOR SINGLE FAMILY DWELLING ~ REQUIRED
MINIMUM LOT AREA 20,000 SQ.FT.
MINIMUM LOT FRONTAGE 120'
MINIMUM FRONT YARD DEPTH 35'
MINIMUM SIDE YARD DEPTH 20'
MINIMUM REAR YARD DEPTH 40'
MAXIMUM LOT COVERAGE 20%
MAXIMUM BUILDING HEIGHT 35'

ZONING DATA: ZONE R-20 RESIDENTIAL

PROPOSED LOT 1
LOT AREA 21,250± SQ.FT.
LOT FRONTAGE 174.89'
FRONT YARD DEPTH 37.27'
SIDE YARD DEPTH 31.67'
REAR YARD DEPTH 84.71'
LOT COVERAGE 11.1%
BUILDING HEIGHT 35'

PROPOSED LOT 2
LOT AREA 53,892± SQ.FT.
LOT FRONTAGE 120.00'
FRONT YARD DEPTH 56.83'
SIDE YARD DEPTH 6.46' (EX)
REAR YARD DEPTH 55.39'
LOT COVERAGE 19.0%
BUILDING HEIGHT 35'

PROPOSED LOT 3
LOT AREA 20,019± SQ.FT.
LOT FRONTAGE 177.11'
FRONT YARD DEPTH 35.03'
SIDE YARD DEPTH 20.00'
REAR YARD DEPTH 122.89'
LOT COVERAGE 12.5%
BUILDING HEIGHT 35'

EXISTING	DESCRIPTION	PROPOSED
GB	GRANITE BOUND	GB
IR	IRON ROD	IR
PH	PUBLIC HYDRANT	PH
W	WATER LINE	W
CS	CURB STOP WITH GATE VALVE	CS
CS	CORPORATION STOP	CS
TR	THRUST BLOCK	TR
LN	LOT NO.	LN
PA	PAVEMENT	PA
BL	BUILDING	BL
CK	CONCRETE WALK	CK
3H	3'H MAX RETAINING WALL	3H
CL	CONTOUR LINE	CL
LD	LIMIT OF DISTURBANCE WITH E&S MEASURES	LD
ST	STAKE	ST
SL	SANITARY LINE	SL

GENERAL NOTES:

- THE SUBJECT PROPERTY LIES WITHIN A ZONE X AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, KENT COUNTY, RHODE ISLAND MAP NUMBER 4403C0106H, EFFECTIVE DATE: OCTOBER 2, 2015.
- ALL UTILITIES ARE APPROXIMATE AND BASED OFF OF AVAILABLE DATA INCLUDING DIG SAFE MARKINGS, TOWN ENGINEERING PLANS, AND GIS INFORMATION. UTILITIES WILL NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- TITLE TO AP 88 LOT 87 IS CONVEYED WITH THE "RIGHT TO USE A FIFTEEN FOOT DRIFTWAY TO AND FROM AMES STREET AS SET FORTH ON OR REFERRED TO IN PRIOR DEEDS, BUT SUBJECT TO THE RIGHTS OF OTHERS ALSO TO USE SAID DRIFTWAY," AND "ALSO WITH A RIGHT OF WAY FOR THE PURPOSES OF INGRESS AND EGRESS FOR ALL PURPOSES TO AND FROM SAID PREMISES". SEE DEED BOOK 1643 PAGE 8-38.
- ENTIRE SITE LIES WITHIN THE CENTRAL FIRE DISTRICT FOR THE TOWN OF COVENTRY.
- EXCEPT WHERE SHOWN AS DEVELOPED ON THIS PLAN, THE SITE IS ENTIRELY WOODED.
- THERE ARE NO KNOWN UNIQUE NATURAL, MANMADE OR HISTORIC FEATURES ON THE SITE.
- THERE ARE NO KNOWN WETLANDS OR WATERCOURSES ON THE SITE OR WITHIN 200' OF THE SUBDIVISION PERIMETER. (REFERENCE TO AVIZINS ENVIRONMENTAL SERVICES REPORT)
- THERE ARE NO KNOWN AREAS OF EXISTING AGRICULTURAL USE OR HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE.
- THE SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, HISTORIC DISTRICT, OR GROUNDWATER PROTECTION AREA.
- SEPTIC SYSTEMS WILL BE DESIGNED FOR PROPOSED LOTS 1 & 3 BY SCITUATE SURVEYS, INC. THE EXISTING SEPTIC SYSTEM ON PROPOSED LOT 2 SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- THE PROPOSED DWELLINGS SHALL BE CONNECTED TO THE PROPOSED WATER MAIN EXTENSION FROM HOXIE COURT TO NOTRE DAME STREET. THE CURRENT WATER SERVICE FOR THE EXISTING HOUSE WILL REMAIN AS IS.

PLAN REFERENCE NOTE
REFER TO PLAN SHEET 2 OF 9,
LOT LAYOUT PLAN FOR NEW
LOTS CONFIGURATIONS,
ROADWAY EXTENSION AND
EASEMENTS

FOR STREET INDEX, FILE UNDER:
HOXIE COURT
KERNAN STREET
NOTRE DAME STREET

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
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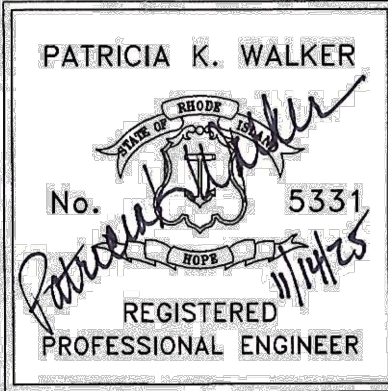
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NBG CONSTRUCTION
606 VICTORY HIGHWAY
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OWNER / APPLICANT CONTACT
BEN GASIOR
BEN@NBGCONSTRUCTION.COM
401-487-1720

LEGAL COUNSEL
THOMAS P. CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816
TIC@NDRB.COM
401-828-5800

WEL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com



LAYOUT PLAN

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

PROJECT NO.: SS3148
DRAWING NO.: SS5218
DRAWN BY: SSI / WEL

SHEET 3 OF 3

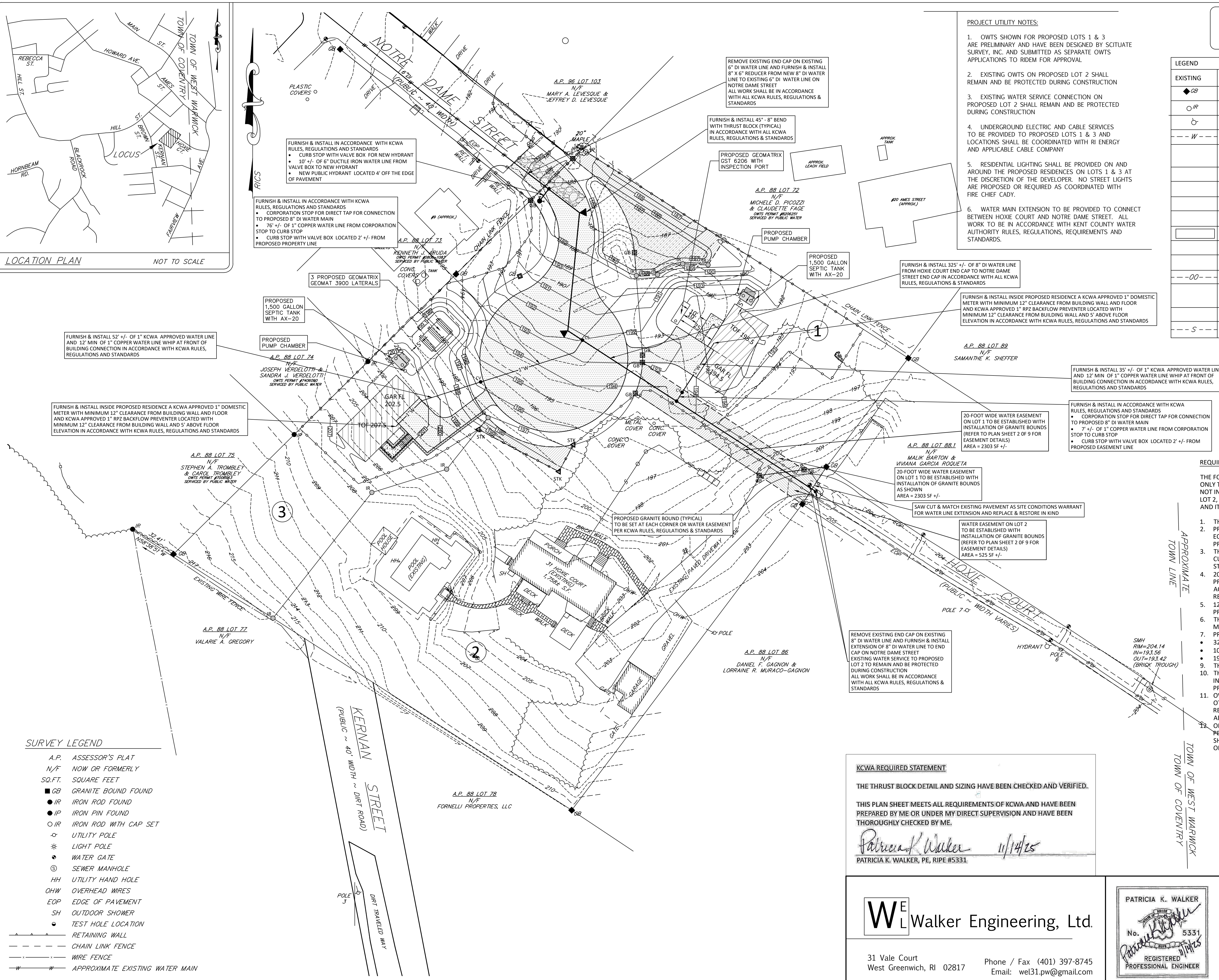
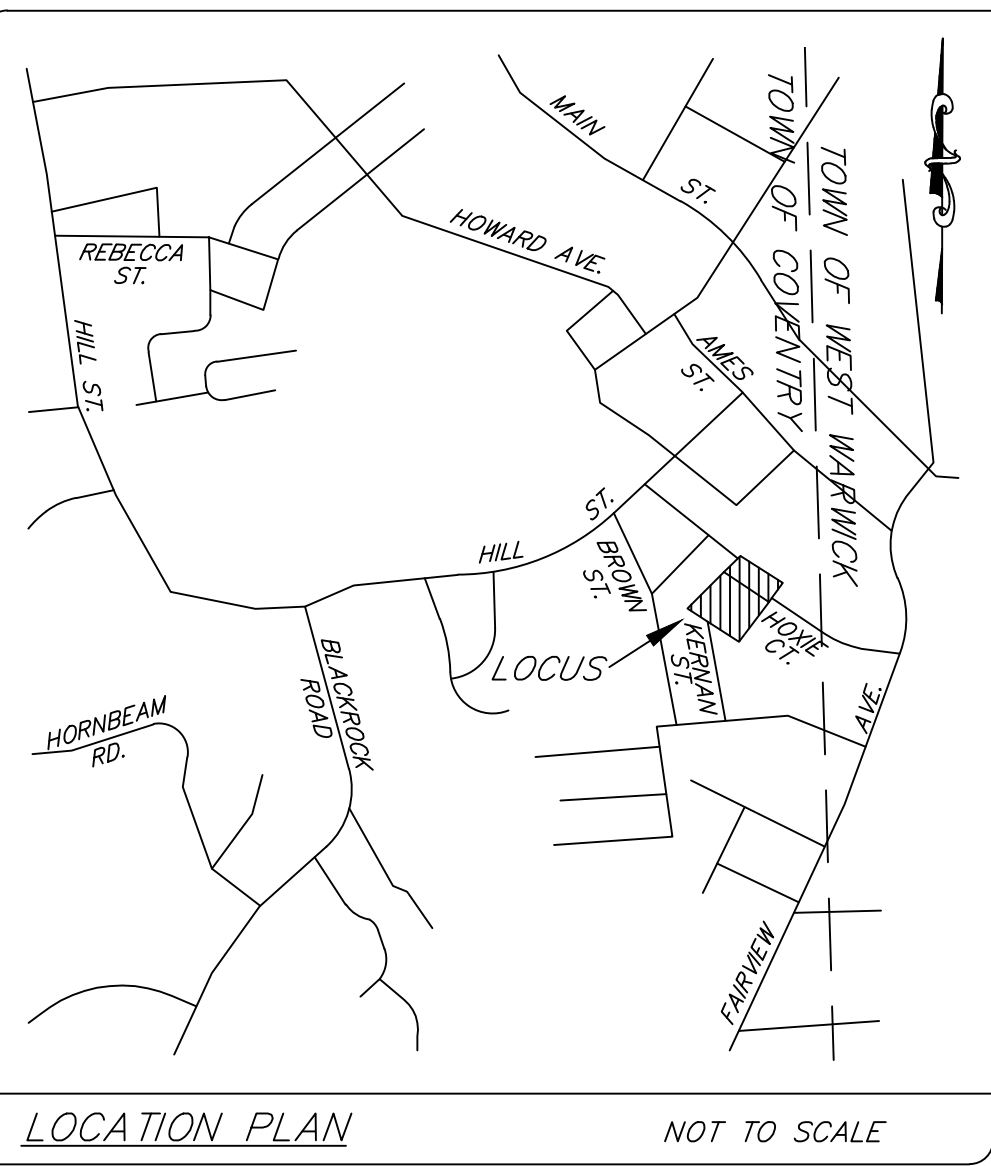
SCALE: 1"=30' DATE: NOVEMBER 14, 2025 REVISION:

SCITUATE SURVEYS, INC.

410 TIOQUE AVENUE
COVENTRY, RHODE ISLAND 02816
401.821.8101

LAND SURVEYING / MAPPING / SITE PLANNING

SCALE IN FEET: 30 15 0 30 60 90



- PROJECT UTILITY NOTES:
- OWTS SHOWN FOR PROPOSED LOTS 1 & 3 ARE PRELIMINARY AND HAVE BEEN DESIGNED BY SCITUATE SURVEY, INC. AND SUBMITTED AS SEPARATE OWTS APPLICATIONS TO RIDEM FOR APPROVAL.
 - EXISTING OWTS ON PROPOSED LOT 2 SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - EXISTING WATER SERVICE CONNECTION ON PROPOSED LOT 2 SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - UNDERGROUND ELECTRIC AND CABLE SERVICES TO BE PROVIDED TO PROPOSED LOTS 1 & 3 AND LOCATIONS SHALL BE COORDINATED WITH RI ENERGY AND APPLICABLE CABLE COMPANY.
 - RESIDENTIAL LIGHTING SHALL BE PROVIDED ON AND AROUND THE PROPOSED RESIDENCES ON LOTS 1 & 3 AT THE DISCRETION OF THE DEVELOPER. NO STREET LIGHTS ARE PROPOSED OR REQUIRED AS COORDINATED WITH FIRE CHIEF CADDY.
 - WATER MAIN EXTENSION TO BE PROVIDED TO CONNECT BETWEEN HOXIE COURT AND NOTRE DAME STREET. ALL WORK TO BE IN ACCORDANCE WITH KENT COUNTY WATER AUTHORITY RULES, REGULATIONS, REQUIREMENTS AND STANDARDS.

FOR STREET INDEX, FILE UNDER:
HOXIE COURT
KERNAN STREET
NOTRE DAME STREET

EXISTING	DESCRIPTION	PROPOSED
GB	GRANITE BOUND	GB
IR	IRON ROD	IR
HP	PUBLIC HYDRANT	HP
W	WATER LINE	W
CV	CURB STOP WITH GATE VALVE	CV
CS	CORPORATION STOP	CS
STK	THRUST BLOCK	STK
3	LOT NO.	3
	PAVEMENT	
	BUILDING	
	CONCRETE WALK	
	3'H MAX RETAINING WALL	
00	CONTOUR LINE	00
	LIMIT OF DISTURBANCE WITH E&S MEASURES	
STK	STAKE	STK
SAN	SANITARY LINE	SAN

- REQUIRED TOWN NOTES
- THE FOLLOWING INFORMATION IS PROVIDED RELATED ONLY TO HOXIE COURT PLACE SUBDIVISION AND DOES NOT INCLUDE EXISTING CONDITIONS ON PROPOSED LOT 2, WHICH CONTAINS THE EXISTING RESIDENCE AND ITS ASSOCIATED AMENITIES
- THERE IS NO LEDGE EXCAVATION PROPOSED
 - PROPOSED EXCAVATION IS ESTIMATED TO BE EQUAL TO PROPOSED FILL BASED ON PRELIMINARY ANALYSIS
 - THERE ARE NO CONCRETE SIDEWALKS OR CURBING PROPOSED ALONG THE NOTRE DAME STREET EXTENSION AND CUL-DE-SAC
 - 203 +/- LF OF NOTRE DAME STREET EXTENSION IS PROPOSED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF COVENTRY REGULATIONS, REQUIREMENTS AND STANDARDS.
 - 127 +/- LF OF BITUMINOUS DRIVEWAYS ARE PROPOSED FOR PROPOSED LOTS 1 AND 3
 - THERE ARE NO CATCH BASINS OR DRAINAGE MANHOLES PROPOSED
 - PROPOSED WATER LINES
 - 325 +/- LF OF 8" WATER LINE
 - 10 +/- LF OF 6" WATER LINE FOR NEW HYDRANT
 - 194 +/- LF OF 1" WATER LINE SERVICES
 - THERE ARE NO DRAIN LINES PROPOSED
 - THE NUMBER AND SPECIES OF STREET TREES ARE INCLUDED DIRECTLY ON THE LANDSCAPE PLAN PREPARED BY OTHERS
 - OWTS PROPOSED FOR LOTS 1 AND 3 PREPARED BY OTHERS INCLUDE 4" SANITARY PVC LINES, REFERENCE SAID PLANS PREPARED BY OTHERS FOR ADDITIONAL DETAILS
 - ONE (1) PUBLIC HYDRANT IS PROPOSED FOR THE PROJECT AS REQUIRED BY THE FIRE MARSHAL AS SHOWN ON THE PLANS LOCATED IN THE VICINITY OF THE SITE

KCWA REQUIRED STATEMENT

THE THRUST BLOCK DETAIL AND SIZING HAVE BEEN CHECKED AND VERIFIED.

THIS PLAN SHEET MEETS ALL REQUIREMENTS OF KCWA AND HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.

Patricia K. Walker 11/14/25
PATRICIA K. WALKER, PE, RIPE #5331

WEL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817

Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com

PATRICIA K. WALKER

No. 5331

REGISTERED PROFESSIONAL ENGINEER

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
COVENTRY, RI 02816

APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT
BEN GASIOR
BEN@NBGCONSTRUCTION.COM
401-487-1720

LEGAL COUNSEL
THOMAS P. CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816
TIC@NDRGB.COM
401-828-5800

UTILITIES PLAN

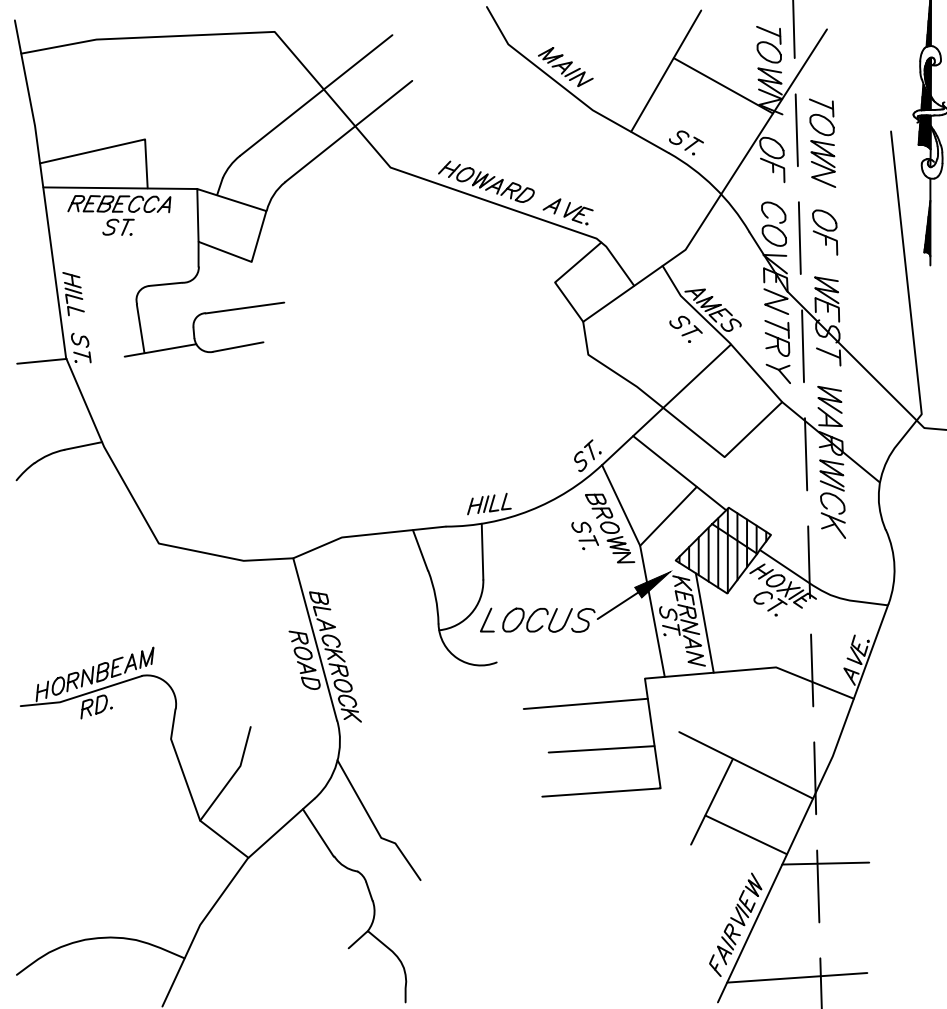
HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

SCITUATE SURVEYS, INC.
410 TIOQUE AVENUE
COVENTRY, RHODE ISLAND 02816
401.821.8101
LAND SURVEYING / MAPPING / SITE PLANNING

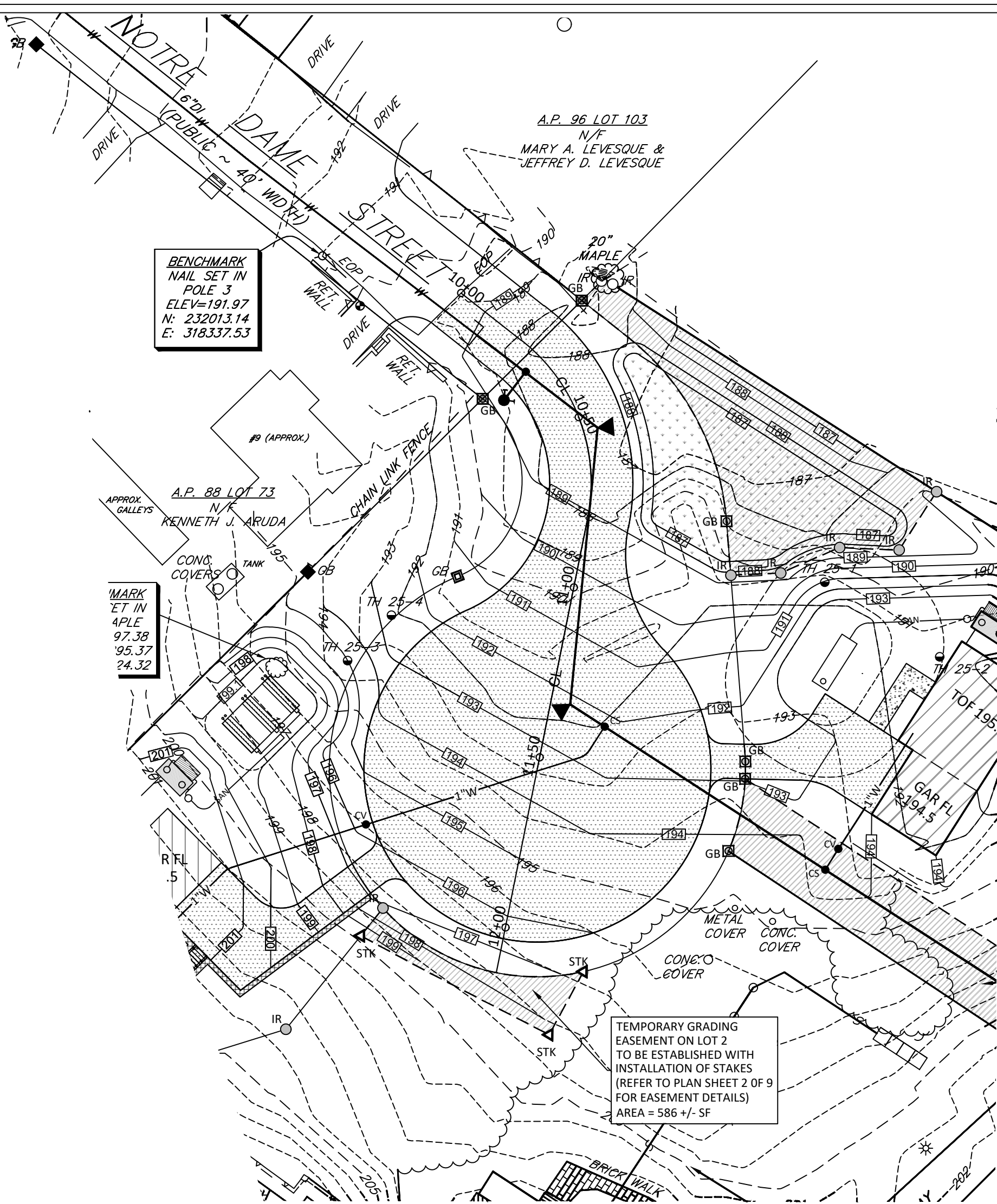
STATEMENT OF JURISDICTION
I, JULIE MICHELLE RAMOND, A PROFESSIONAL LAND SURVEYOR, NO. 2540, DO HEREBY CERTIFY THAT I AM THE SURVEYOR OF THIS PROJECT AND THAT I AM A MEMBER OF THE PROFESSIONAL LAND SURVEYORS ASSOCIATION OF RHODE ISLAND.

DATE: NOVEMBER 14, 2025 REVISION:

SHEET 3 OF 9

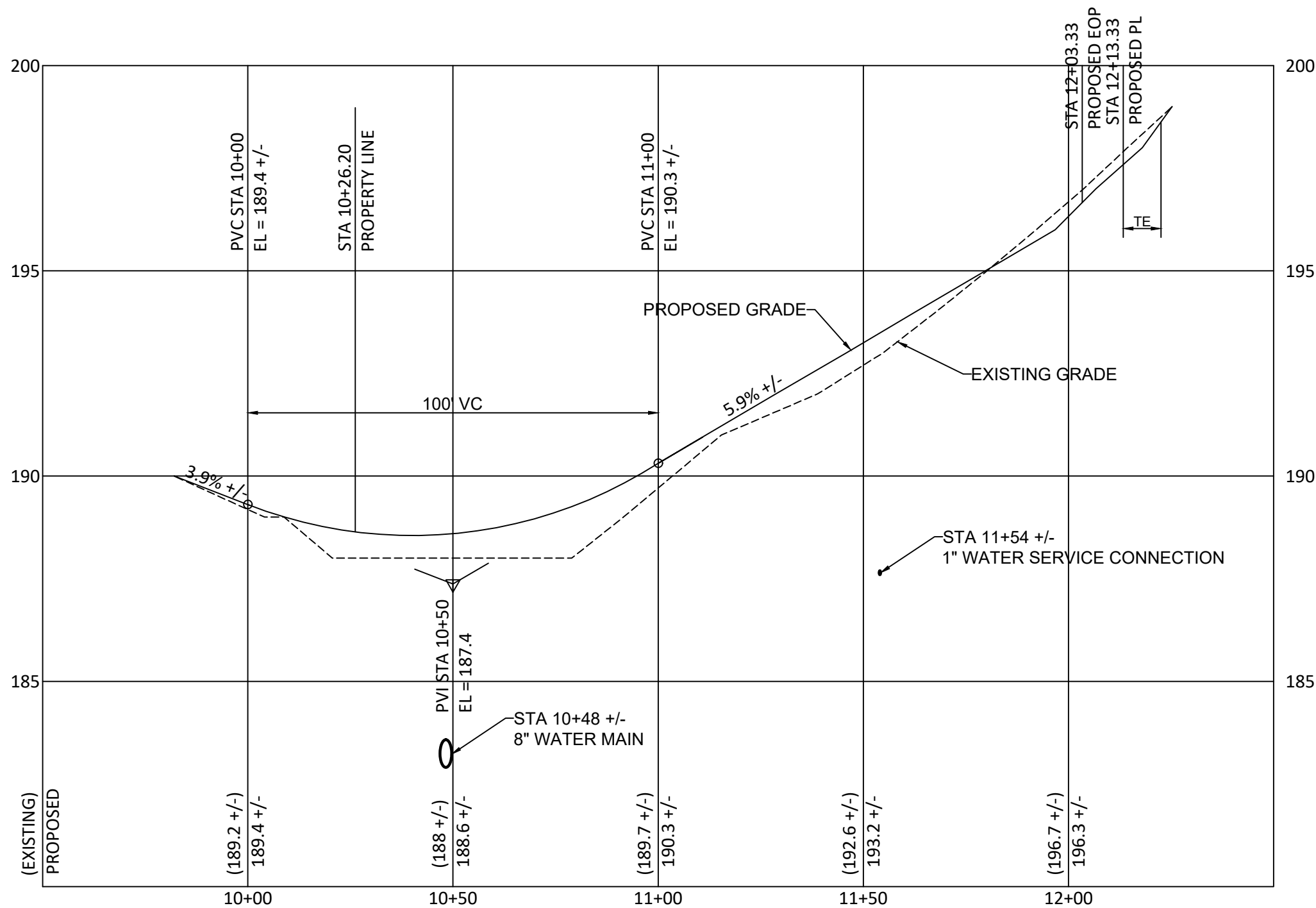


LOCATION PLAN NOT TO SCALE



NOTRE DAME STREET EXTENSION PLAN

SCALE: 1" = 30'



NOTRE DAME STREET EXTENSION PROFILE

SCALE: HORIZ 1" = 30'
VERT 1" = 3'

NOTE: WATER LINE IS NOT LOCATED
ALONG ROADWAY CENTERLINE. ONLY
WATER LINE CROSSINGS SHOWN

ROADWAY CONSTRUCTION NOTES

ALL ROADWAY IMPROVEMENTS SHALL CONFORM TO THE TOWN OF COVENTRY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS APPLICABLE, INCLUDING BUT NOT LIMITED TO:

1. ARTICLE XIII - DEVELOPMENT DESIGN AND PUBLIC IMPROVEMENT STANDARDS INCLUDING:

- ROADWAY EXTENSION SHALL BE A CONTINUATION OF NOTRE DAME STREET
 - STREET LIGHTING NOT REQUIRED BY CENTRAL COVENTRY FIRE DEPARTMENT PER COORDINATION EFFORTS
 - NO STREET NAME OR TRAFFIC SIGNS ARE REQUIRED FOR NOTRE DAME STREET EXTENSION
 - STREET TREES AND OTHER LANDSCAPING MEASURES SHALL BE INSTALLED PER TOWN REQUIREMENTS BY THE DEVELOPER
 - MONUMENTATION SHALL BE INSTALLED PER TOWN REQUIREMENTS PER TOWN REQUIREMENTS BY THE DEVELOPER AS LOCATED BY THE PROJECT LAND SURVEYOR
 - NO SIDEWALKS ARE REQUIRED PER PRE-APPLICATION REVIEW
 - NO BICYCLE PATHS ARE PROPOSED
 - NO CURBING IS PROPOSED AS PART OF THE PROJECT
 - EASEMENTS ARE PROPOSED AS FOLLOWS:
 - KCWA EASEMENTS FOR THE WATER MAIN INSTALLATION CONNECTION FROM HOXIE COURT TO NOTRE DAME STREET
 - TEMPORARY GRADING EASEMENT
 - TOWN DRAINAGE EASEMENT FOR INSTALLATION AND MAINTENANCE OF THE INFILTRATION BASIN
 - DRAINAGE HAS BEEN DESIGNED UTILIZING THE TR-55 METHODOLOGY TO ENSURE THE EXISTING DRAINAGE PATTERN IS MAINTAINED AND THAT NO INCREASE IN RUNOFF RATE OR VOLUME RESULTS FROM THE PROPOSED IMPROVEMENTS
 - UNDERGROUND ELECTRIC AND CABLE SERVICE SHALL BE INSTALLED AS COORDINATED WITH RI ENERGY AND THE APPLICABLE CABLE COMPANY
 - WATER LINE EXTENSION AND PROPOSED SERVICES, AND THE PROVISION OF A PUBLIC HYDRANT SHALL BE INSTALLED AS APPROVED BY KCWA
 - NO PUBLIC GAS IS AVAILABLE TO THE PROJECT AREA
 - PUBLIC HYDRANT IS PROPOSED NEAR THE NOTRE DAME STREET EXTENSION AS REQUIRED BY THE CENTRAL COVENTRY FIRE DEPARTMENT AS COORDINATED
 - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL A STABLE GROUND COVER SURFACE IS ESTABLISHED AS APPROVED BY THE TOWN ENGINEER AND IN ACCORDANCE WITH THE TOWN'S REQUIRED PERMIT
2. ARTICLE XIV - SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS INCLUDING:
- ALL ROADWAY CONSTRUCTION ELEMENTS SHALL BE APPROVED BY THE TOWN ENGINEER AND DIRECTOR OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION
 - UPON COMPLETION OF ALL REQUIRED IMPROVEMENTS, THE DEVELOPER SHALL FURNISH AS-BUILT DRAWINGS OF SUCH IMPROVEMENTS PREPARED BY A REGISTERED LAND SURVEYOR IN ACCORDANCE WITH ALL TOWN REQUIREMENTS.
 - THE ENTIRE RIGHT-OF-WAY AREA SHALL BE CLEARED AND GRUBBED. ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE SUBDIVISION
 - EARTH EXCAVATION SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OF CLAY, SAND, SUBSOIL, PEAT, LOAM, AND OTHER UNACCEPTABLE MATERIALS WITHIN THE LIMITS OF THE ROADWAY, DRAINAGE OR OTHER EXCAVATION. THE BACKFILLING OF ALL STUMP HOLES AND OTHER SURFACE IRREGULARITIES WILL BE FILLED WITH BANK RUN GRAVEL. ALL EXCAVATIONS SHALL BE TO A DEPTH AND CROSS-SECTION AS SHOWN ON THE APPROVED PLANS, PROFILES, AND CROSS-SECTION DRAWINGS, AND AS DIRECTED BY THE TOWN ENGINEER.
 - ROCK AND LEDGE EXCAVATION SHALL BE TO A DEPTH AT LEAST TWELVE (12) INCHES BELOW SUBGRADE.
 - WHERE GROUND WATER IS ENCOUNTERED ADEQUATE DRAINAGE SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE TOWN ENGINEER.
 - MATERIALS.

- PREPARATION OF SUB-BASE. ALL CURBING, UNDERGROUND SEWER AND WATER LINES, UTILITIES, LATERALS, SERVICE LINES AND RELATED FACILITIES SHALL BE INSTALLED PRIOR TO ANY STREET CONSTRUCTION. TRENCH BACKFILL MUST CONSIST OF CLEAN GRAVEL BORROW, COMPACTED TO OPTIMUM DENSITY IN SIX (6) INCH LIFTS. AT LEAST THIRTY (30) DAYS FOLLOWING FILLING AND, COMPACTION OF ALL UTILITY TRENCHES, THE SUBBASE SHALL BE THOROUGHLY COMPACTED WITH A TEN-TON ROLLER OR ITS EQUIVALENT, TRUE TO THE LINES, GRADES AND CROSS-SECTIONS SHOWN ON THE APPROVED DRAWINGS.
- BASE COURSE. THIS SHALL CONSIST OF BANK RUN GRAVEL, OF A QUALITY ACCEPTABLE TO THE TOWN ENGINEER, WITH NO STONES GREATER THAN 6". AFTER THE SUBBASE HAS BEEN PROPERLY PREPARED, THE BASE COURSE OF BANK RUN GRAVEL SHALL BE SPREAD FOR THE FULL WIDTH AND IN SUCH VOLUME AS TO PROVIDE AN EIGHT-INCH CROSS-SECTION AFTER COMPACTION WITH A TEN-TON ROLLER.
- BASE COURSE SURFACE. THIS SHALL CONSIST OF PROCESSED GRAVEL OF A QUALITY ACCEPTABLE TO THE TOWN ENGINEER AND MEETING RIDOT STANDARD M.01.09, WITH NO STONES GREATER THAN 1 1/2". FOLLOWING THOROUGH COMPACTION OF THE BASE COURSE, CRUSHED BANK RUN GRAVEL SHALL BE SPREAD FOR THE FULL WIDTH TO A DEPTH OF FOUR (4) INCHES AFTER COMPACTION WITH A TEN-TON ROLLER.
- ASPHALT BINDER COURSE. THIS SHALL CONSIST OF BITUMINOUS PAVEMENT (HOT MIX), BINDER COURSE MEETING R.I. DEPARTMENT OF TRANSPORTATION STANDARD M.03. THE BITUMINOUS PAVEMENT (HOT MIX), BINDER COURSE SHALL BE APPLIED AT A TEMPERATURE OF TWO HUNDRED FIFTY (250) TO THREE HUNDRED FIFTY (350) DEGREES FAHRENHEIT BY MEANS OF A SELF PROPELLED PAYER. SUCH MATERIAL SHALL BE PLACED IN SUFFICIENT QUANTITY TO PROVIDE A MINIMUM COMPACTED CROSS-SECTION OF ONE AND ONE-HALF (1 1/2) INCHES. THE BINDER COURSE SHALL BE COMPACTED WITH A TEN-TON ROLLER EQUIPPED WITH A SPRINKLER SYSTEM TO WET THE WHEELS. COMPACTION SHALL BE IN ACCORDANCE WITH RIDOT SPECIFICATION 401.03.11.
- SURFACE COURSE. THIS SHALL CONSIST OF BITUMINOUS PAVEMENT (HOT MIX), MEDIUM TEXTURE, TYPE I-1, MEETING R.I. DEPARTMENT OF TRANSPORTATION STANDARDS. THE ASPHALT BINDER SHALL BE SWEEPED CLEAN OF ALL SAND, AND DEBRIS PROTRUSION SHALL BE REMOVED, AND ANY HOLES, RIPPLES OR UNEVENNESS IN THE SURFACE SHALL BE BROUGHT BACK TO TRUE LINE AND CROSS-SECTION BY THE SPOT APPLICATION AND PROPER COMPACTION OF CLASS 1 MIX. THE BITUMINOUS PAVEMENT (HOT MIX), TYPE I-1, SHALL BE APPLIED AT A TEMPERATURE OF THREE HUNDRED TEN (310) TO THREE HUNDRED FIFTY DEGREES FAHRENHEIT BY MEANS OF A SELF PROPELLED PAYER WITH A COMPACTOR. SUCH MATERIAL SHALL BE PLACED IN SUFFICIENT QUANTITY TO PROVIDE A MINIMUM COMPACTED CROSS-SECTION OF ONE AND ONE-HALF (1 1/2) INCHES. THE SURFACE COURSE SHALL BE COMPACTED WITH A TEN-TON ROLLER EQUIPPED WITH A SPRINKLER SYSTEM TO WET THE WHEELS. COMPACTION SHALL BE IN ACCORDANCE WITH RIDOT SPECIFICATION 401.03.11. TRAFFIC PASSING OVER CONSTRUCTED STREETS SHALL BE LIMITED TO WHEELED VEHICLES, AND TRACKED EQUIPMENT SHALL NOT BE PERMITTED OVER PAVED STREETS, CURBS, AND SIDEWALKS. THE DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY VIOLATION OF THIS REQUIREMENT WITHIN THE SUBDIVISION AND WILL REPAIR TO THE SATISFACTION OF THE TOWN ENGINEER. BITUMINOUS MATERIAL SHALL NOT BE PLACED ON ANY WET SURFACE OR WHEN THE TEMPERATURE OF THE AIR IS LESS THAN THIRTY-THREE (33) DEGREES FAHRENHEIT, OR ANY OTHER UNFAVORABLE WEATHER CONDITIONS AS MAY BE DETERMINED BY THE TOWN ENGINEER.

- ALL DRIVEWAY APRONS SHALL BE PAVED TO THE RIGHT OF WAY LINE, AS SPECIFIED IN B. 6. STREET CONSTRUCTION.
- THE DEVELOPER SHALL, AT ALL TIMES DURING CONSTRUCTION, MAINTAIN THE SUBDIVISION ROADS IN PASSABLE CONDITION, AND SHALL TAKE APPROPRIATE MEASURES TO ELIMINATE THE CREATION OF A DUST NUISANCE DURING CONSTRUCTION. THIS MAY REQUIRE THE FREQUENT APPLICATION OF CALCIUM CHLORIDE. NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED UNTIL THE ASPHALT BINDER HAS BEEN PLACED.
- EARTHWORK AND DRAINAGE. ALL NECESSARY SURFACE AND SUBSURFACE STORM DRAINAGE STRUCTURES AND FACILITIES SHALL CONFORM TO THE STANDARD DETAILS FOR ROAD AND BRIDGE CONSTRUCTION, PUBLISHED BY THE STATE OF RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES, CURRENT EDITION.
- THE ROADWAY CROSS SECTION SHALL FOLLOW THE GRADING AS SHOWN. THE ROADWAY SHALL HAVE A REVERSE CROWN OF 2% TO DIRECT RUNOFF TO THE PROPOSED INFILTRATION BASIN TO FOLLOW THE EXISTING DRAINAGE PATTERN.

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
COVENTRY, RI 02816

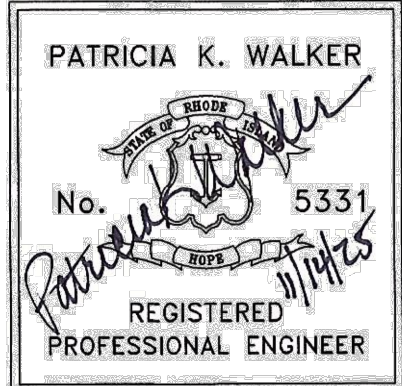
APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT
BEN GASIOR
BEN@NBGCONSTRUCTION.COM
401-487-1720

LEGAL COUNSEL
THOMAS P. CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816
TIC@NDGRB.COM
401-828-5800

WEL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com



NOTRE DAME STREET EXTENSION

PLAN & PROFILE

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

PROJECT NO.: SS3148
DRAWING NO.: SS5218
DRAWN BY: SSI / WEL

SHEET
6 OF 9

SCALE: 1"=30' DATE: NOVEMBER 14, 2025 REVISION:

CERTIFICATION
THIS DRAWING WAS PREPARED AND THE PLAN WAS REVIEWED AND APPROVED BY THE TOWN ENGINEER AND DIRECTOR OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION
ON NOVEMBER 28, 2015, AS FOLLOWS:

TYPE OF SURVEY: BOUNDARY SURVEY
TYPE OF SURVEY: BOUNDARY SURVEY
TYPE OF SURVEY: BOUNDARY SURVEY

STATEMENT OF PURPOSE
THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESULTS OF A BOUNDARY RETRACEMENT SURVEY AND TO SHOW
A PROPOSED IMPROVEMENT.

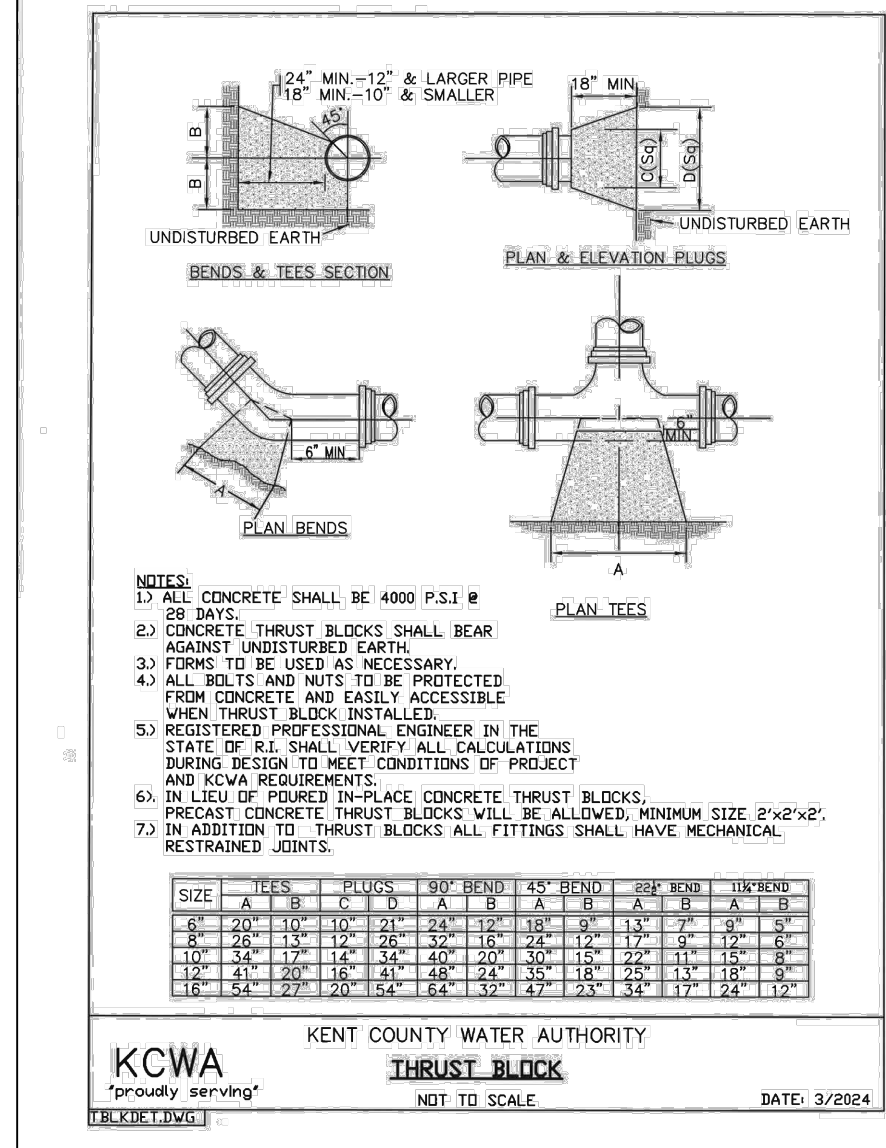
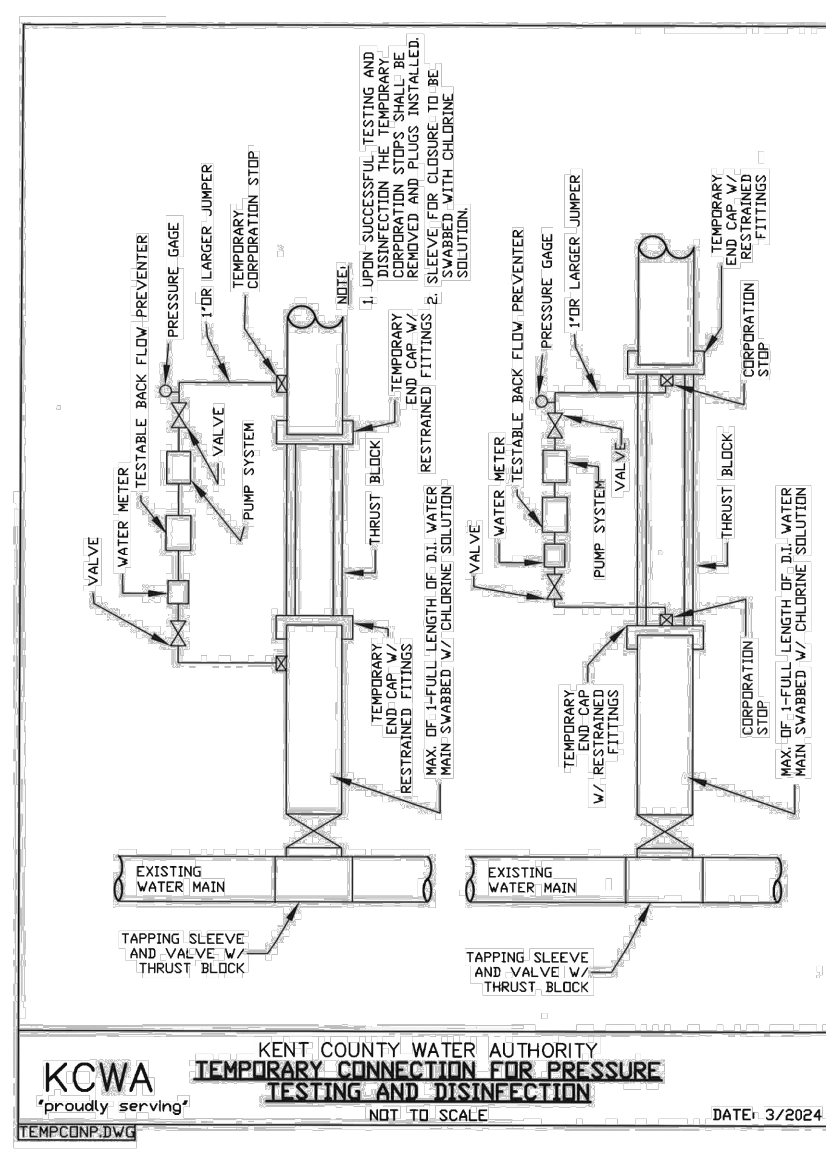
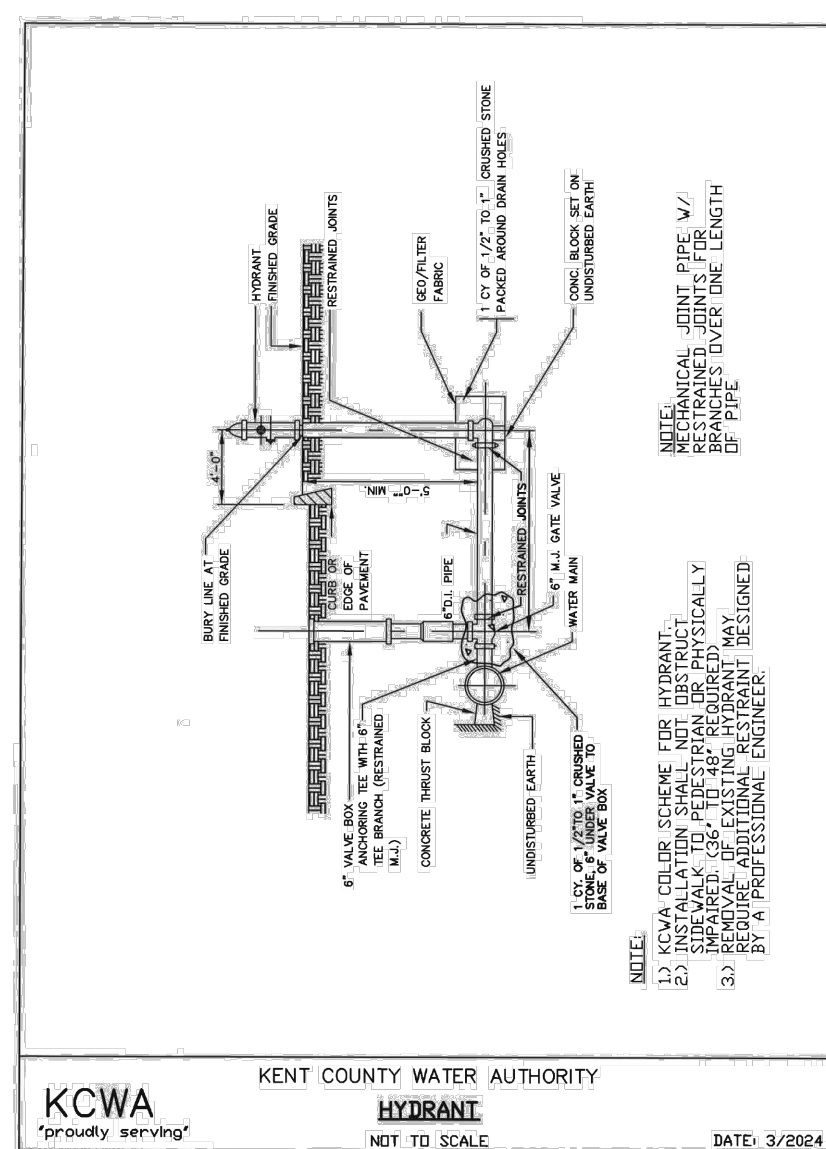
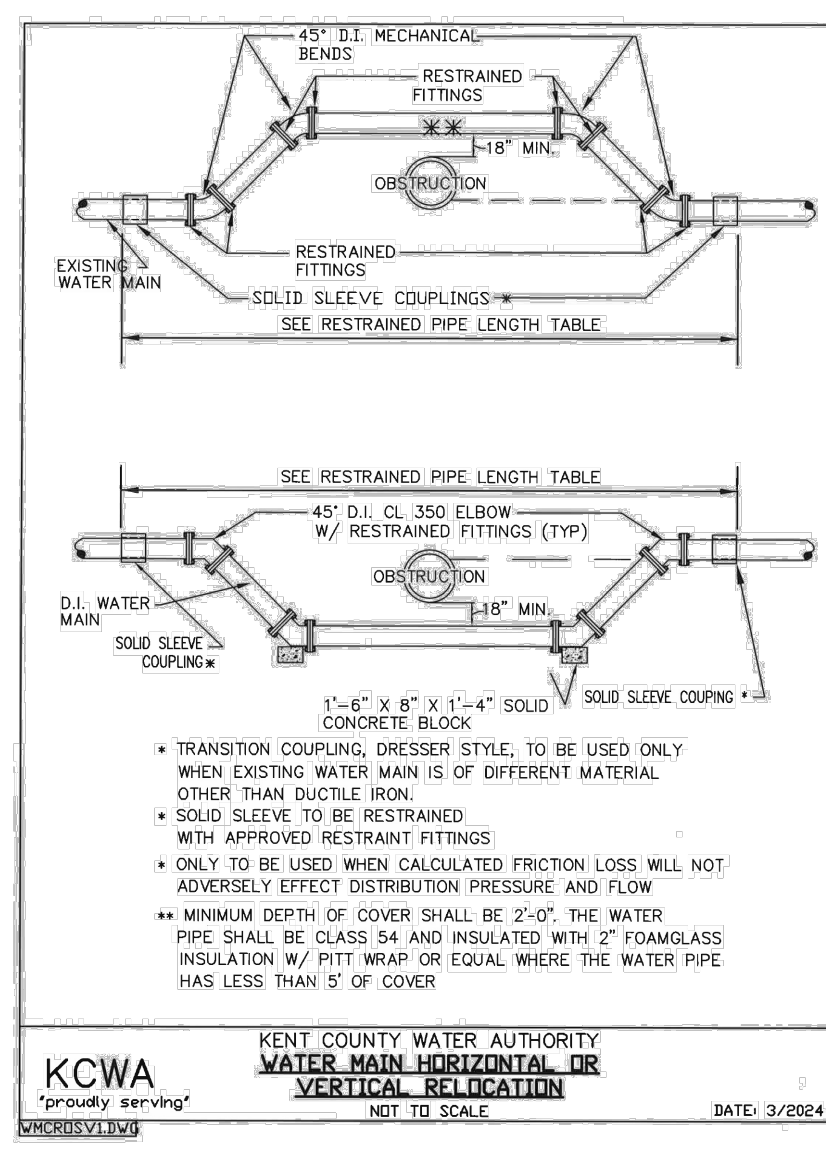
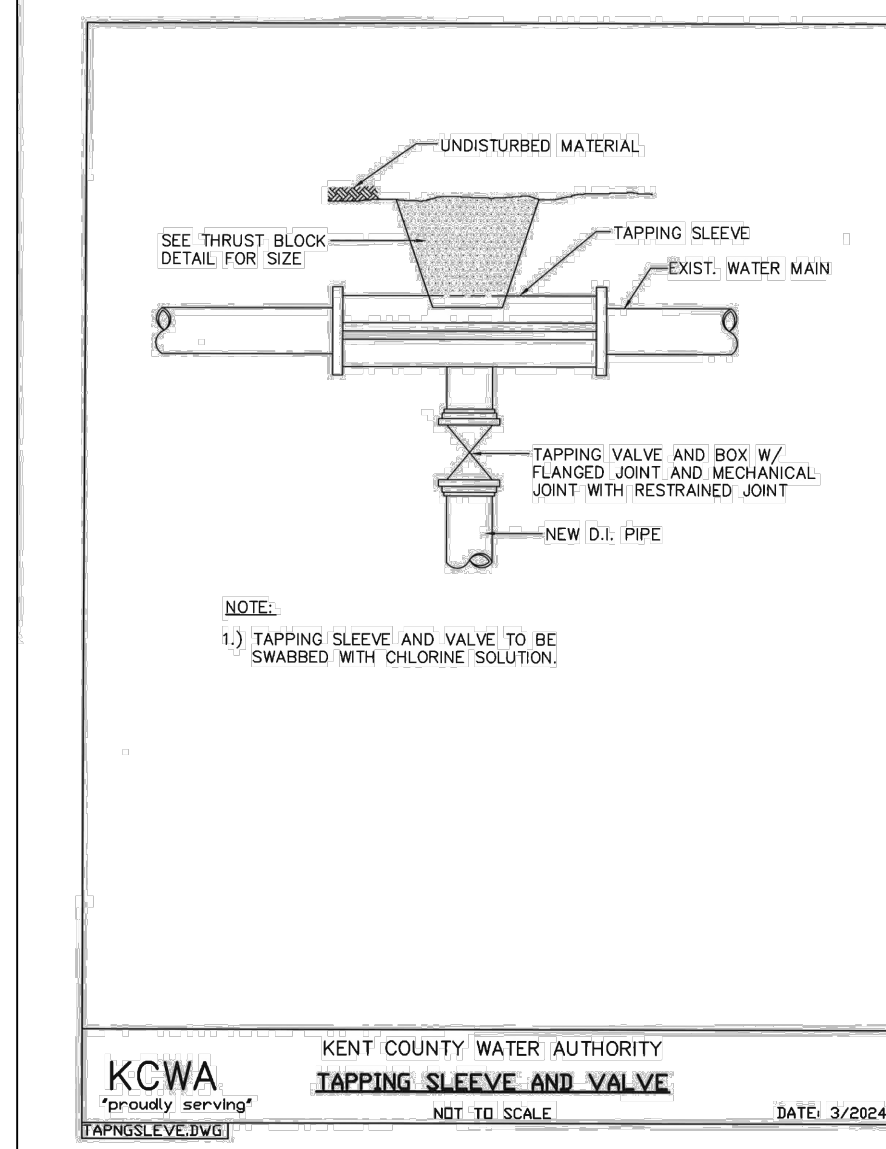
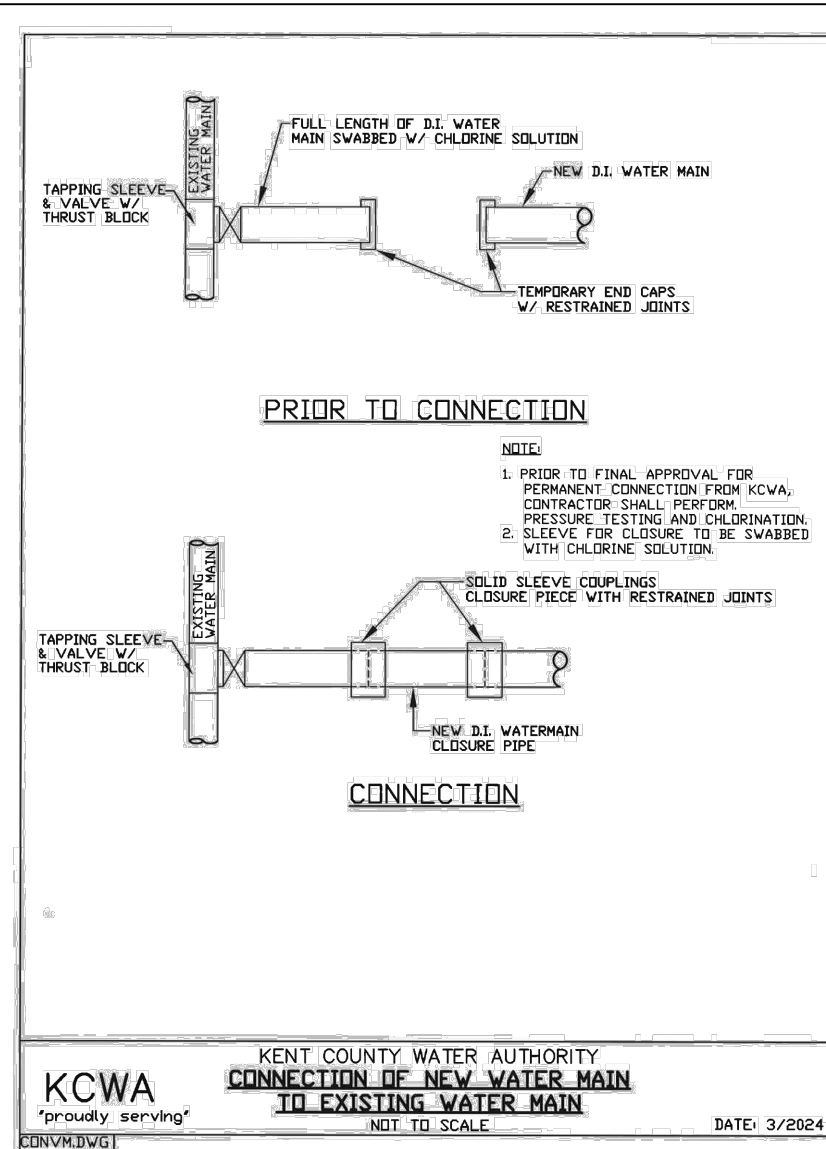
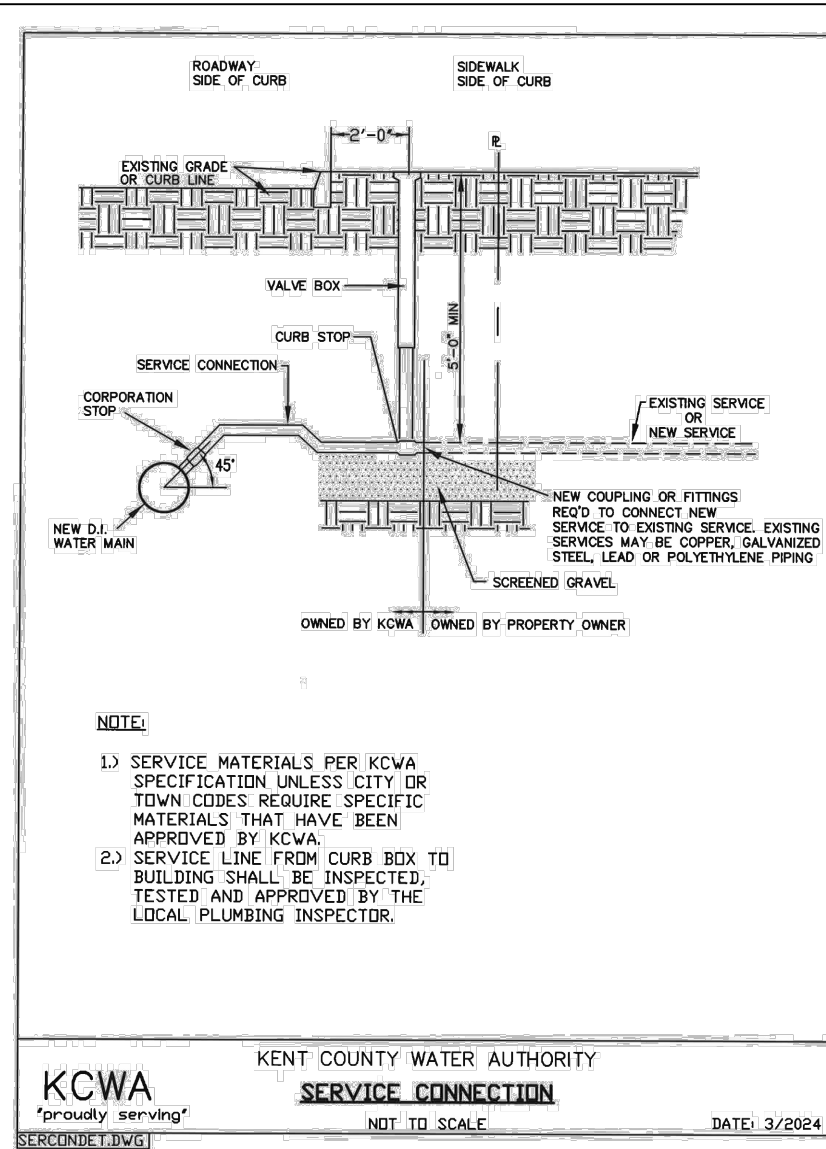
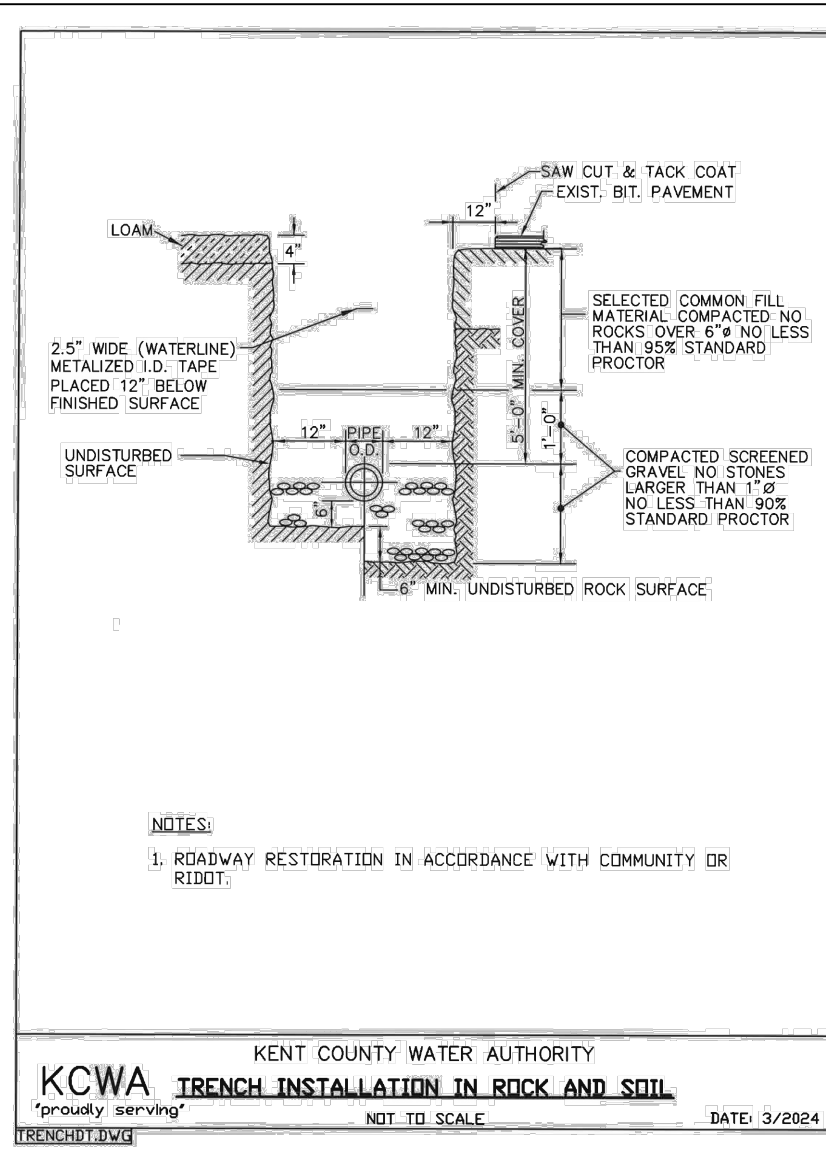
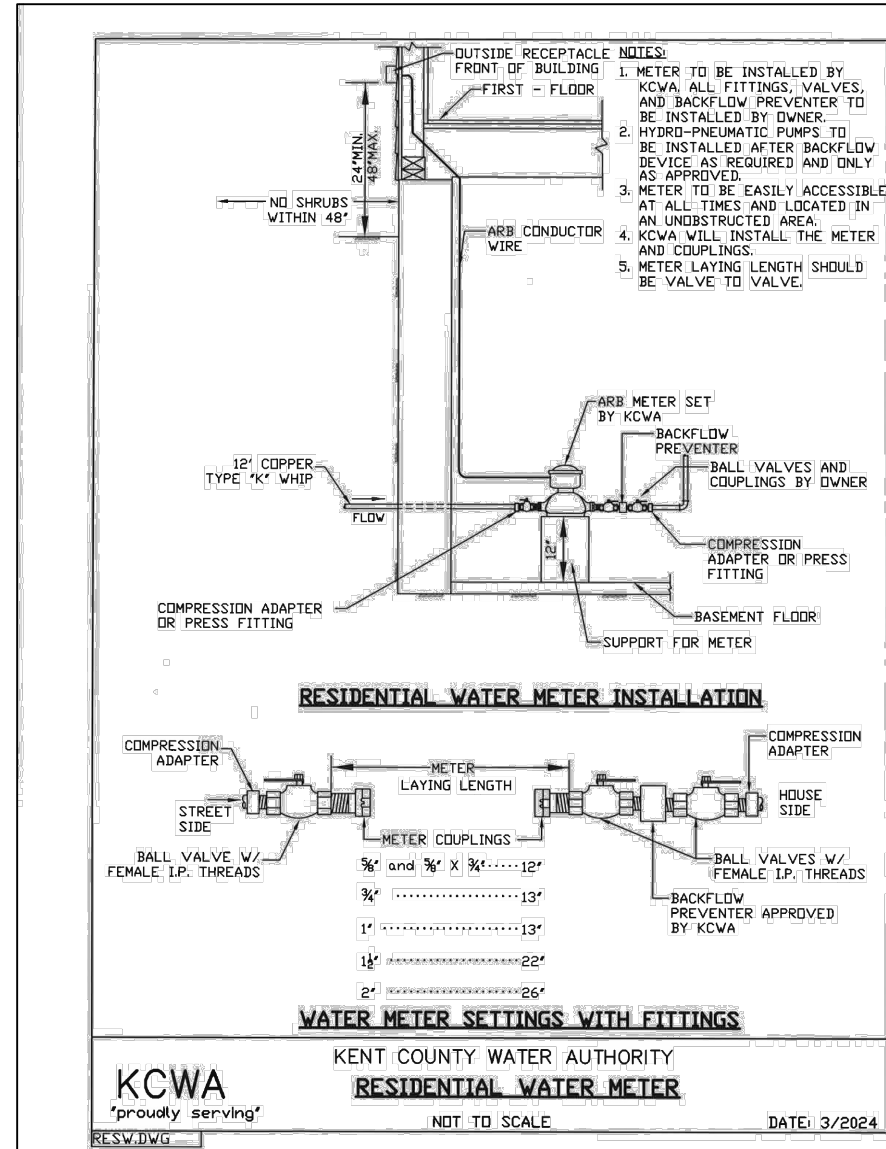
DATE: MARCH 14, 2015
BY: JULIE MOORE RAINOVI
PROFESSIONAL
LAND SURVEYOR

SCITUATE SURVEYS, INC.

410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101

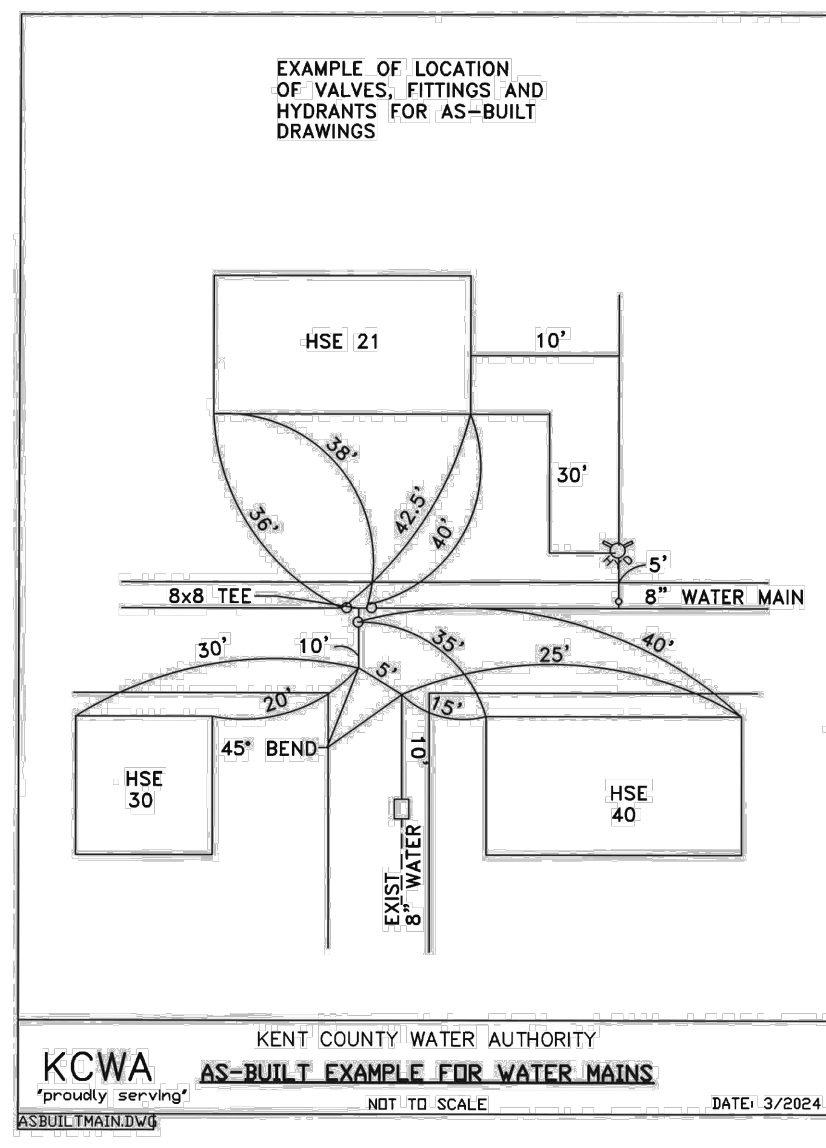
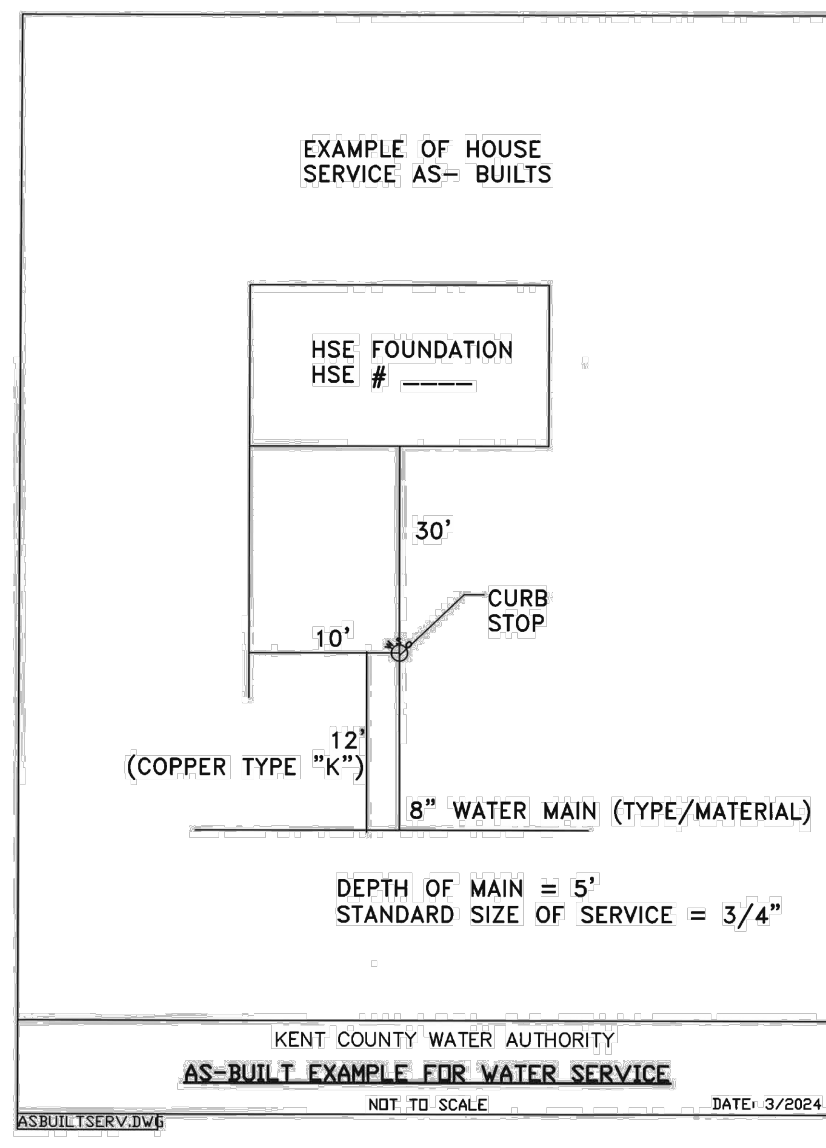
LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 30 15 0 30 60 90



RESTRAINED PIPE LENGTHS FOR RESTRAINED FITTINGS	
FITTING	RESTRAINED LENGTH
12" DEAD END	55'
12" x 12" TEE	44' (ON BRANCH)
12" x 10" TEE	34' (ON BRANCH)
12" x 8" TEE	27'
12" x 6" TEE	19'
12" x 4" TEE	14'
12" 45° BEND	10'
12" 22-1/2° BEND	9'
12" 11-1/4° BEND	5'
12" x 8" REDUCER	26' (ON 12")
12" x 6" REDUCER	40' (ON 12")
12" x 4" REDUCER	48' (ON 12")
8" DEAD END	35'
8" x 8" TEE	19' (ON BRANCH)
8" x 6" TEE	17'
8" x 4" TEE	13'
8" 45° BEND	7'
8" 22-1/2° BEND	4'
8" 11-1/4° BEND	2' (ON 8")
8" x 8" REDUCER	17' (ON 8")
8" x 6" REDUCER	26'
8" x 4" REDUCER	30'
6" DEAD END	19' (ON BRANCH)
6" x 6" TEE	13'
6" x 4" TEE	10'
6" 45° BEND	7'
6" 22-1/2° BEND	4'
6" 11-1/4° BEND	2'
6" x 6" REDUCER	15' (ON 6")

Kent County Water Authority
"proudly serving"
NOT TO SCALE
DATE: 03/2024



WATER NOTES

- 8" DI WATER MAIN SHALL BE PROVIDED TO CONNECT EXISTING DEAD END MAINS ON HOXIE COURT AND NOTRE DAME STREET WITHIN EASEMENTS ON PROPOSED LOTS 1 AND 2 OF THE HOXIE COURT PLACE SUBDIVISION. REFERENCE PLAN SHEET 2 OF 9 FOR EASEMENTS INFORMATION. PROJECT SURVEYOR SHALL PREPARE FINAL EASEMENTS PLAN IN ACCORDANCE WILL ALL APPLICABLE KCWA, TOWN AND STATE REQUIREMENTS.
- NEW WATER SERVICES TO PROPOSED RESIDENCES SHALL BE METERED AND CONSTRUCTED IN ACCORDANCE TO ALL APPLICABLE KCWA, TOWN AND STATE REQUIREMENTS.
- WATER SERVICE FOR EACH PROPOSED RESIDENCE SHALL BE IN ACCORDANCE WITH APPLICABLE PLUMBING CODE REQUIREMENTS.
- IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, TOWN OF COVENTRY AND KENT COUNTY WATER AUTHORITY (KCWA) PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE KCWA AND TOWN/STATE DPW.
- ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE KCWA RULES, REGULATIONS, SPECIFICATIONS, AND DETAILS.
- WATER PIPE SHALL BE KCWA APPROVED MATERIAL AND IN ACCORDANCE WITH AWWA STANDARDS.
- ALL FITTINGS SHALL BE KCWA APPROVED STYLE MECHANICAL JOINT (BY AMERICAN MANUFACTURER ONLY).
- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS, AND MATERIALS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, KCWA RECOMMENDATIONS, AWWA STANDARDS, AND GOVERNMENTAL REQUIREMENTS.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST RESTRAINTS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- THRUST RESTRAINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
- LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AWWA RECOMMENDATIONS, KCWA REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST RESTRAINTS, FITTINGS, CASTINGS, ETC. SHALL BE KCWA APPROVED MATERIALS AND METHODS (AT THE TIME OF CONSTRUCTION).
- WATER LINE TRENCH TO BE AWWA TYPE 5. SAW CUTTING AND MATCHING WILL BE REQUIRED WHERE THE TRENCH IS LOCATED WITHIN EXISTING PAVEMENT. TRENCH PATCHING WILL CONFORM TO RIDOT, TOWN OF COVENTRY, AND KCWA REGULATIONS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND VALIDATIONS OF STANDARDS AND SPECIFICATIONS AS REQUIRED BY KCWA.
- METHODS OF TRENCHING, BEDDING, INSTALLATION, BACKFILLING, TESTING AND CHLORINATING OF WATER FACILITIES SHALL CONFORM TO KCWA REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS-BUILT PLANS DETAILING LOCATION OF CONNECTIONS, TEES, AND VALVES AS REQUIRED BY AND IN CONFORMANCE WITH KCWA REQUIREMENTS AND SHALL BE AT A SCALE IN ACCORDANCE WITH SECTION 3.13 OF THE KCWA RULES AND REGULATIONS AND SHALL BE PREPARED BY A RI PROFESSIONAL LAND SURVEYOR.
- VALVES TO BE KCWA APPROVED TYPES.
- THE NEW WATER LINE SERVICE CONNECTION SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY SEWER LINE OR STRUCTURES AND SHALL BE LOCATED A MINIMUM OF 5 FEET FROM ANY OTHER UTILITY LINES OR STRUCTURES.
- IN LOCATIONS WHERE THE SEWER LINE IS WITHIN 10 FEET HORIZONTAL AND/OR 18 INCHES VERTICAL OF ANY NEW WATER LINES, THE SEWER LINE SHALL BE SLEEVED OR DUCTILE IRON IN ACCORDANCE WITH KCWA RULES, REGULATIONS, AND STANDARDS.
- RESTRAINING DEVICES SHALL BE UTILIZED ON ALL MAINS UNDER THE FOLLOWING CONDITIONS: PIPELINE DIRECTION CHANGES (TEES, BENDS), VERTICAL AND HORIZONTAL, DEAD END LINES (CAPS OR PLUGS), TRANSITION PIECES (REDUCERS), VALVES ON DEAD END LINES, AND HYDRANTS.
- THRUST BLOCKS SHALL BE CONSTRUCTED FROM CONCRETE 3000 PSI AT 28 DAYS, SIZED ACCORDING TO THE SIZE OF PIPELINE, TYPE OF FITTING, WATER PRESSURE AND THE CHARACTERISTICS OF THE SOIL. BEARING SURFACE SHALL BE AGAINST UNDISTURBED SOLID EARTH FOR THE REQUIRED BEARING AREA. THE CONCRETE SHALL BE PROPERLY FORMED AS TO SLOPE FOR THE GIVEN APPLICATION AND BEARING WIDTH. THE CONCRETE SHALL BE IN CONTACT ONLY WITHIN THE FITTING, NOT WITH THE PIPE ITSELF, FASTENERS OR THE JOINT. CONCRETE CURING TIME SHALL BE A MINIMUM OF 5 DAYS.
- THRUST BLOCKS SHALL BE DESIGNED TO WITHSTAND THE FORCE IMPARTED BY THE HYDRAULIC INFLUENCE ENCOUNTERED WITHIN THE MAIN. MINIMUM 1-1/2 TIMES THE ANTICIPATED WORKING PRESSURE OF THE MAIN, BUT NOT LESS THAN 150 PSI. MAXIMUM LATERAL BEARING CAPACITY SHALL BE 1500 LB/SF.
- STONE, TIMBER, CONCRETE BLOCK OR ANY MATERIALS THAT DETERIORATE ARE STRICTLY FORBIDDEN TO USE AS PERMANENT THRUST BLOCK OR RESTRAINT.
- OPTIONAL THRUST RESTRAINT SHALL BE VIA RESTRAINED JOINT, DUCTILE IRON PIPE MEETING ANSI/ AWWA C151/A21.11 AND ANSI/AWWA C11/A21.11 AND APPROVED BY THE KCWA GENERAL MANAGER/CHIEF ENGINEER. RESTRAINED JOINT PIPE LENGTHS (RESTRAINED LENGTH) SHALL BE SUFFICIENT TO RESTRAIN THRUST IMPARTED BY 1-1/2 TIMES THE ANTICIPATED WORKING PRESSURE, BUT NOT LESS THAN 150 PSI WITH A 1.5 FACTOR OF SAFETY.
- THE USE OF TIE RODS MAY BE ALLOWED BY WRITTEN PERMISSION OF THE KCWA GENERAL MANAGER/CHIEF ENGINEER. THIS TYPE OF RESTRAINT CONFIGURATION WILL ONLY BE CONSIDERED IN SITUATIONS WHERE APPROVED TYPES OF RESTRAINT SYSTEMS CANNOT BE USED. IF ALLOWED, THEY SHALL BE OF SUFFICIENT STRENGTH TO WITHSTAND FORCES IMPARTED TO THEM. A FACTOR OF SAFETY SHALL BE 2.0 FOR ALL ROD THICKNESS CALCULATIONS. ALL RODS SHALL BE STAINLESS STEEL OR PROTECTED FROM CORROSION WIT TWO COATS OF EPOXY PAINT.
- APPROVED THRUST RESTRAINT SHALL BE BY AN APPROVED STYLE RESTRAINING GLAND SYSTEM UTILIZED IN COMBINATION WITH MECHANICAL JOINT PIPE AND FITTINGS. ALL CALCULATIONS MUST BE CONTAINED IN THE APPLICATION SUBMISSION AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURING REQUIREMENTS FOR LENGTH, FITTING AND TYPE OF RESTRAINT.

KCWA REQUIRED STATEMENT

THE THRUST BLOCK DETAIL AND SIZING HAVE BEEN CHECKED AND VERIFIED.

THIS PLAN SHEET MEETS ALL REQUIREMENTS OF KCWA AND HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND HAVE BEEN THOROUGHLY CHECKED BY ME.

Patricia K. Walker 11/14/25
PATRICIA K. WALKER, PE, PIPE #5331

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
COVENTRY, RI 02816

APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT
BEN GASIOR
BEN@NBGCONSTRUCTION.COM
401-487-1720

LEGAL COUNSEL
THOMAS P. CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816
TIC@NBGR.COM
401-828-5800

WATER NOTES & DETAILS

HOXIE COURT PLACE

AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

DATE: NOVEMBER 2025

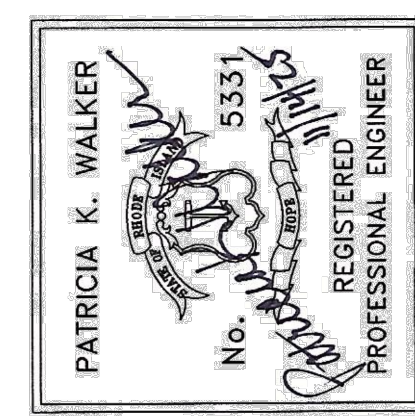
SHEET: WND-1

SHEET 7 OF 9

REVISIONS

DESCRIPTION

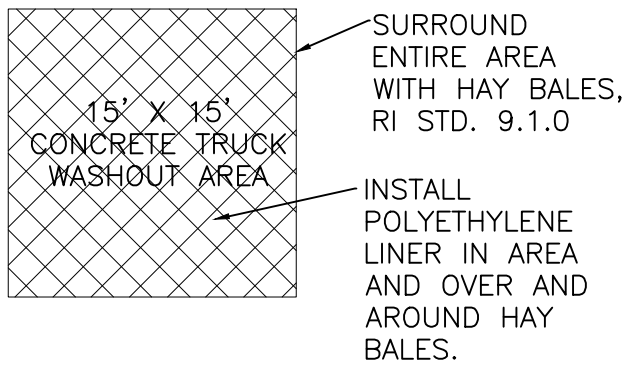
DATE



W^EL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com

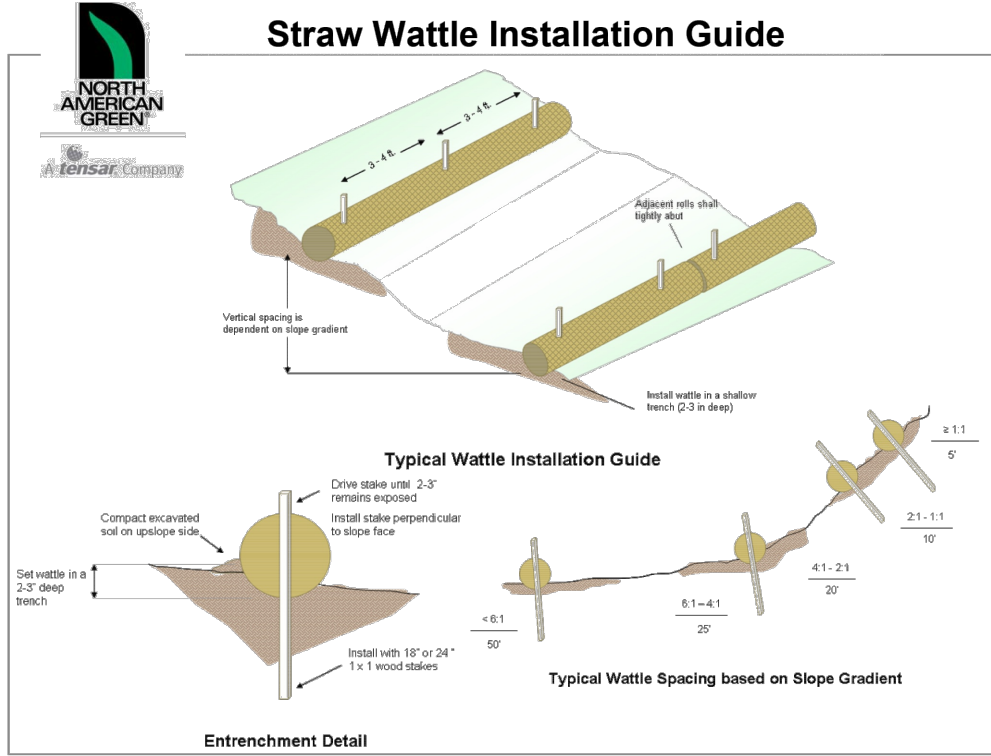
SHEET 8 OF 9



CONCRETE TRUCK WASHOUT AREA DETAIL & NOTES NOT TO SCALE

CONCRETE TRUCK WASHOUT AREA NOTES:

1. LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS
2. PREPARE GROUND AREA AND REMOVE ANY DEBRIS OR MATERIALS. GROUND SHOULD BE CLEARED AND LEVELED.
3. INSTALL HAY BALES, RI STD. 9.1.0 AROUND ENTIRE WASHOUT AREA
4. INSTALL THICK POLYETHYLENE LINER (MIN 6ML THICKNESS) ON GROUND AND OVER AND AROUND HAY BALES.
5. STAKE LINER IN PLACE TO ENSURE ITS PLACEMENT AND STABILITY
6. LINER TO BE INSPECTED TO ENSURE ITS INTEGRITY
7. LINER TO BE REPLACED AS CONDITIONS WARRANT THROUGHOUT CONCRETE POURING OPERATIONS ON SITE.
8. LINER TO BE REMOVE AND DISPOSED OF OFF-SITE IN AN APPROPRIATE LOCATION AND MANNER
9. UPON COMPLETION, THE WASHOUT AREA SHALL BE INSPECTED AND ANY OVERSPILL SHALL BE REMOVED OF OFF-SITE



1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" (5-7.5 CM) DEEP X 8" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-SLOPE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-20" (45-51 CM) STAKES EVERY 3'-4" (91-121 CM) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" (57.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales for sediment control and storm water runoff.

Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.

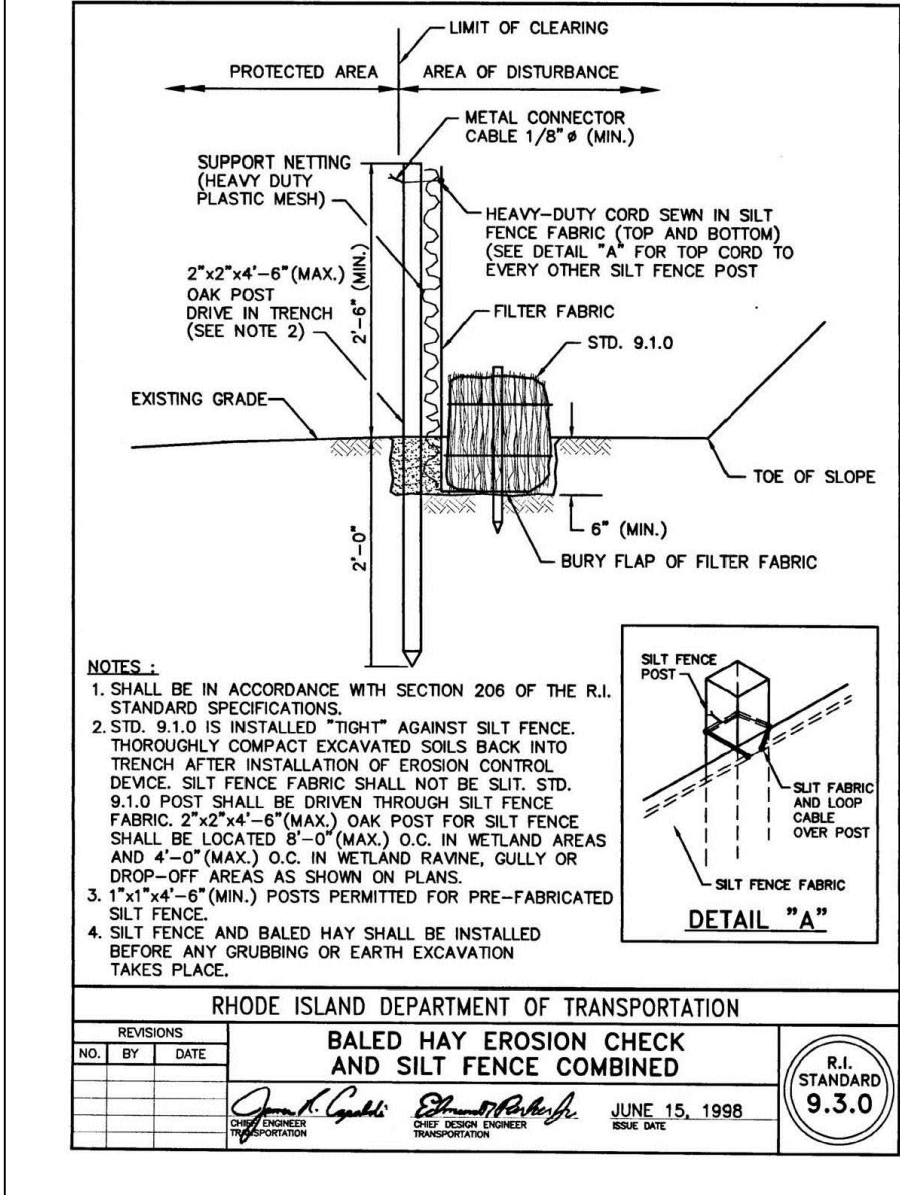
To maximize sediment containment with the Straw Wattle, place the initial structure at the top of the slope if significant runoff is expected from above. If no runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downslope from the top of the slope. The final structure should be installed at or just beyond the bottom of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.

Straw Wattles are a temporary sediment control device and are not intended to replace related erosion control products (RECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches as supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on storage capacity.

For additional installation assistance, please contact North American Green's Technical Services Department at 1-800-772-2040

14649 Highway 41 North, Evansville, Indiana 47725

1-800-772-2040 www.naagreen.com Rev. 1/2008

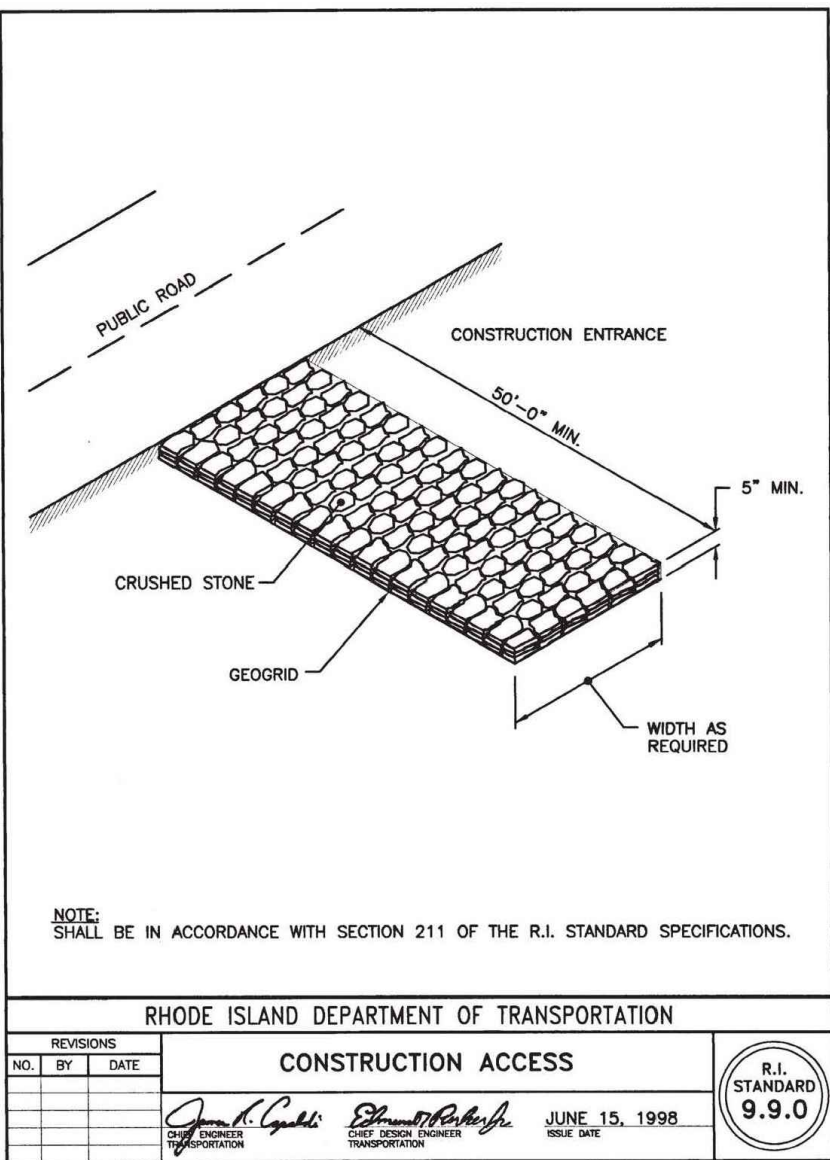


REVISIONS

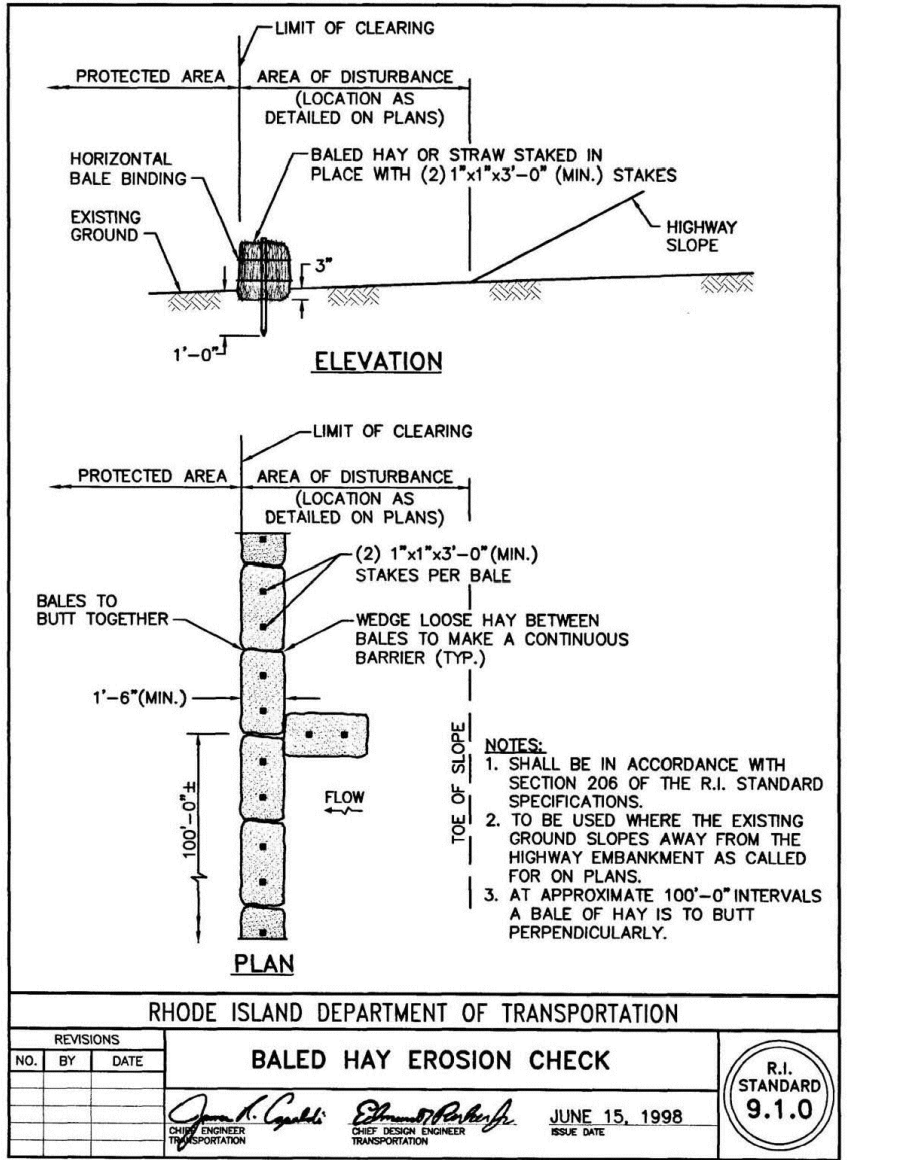
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1	J. G. G. G.	JUNE 15, 1998

BALED HAY EROSION CHECK AND SILT FENCE COMBINED

RI STANDARD 9.3.0



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

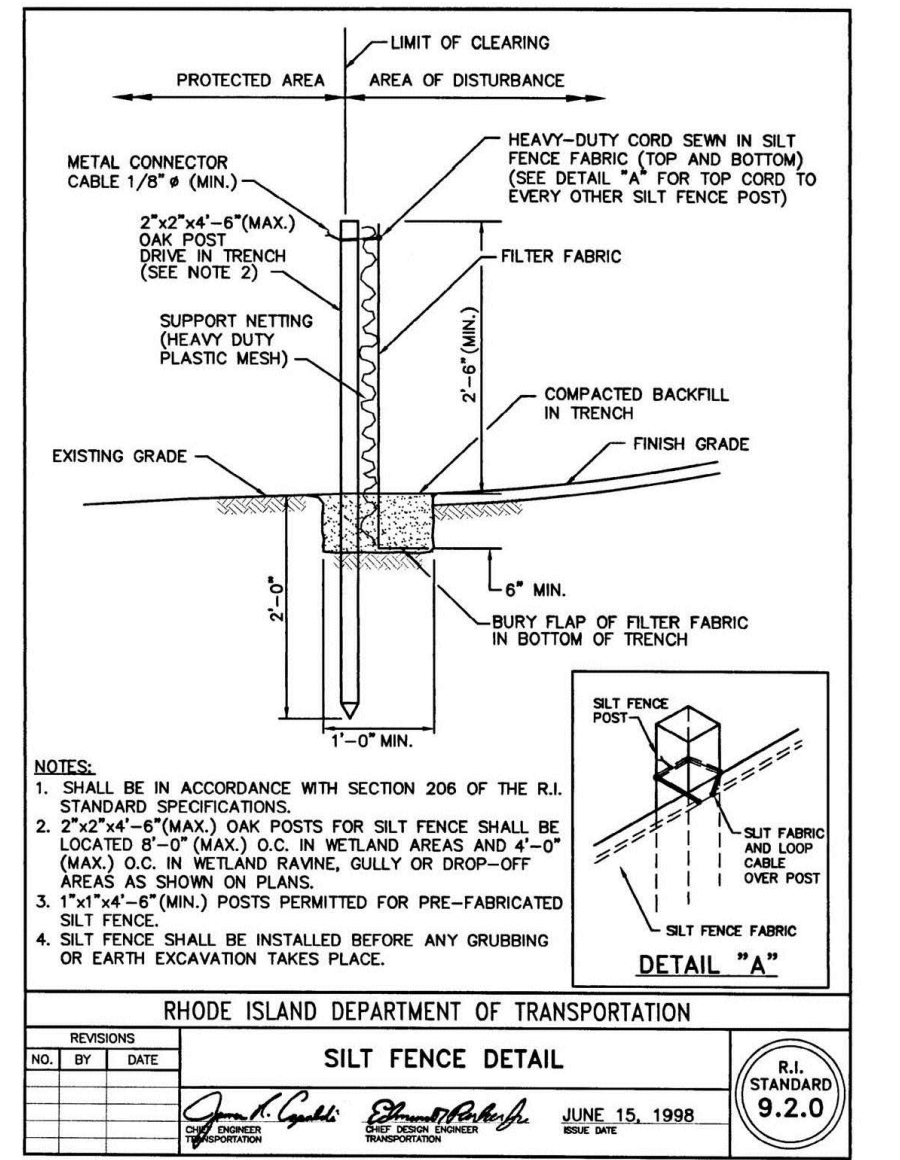


REVISIONS

NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

BALED HAY EROSION CHECK

RI STANDARD 9.1.0



REVISIONS

NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

SILT FENCE DETAIL

RI STANDARD 9.2.0

EROSION CONTROL PLAN

1. ALL WORK PROPOSED SHALL BE IN ACCORDANCE WITH STATE OF RI AND TOWN OF COVENTRY RULES, REGULATIONS AND STANDARDS
2. EROSION AND SEDIMENT CONTROL METHODS (E & S MEASURES) FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF E & S MEASURES
3. EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
4. STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:
 - A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - B. PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED E & S MEASURES JUST INSIDE THE LIMITS OF DISTURBANCE.
 - C. A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD 9.9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - D. INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3".
 - E. CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
 - F. ONCE THE SITE HAS BEEN LOAMED AND SEEDED AND THE SITE IS STABLE, THE E & S MEASURES MAY BE REMOVED.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. DENUDDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY OR INTO DRAINAGE SYSTEMS OR WETLANDS.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ALL E & S MEASURES MAINTENANCE AND SHALL INSPECT AND/OR REPLACE AS NEEDED.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW.
5. ADDITIONAL E & S MEASURES WILL BE INSTALLED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
6. ALL E & S MEASURES WILL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER DEVELOPS AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
7. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 TO OCTOBER 15. REFER TO LANDSCAPE PLANTING PLAN, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER, LOCAL DEPARTMENT OF PUBLIC WORKS, RIDOT OR RIDEM.
9. ALL AREAS SUBJECT TO EROSION FORCES SHALL RECEIVE PROTECTION.
10. STRAW OR LINING APPLICATIONS SHALL BE USED AS REQUIRED ON EXPOSED SURFACES TO PREVENT EROSION. ALL METHODS SHALL BE APPROVED BY THE ENGINEER.
11. ALL VEGETATION WHICH DOES NOT SURVIVE AND DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
12. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
13. THE DRAINAGE SYSTEM SHALL BE CLEANED PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.
14. AS REQUIRED AND WARRANTED, SEDIMENTATION TRAPS WILL BE PROVIDED AT ALL DRAINAGE OUTLET STRUCTURES UNTIL PERMANENT STABILIZATION HAS OCCURRED.
15. NO SLOPES TO EXCEED 3:1.
16. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, OR FIBER MATTING.
17. STOCKPILES SHALL NOT BE LOCATED NEAR WATERWAYS AND SHALL HAVE NO SLOPE STEEPER THAN 3:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES AND SEEDED AND/OR STABILIZED.
18. FINAL TREATMENT FOR DISTURBED AREAS SHALL BE 4" PLANTABLE SOIL AND EROSION CONTROL SEED MIX, UNLESS OTHERWISE SHOWN ON LANDSCAPING PLANS.
19. LANDSCAPING SHALL BE LOCATED AT LOCATIONS AS SHOWN ON THE PLANS.
20. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RI STANDARD SPECIFICATIONS.
21. THE SEED MIX SHALL BE INOCULATED 24 HOURS BEFORE MIXING AND PLANTING WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
22. STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000 TO 4000 LBS PER ACRE.
23. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
24. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED AND PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
25. REFER TO THE LANDSCAPE DESIGN FOR PERMANENT SEEDING TREATMENT AND MIXTURES
26. TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) AND SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
27. ALL E & S MEASURES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED.

SPECIES	LBS/1000 SF	LBS/ACRE	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
SUDAN GRASS	0.7 - 1.0	30 - 40	MAY 15 - AUGUST 15
MILLET	0.7 - 1.0	30 - 40	MAY 15 - JUNE 15
WINTER RYE	3.0	120	APRIL 15 - JUNE 15

28. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RIDPW STD SPECIFICATIONS SECTION 202
29. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

SEDIMENTATION CONTROL PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.
2. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION.
3. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
6. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATER COURSES OR WETLANDS OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
7. ADDITIONAL E & S MEASURES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
9. REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY RIDEM AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE TOWN OF COVENTRY SOILS AND EROSION CONTROL ORDINANCES AS GUIDES.
10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
11. A CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

OTHER CONTROLS

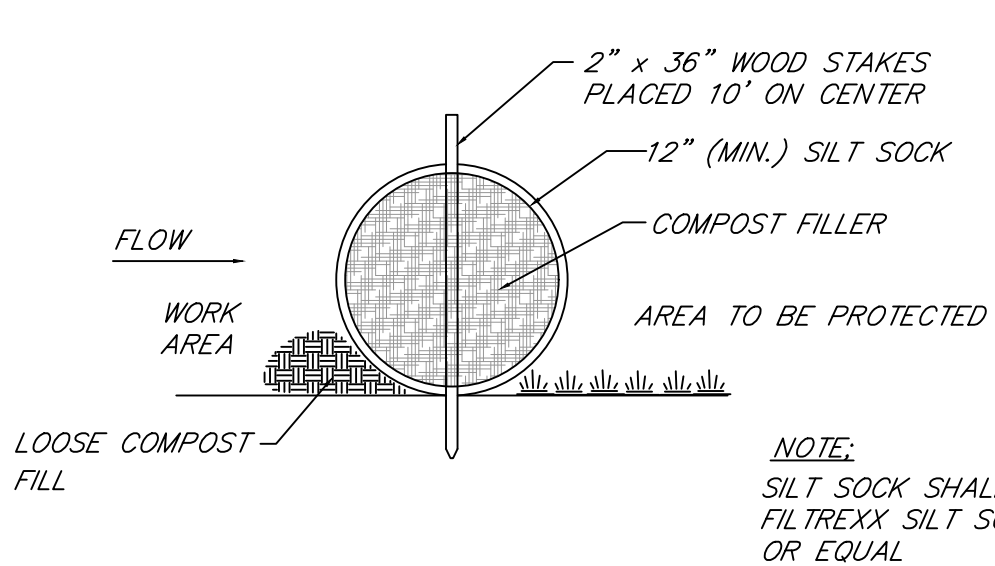
THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:

1. NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR POURED WITHIN ANY WETLANDS.
2. SOLID WASTE WILL BE COLLECTED AND STORED IN A SECURE DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
3. CONSTRUCTION DEBRIS WILL INCLUDE ALL WOOD, STONE AND OTHER DEBRIS AND SITE MATERIALS REQUIRING REMOVAL. THESE MATERIALS WILL BE DISPOSED OF ACCORDING TO STATE AND FEDERAL LAW AND WILL NOT BE DISPOSED OF ON-SITE.
4. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN UNDISTURBED.
5. CONTINUOUS LINES OF EROSION & SEDIMENTATION CONTROL (E & S) MEASURES S SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WORK IS COMPLETE AND A STABLE GROUND SURFACE IS ESTABLISHED.
6. ALL E & S MEASURES SHALL BE MAINTAINED OR REPLACED AS REQUIRED TO ASSURE PROPER FUNCTION.
7. ALL BREACHES OR FAILURES IN E & S MEASURES SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
8. DEBRIS AND LITTER, WHICH ACCUMULATES ALONG THE CONSTRUCTION AREA, SHALL BE REMOVED DAILY AND DISPOSED OF OFF-SITE.
9. SEDIMENT BUILD-UP BEHIND ANY E & S MEASURES AND BARRIERS WILL BE MONITORED AND REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO 6-INCHES IN DEPTH.

ORDER OF PROCEDURE

1. PRIOR TO ANY CONSTRUCTION OR EXCAVATION, EROSION & SEDIMENTATION CONTROL (E & S) MEASURES SHALL BE INSTALLED AT THE PROPERTY LINE OR LIMIT OF DISTURBANCE. TEMPORARY E & S MEASURES SHALL BE INSTALLED AT THE LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES.
2. PRIOR TO COMMENCING OPERATIONS, TEMPORARY E & S MEASURES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS, ADJACENT PROPERTIES, OR WETLANDS.
3. ALL E & S MEASURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
4. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
5. TEMPORARY E & S MEASURES AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
6. E & S MEASURES AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

NOT TO SCALE



SILT SOCK DETAIL

NOT TO SCALE

NOTES & DETAILS NO. 2

HOXIE COURT PLACE
AP 88 / LOTS 87 & 88.2
HOXIE COURT, NOTRE DAME STREET & KERNAN STREET
COVENTRY, RHODE ISLAND

DATE: NOVEMBER 2025

SHEET: ND-2

SHEET 9 OF 9

OWNER
BRUCE B. GIBB & VICTORIA M. GIBB
31 HOXIE COURT
COVENTRY, RI 02816

APPLICANT
NBG CONSTRUCTION
606 VICTORY HIGHWAY
WEST GREENWICH, RI 02817

OWNER / APPLICANT CONTACT
BEN GASIOR
BEN@NBGCONSTRUCTION.COM
401-487-1720

LEGAL COUNSEL
THOMAS P. CRONIN, ESQ.
NOLAN, BRUNERO, CRONIN & FERRARA LTD.
1070 MAIN STREET
COVENTRY, RI 02816
TIC@NDGR.COM
401-828-5800