

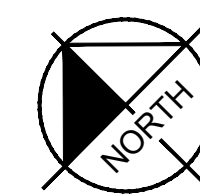
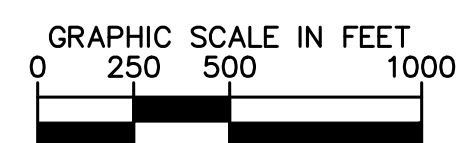
Plotted By: Armstrong, Caroline Sheet: Self-Storage Layout: COVER SHEET November 01, 2023 08:03:28pm K:\BOS_Civil\BOS_Projects\112704000 Mini Storage (Coventry, RI)\CAD\PlanSheets\COVER SHEET.dwg
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COVENTRY SELF STORAGE PRELIMINARY SITE PLAN

1920 NOOSENECK HILL ROAD COVENTRY, RHODE ISLAND



LOCATION PLAN



PROJECT TEAM

UTILITY & GOVERNING AGENCIES
ELECTRIC NATIONAL GRID 280 MELROSE ST PROVIDENCE, RI 02907 TEL: (800) 322-3223
NATURAL GAS NATIONAL GRID 280 MELROSE ST PROVIDENCE, RI 02907 TEL: (800) 322-3223
WATER KENT COUNTY WATER AUTHORITY 1072 MAIN STREET PO BOX 192 WEST WARWICK, RI 02893 TEL: (401) 821-9300

OWNER/APPLICANT
 NOOSENECK HILL COVENTRY, LLC
 MORGAN BULLEN
 75 COMMERCE DRIVE
 PO BOX 859
 GRAYSLAKE, IL 60030
 (403) 828-5490

LEGAL COUNSEL
 ROBINSON COLE, LLP
 GEORGE WATSON
 GWATSON@RC.COM

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES
 CONTACT: CAROLINE ARMSTRONG
 404 WYMAN STREET, SUITE 485
 WALTHAM, MA 02451
 (714) 786-6209
 ENGINEER OF RECORD: BRIAN BREWER
 2035 MAYWILL STREET, SUITE 200,
 RICHMOND, VA 23230
 757-589-1832

SURVEYOR
 MARTIN SURVEYING ASSOCIATES
 CONTACT: DEAN MARTIN
 6593 COMMERCE COURT
 WARRENTON, VA 20187
 (540) 428-3550

EARTHWORK ESTIMATE

CUT: 1200 CY
 FILL: 1550 CY
 NET: 350 CY (IMPORT)

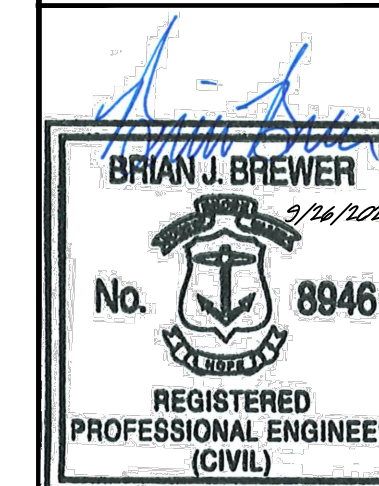
NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

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No.	REVISIONS	BY	DATE

Kimley-Horn
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 PHONE: 781-328-0576
 WWW.KIMLEY-HORN.COM



KHA PROJECT	112704000
DATE	11/01/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

COVER SHEET

COVENTRY SELF STORAGE
 PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816
 AP 10 LOT 31 RHODE ISLAND

SHEET NUMBER
C-1.0

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGES' (LATEST EDITION), ITS SUPPLEMENTS, AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS.
14. IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT FOR THE SITE, ALL FILL FOR PAVEMENT OR BUILDING PAD SUBGRADE SHALL BE STRUCTURAL FILL AND COMPACTED TO 95% ASTM D-1557 (MODIFIED PROCTOR), UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
15. DURING CONSTRUCTION, NO WORK ON THE SITE SHALL BEGIN BEFORE 8:00AM OR EXTEND LATER THAN 5PM MONDAY THROUGH SATURDAY. NO WORK ON SUNDAYS OR BANK HOLIDAYS.

DEMOLITION NOTES

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, FOUNDATIONS, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE FOUNDATIONS CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

PAVING, GRADING AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN STATE AND TOWN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR STATE SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR RIDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY STATE OR TOWN REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL TOWN AND STATE RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MASS HIGHWAY STANDARDS.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL.
16. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING.
17. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS.
18. THE CONTRACTOR SHALL ENSURE THAT ALL ONSITE DRAINAGE PIPES AND NEXT DOWNSTREAM DRAINAGE PIPE ARE CLEANED FOLLOWING CONSTRUCTION.

CONCRETE NOTES

- 1. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
2. FOUNDATION CONCRETE MAY BE PLACED DIRECTLY INTO NEAT EXCAVATIONS, PROVIDED THE SIDES OF THE EXCAVATION ARE STABLE.
3. THE EXCAVATION SHALL BE KEPT DRY AT ALL TIMES. GROUND WATER, IF ENCOUNTERED, SHALL BE PUMPED FROM THE EXCAVATIONS.
4. CONCRETE SHALL BE LABORATORY DESIGNED, MACHINE MIXED, PRODUCING 3,000 PSI (MINIMUM) AT 28 DAYS, UNLESS OTHERWISE NOTED IN CONTRACT DOCUMENTS.
5. CEMENT SHALL BE TESTED PORTLAND CEMENT CONFORMING TO ASTM C150, TYPE II ONLY.
6. AGGREGATES SHALL CONFORM TO ASTM C33 & B GRADE PER STANDARD SPECIFICATIONS.
7. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60 (60,000 PSI).
8. HOOKS AND BENDS SHALL CONFORM TO ACI STANDARD 318, LATEST REVISIONS.
9. PROVIDE SPACER BARS, CHAIRS, SPREADERS, BLOCKS, ETC. AS REQUIRED TO POSITIVELY HOLD THE STEEL IN PLACE BEFORE CONCRETE IS POURED.
10. CONCRETE SHALL BE CONVEYED FROM THE MIXER TO FINAL DEPOSIT BY METHODS THAT WILL PREVENT SEPARATION OR LOSS OF MATERIALS.
11. CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY SUITABLE MEANS DURING PLACEMENT AND SHALL BE THOROUGHLY WORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND CORNERS OF FORMS.

CONCRETE NOTES (CONT.)

- 12. CONCRETE SHALL BE MAINTAINED ABOVE 50 DEGREES F (10 DEGREES C) AND IN A MOIST CONDITION FOR AT LEAST SEVEN (7) DAYS AFTER PLACEMENT.
13. WHERE EXTERIOR WALL FACE REQUIRES SHORING AND/OR FORMING, THE FORMS SHALL BE SUBSTANTIAL AND SUFFICIENTLY TIGHT TO PREVENT LEAKAGE.
14. BACKFILLING SHALL BE DONE BY DEPOSITING AND TAMPING INTO PLACE CLEAN SAND OR POURING LEAN CONCRETE, TO 95% COMPACTION.
15. CONDUITS AND PIPES OF ALUMINUM SHALL NOT BE ALLOWED.
16. CONSTRUCTION JOINTS NOT INDICATED ON THE DRAWINGS SHALL NOT BE ALLOWED.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT AREAS AGAINST DAMAGE AND SHALL REPAIR OR PATCH ALL DAMAGED AREAS TO MATCH EXISTING IMPROVEMENTS.
18. CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AT ALL TIMES AND AT COMPLETION OF WORK, REMOVE ALL SURPLUS MATERIALS, EQUIPMENT AND DEBRIS AND LEAVE THE PREMISES IN A CLEAN CONDITION ACCEPTABLE TO THE OWNER OR OWNER'S REPRESENTATIVE.

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF RHODE ISLAND POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (RIDPES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL CEASE FOR MORE THAN 14 DAYS SHALL BE PERMANENTLY SEEDED.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE UNDERGROUND DETENTION FACILITY AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY.
22. ALL PROPOSED STORM INLET OR GRATE STRUCTURES SHALL BE PROTECTED WITH APPROVED INLET PROTECTION MEASURES IMMEDIATELY FOLLOWING INSTALLATION.
23. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH JUTE MESH OR OTHER APPROVED SOIL STABILIZATION FABRIC IMMEDIATELY FOLLOWING DISTURBANCE OF THE SLOPED AREA.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE.
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE).
6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

UTILITY NOTES

- 1. WATER LINES SHALL BE DUCTILE IRON PIPE AND SHALL CONFORM TO AWWA STANDARD C-151 LATEST REVISION, CLASS 52 MANUFACTURED BY US PIPE, GRIFFIN PIPE CO., ATLANTIC STATES PIPE OR APPROVED EQUAL.
2. ALL FITTINGS SHALL CONFORM TO AWWA STANDARD C-153 LATEST REVISION, MADE OF DUCTILE IRON, COMPACT, MECHANICAL JOINT, DOUBLE CEMENT LINED, AND BITUMEN COATED MANUFACTURED BY AMERICAN CAST IRON PIPE, SIGMA, OR APPROVED EQUAL.
3. RETAINER GLANDS SHALL BE MEG-A-LUG TYPE AS MANUFACTURED BY EBBA IRON SERIES 2100, OR APPROVED EQUAL.
4. ALL GATE VALVES SHALL MEET AWWA STANDARD C509 LATEST REVISION, BE MECHANICAL JOINT, HAVE O-RING STEM SEALS AND HAVE AN EPOXY COATED BODY.
5. BUTTERFLY VALVES ARE NOT ALLOWED WITHIN THE CITY'S WATER DISTRIBUTION SYSTEM.
6. SERVICE SADDLES SHALL BE DUCTILE IRON WITH 12 MILL EPOXY COATING WITH 2 STAINLESS STEEL STRAPS.
7. TAPPING SLEEVES SHALL BE MADE OF DUCTILE IRON CONSTRUCTED TO ASTM A536 STANDARDS MECHANICAL JOINT RATED 250 PSI.
8. TAPPING VALVES SHALL CONFORM TO AWWA/ANSI C515, NSF61 APPROVED FOR POTABLE WATER.
9. FIRE HYDRANTS SHALL CONFORM TO AWWA C502, FM 1510, AND UL 246 LISTED. THE HYDRANT MAINE VALVE WILL BE 5-1/4", OPEN LEFT.

PERMITS / APPROVALS REQUIRED

- 1. RIDPES PERMIT
2. APPROVAL FROM CENTRAL COVENTRY FIRE DISTRICT
3. TOWN OF COVENTRY MAJOR LAND DEVELOPMENT FINAL PLAN APPROVAL
4. PARKING AND LOADING VARIANCE FROM THE TOWN OF COVENTRY
5. APPROVAL OF DRAINAGE PLAN AND MAINTENANCE AGREEMENT BY TOWN ENGINEER
6. APPROVAL OF EROSION CONTROL PLAN BY TOWN ENGINEER
7. APPROVAL BY KENT WATER

Plotted By: Armstrong, Caroline Sheet Set: Kna Layout: GENERAL NOTES November 01, 2023 08:03:40pm K:\BOS-Civil\BOS Projects\112704000 Main Storage Coventry_RI\CAD\PlanSheets\GENERAL NOTES.dwg This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, and is not to be used for any other purpose without the prior written authorization and adaptation by Kimley-Horn and Associates, Inc.

Table with columns for BY, REVISIONS, and DATE.

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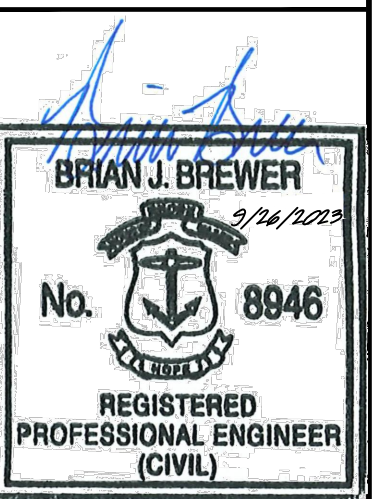
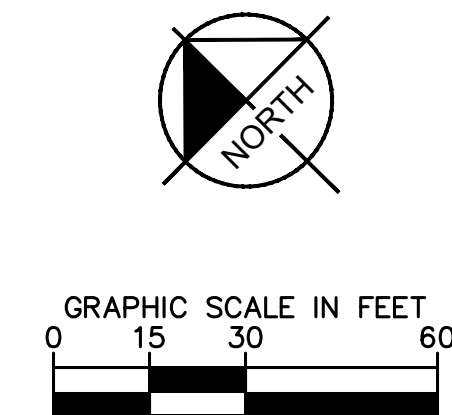
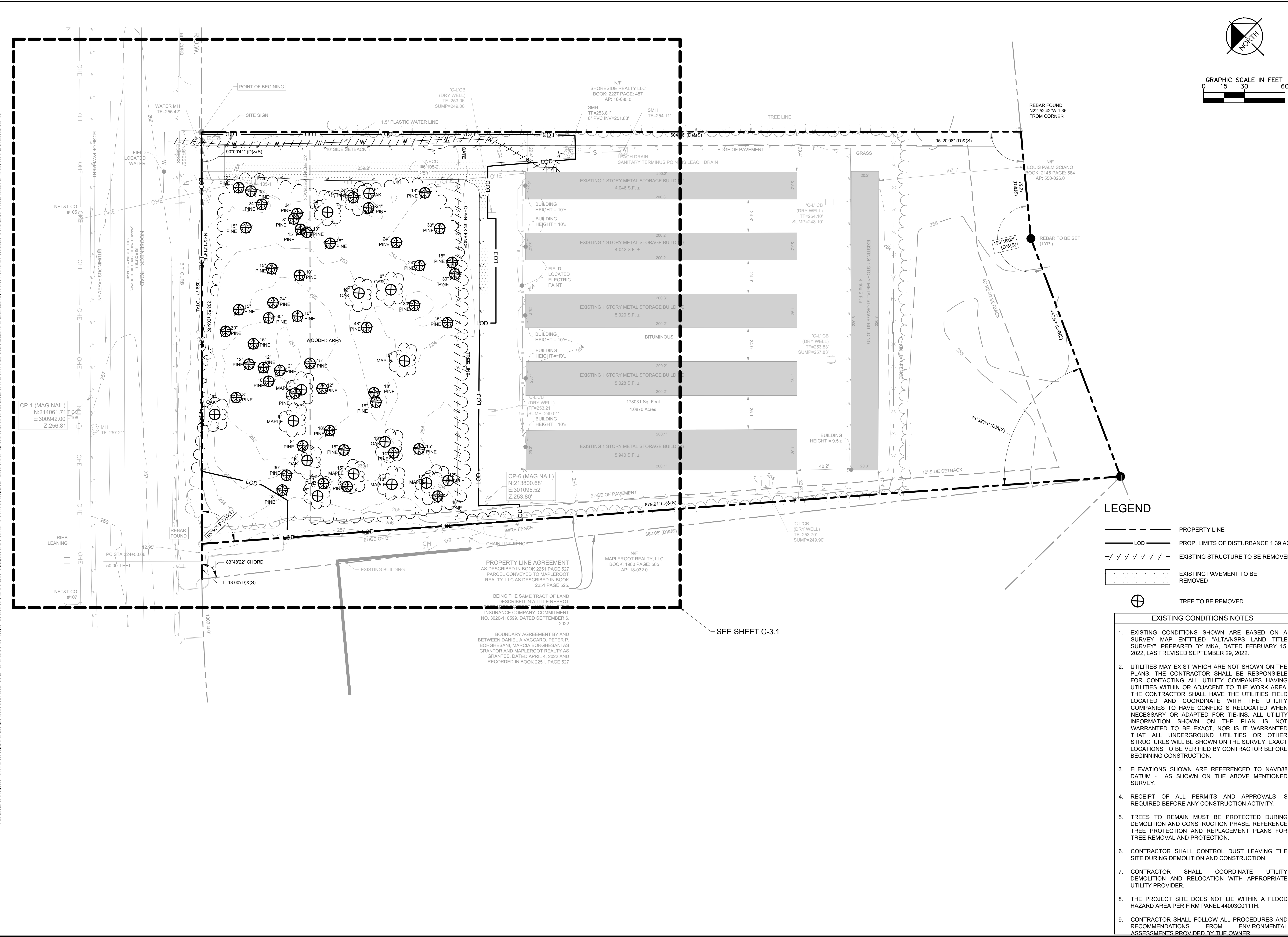


Table with project details: KHA PROJECT 112704000, DATE 11/01/2023, SCALE AS SHOWN, DESIGNED BY CGA, DRAWN BY CGA, CHECKED BY BE.

GENERAL NOTES

COVENTRY SELF STORAGE PREPARED FOR NOOSENECK HILL COVENTRY, LLC 1920 NOOSENECK HILL RD COVENTRY, RI 02816 COVENTRY AP 10 LOT 31 RHODE ISLAND

Plotted By: Armstrong, Caroline Sheet Set: KHA Layout: OVERALL PLAN November 01, 2023 06:03:55pm K:\BOS_Civil\BOS Projects\112704000 Mini Storage Coventry, RI\CAD\Plan\Sheet\EXISTING CONDITION AND DEMOLITION PLAN.dwg
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LEGEND

- PROPERTY LINE
- LOD --- PROP. LIMITS OF DISTURBANCE 1.39 AC
- / - / - / - EXISTING STRUCTURE TO BE REMOVED
- [Pattern] EXISTING PAVEMENT TO BE REMOVED
- ⊕ TREE TO BE REMOVED

EXISTING CONDITIONS NOTES

1. EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "ALTAINSPS LAND TITLE SURVEY", PREPARED BY MKA, DATED FEBRUARY 15, 2022, LAST REVISED SEPTEMBER 29, 2022.
2. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS. ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
3. ELEVATIONS SHOWN ARE REFERENCED TO NAVD88 DATUM - AS SHOWN ON THE ABOVE MENTIONED SURVEY.
4. RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
5. TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
6. CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
8. THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 44003C0111H.
9. CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.

BY	
DATE	
REVISIONS	
No.	

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 PHONE: 781-328-0676
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BRIAN J. BREWER
 No. 8946
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

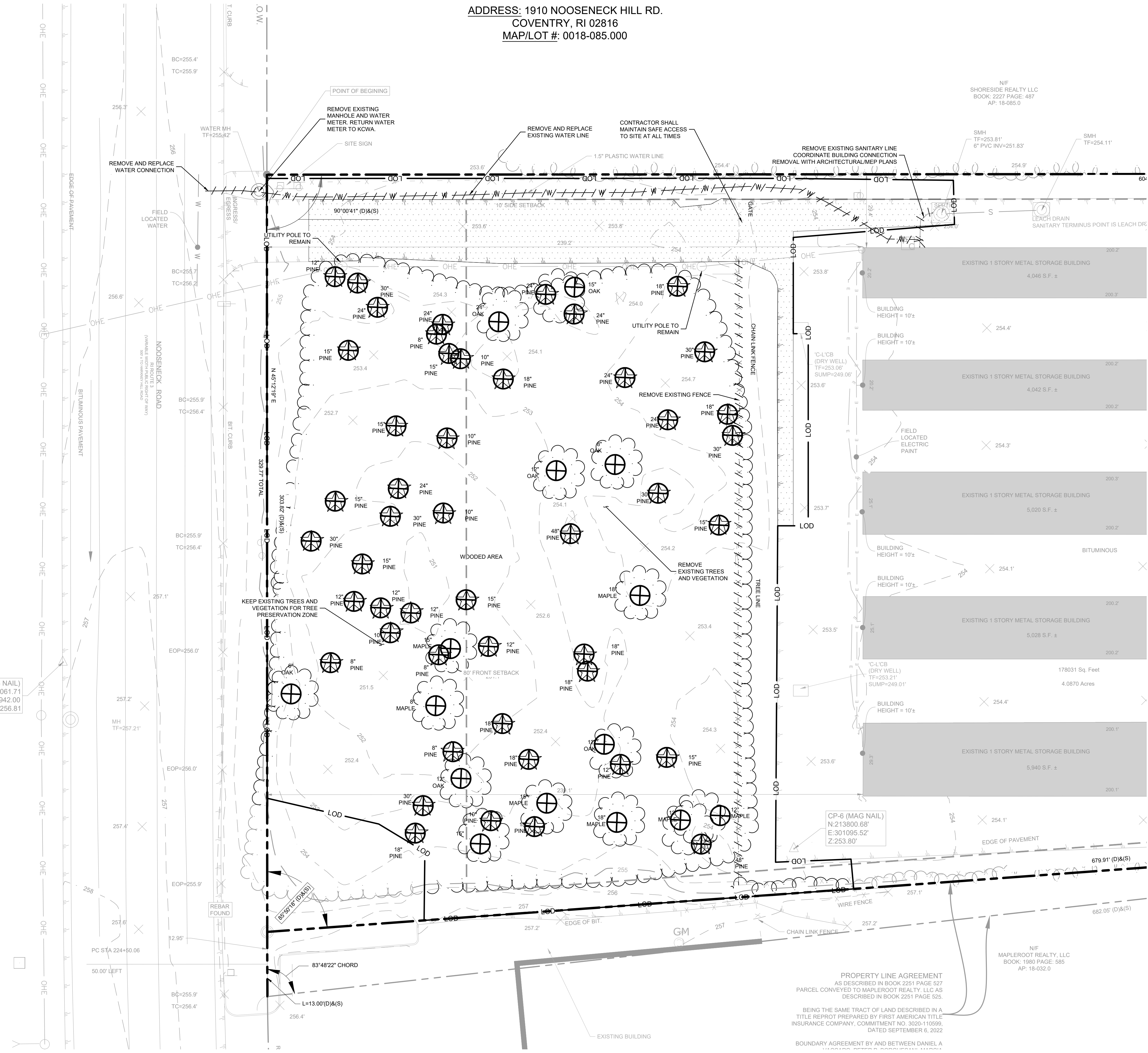
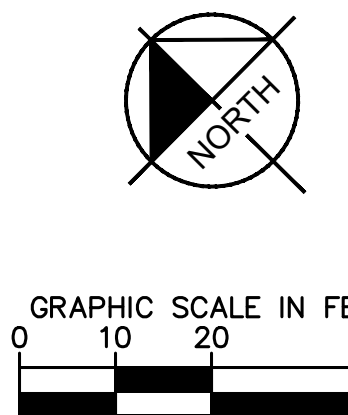
KHA PROJECT	112704000
DATE	11/01/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

OVERALL EXISTING CONDITION AND DEMOLITION PLAN

COVENTRY SELF STORAGE
 PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816
 SHEET NUMBER
C-3.0

Plotted By: Armstrong, Caroline Sheet Set: KHA Layout: 1 November 01, 2022 06:03:58pm K:\BOS_Civil\BOS Projects\112704000 Main Storage (Coventry, RI)\CAD\PlanSheets\EXISTING CONDITION AND DEMOLITION PLAN.dwg
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ADDRESS: 1910 NOOSENECK HILL RD.
 COVENTRY, RI 02816
 MAP/LOT #: 0018-085.000



CP-1 (MAG NAIL)
 N: 214061.71
 E: 300942.00
 Z: 256.81

PROPERTY LINE AGREEMENT
 AS DESCRIBED IN BOOK 2251 PAGE 527
 PARCEL CONVEYED TO MAPLEROOT REALTY, LLC AS
 DESCRIBED IN BOOK 2251 PAGE 525.
 BEING THE SAME TRACT OF LAND DESCRIBED IN A
 TITLE REPORT PREPARED BY FIRST AMERICAN TITLE
 INSURANCE COMPANY, COMMITMENT NO. 3020-110599,
 DATED SEPTEMBER 6, 2022
 BOUNDARY AGREEMENT BY AND BETWEEN DANIEL A

LEGEND

	PROPERTY LINE
	PROP. LIMITS OF DISTURBANCE 1.39 AC
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING PAVEMENT TO BE REMOVED
	TREE TO BE REMOVED

BY	
DATE	
REVISIONS	
No.	

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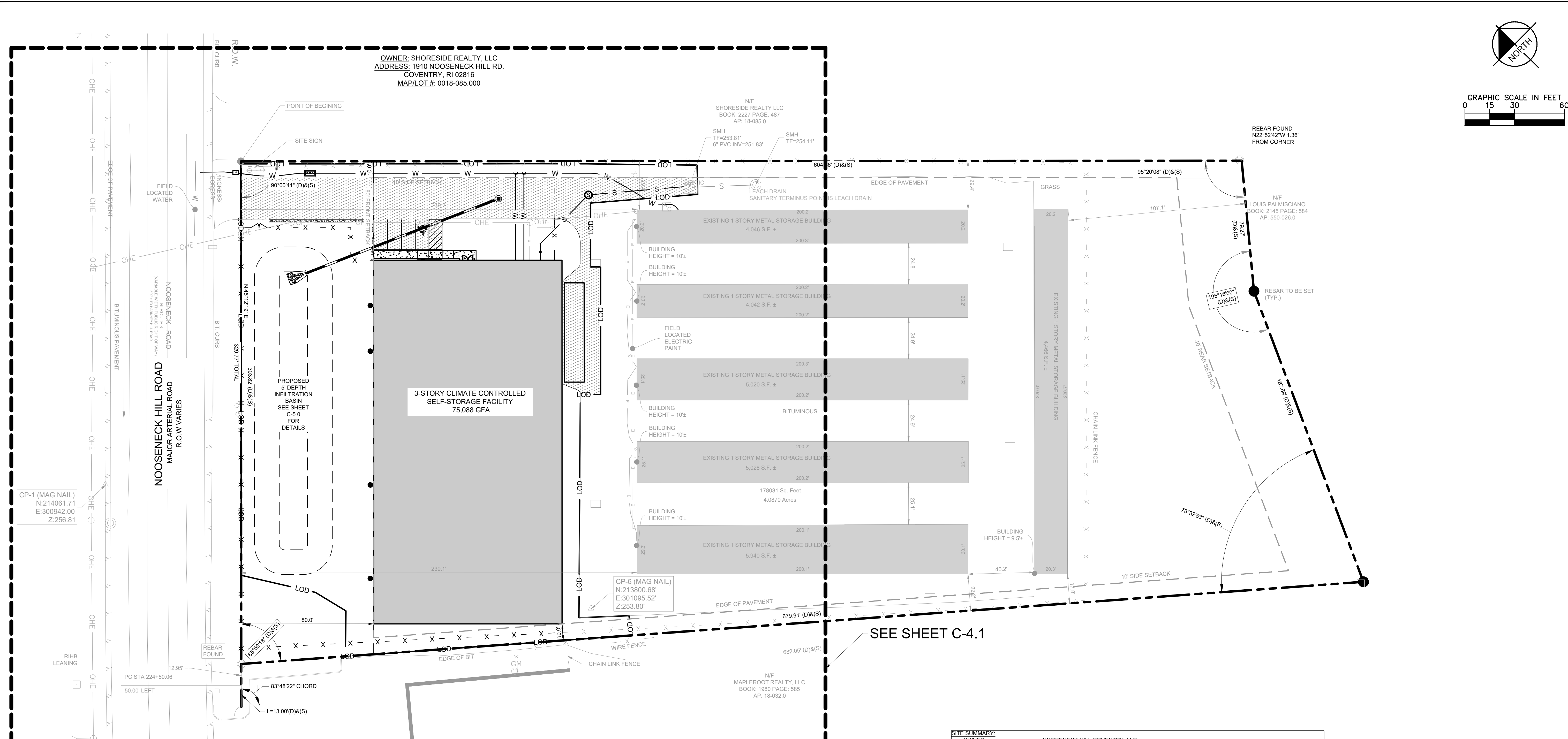
BRIAN J. BREWER
 No. 8946
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

KHA PROJECT	112704000
DATE	1/10/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

EXISTING CONDITION AND DEMOLITION PLAN

COVENTRY SELF STORAGE
 PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816
 COVENTRY AP 10 LOT 31 RHODE ISLAND

Plotted By: Armstrong, Caroline Sheet Set: KHA Layout: OVERALL PLAN November 01, 2023 06:04:17am K:\BOS-Civil\BOS Projects\112704000 Mini Storage (Coventry, RI)\CAD\PlanSheets\SITE PLAN.dwg
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OWNER: SHORESIDE REALTY, LLC
 ADDRESS: 1910 NOOSENECK HILL RD.
 COVENTRY, RI 02816
 MAP/LOT #: 0018-085.000

NF SHORESIDE REALTY LLC
 BOOK: 2227 PAGE: 487
 AP: 18-085.0

REBAR FOUND
 N2°52'42"W 1.38'
 FROM CORNER

NF LOUIS PALMISCIANO
 BOOK: 2145 PAGE: 584
 AP: 550-026.0

NF MAPLEROOT REALTY, LLC
 BOOK: 1980 PAGE: 585
 AP: 18-032.0

CP-1 (MAG NAIL)
 N: 214061.71
 E: 300942.00
 Z: 256.81

CP-6 (MAG NAIL)
 N: 213800.68'
 E: 301095.52'
 Z: 253.80'

SEE SHEET C-4.1

SITE SUMMARY:

- OWNER: NOOSENECK HILL COVENTRY, LLC
- PLAT NUMBER: 31
- MAP-LOT #: 0010-031.000
- SITE ADDRESS: 1920 NOOSENECK HILL ROAD, COVENTRY, RI, 02816
- PARCEL AREA: 4.09 ACRES
- ZONING: GB1 (GENERAL BUSINESS - 1 ACRE)
- FIRE DISTRICT: CENTRAL COVENTRY FIRE DISTRICT
- DISTURBED AREA: 1.39 AC

NOTES

- THE CURRENT USE OF THE SITE IS DRIVE-UP SELF STORAGE.
- PER THE SURVEY TITLED "ALTAMANS'S LAND TITLE SURVEY" BY MKA DATED FEBRUARY 15, 2022 AND REVISED SEPTEMBER 29, 2022, NO CEMETERIES HAVE BEEN LOCATED ON THIS PARCEL.
- VERIFIED AS OF SEPTEMBER 18TH, 2023, THE PROJECT IS LOCATED IN A RIDEM NATURAL HERITAGE AREA PER RIDEM ENVIRONMENTAL RESOURCE MAP GIS.
- VERIFIED AS OF SEPTEMBER 18TH, 2023, THE PROJECT IS LOCATED IN AN AREA WHERE GROUNDWATER IS DESIGNATED AS GAA PER RIDEM ENVIRONMENTAL RESOURCE MAP GIS.
- VERIFIED AS OF SEPTEMBER 18TH, 2023, THE PROJECT IS NOT LOCATED IN COMMUNITY OR NON-COMMUNITY WELL HEAD PROTECTION AREAS PER RIDEM RESOURCE MAP GIS.
- VERIFIED AS OF SEPTEMBER 18TH, 2023 THE EXISTING STRUCTURES ARE NOT LISTED ON THE NATIONAL HISTORIC REGISTER AND DO NOT HAVE HISTORICAL VALUE.

ZONING DATA TABLE		
	REQUIRED	PROPOSED
GROSS FLOOR AREA	N/A	EXISTING: 28,542 SF PROPOSED: 75,088 SF TOTAL: 103,630 SF
LOT COVERAGE	60% MAXIMUM	60%
BUILDING HEIGHT	35'-0"	35'-0"
SETBACKS	FRONT: 80' (ARTERIAL ROAD) SIDE(SOUTH): 10' REAR: 40'	FRONT: 80' SIDE(SOUTH): 10' SIDE(NORTH): 10' REAR: >40'
PARKING REQUIREMENTS	1 SPACE FOR EACH 300 SF OF GFA (MINIMUM 3 SPACES) 346 PARKING SPACES REQUIRED FOR SITE	4 PARKING SPACES INCLUDING 1 ADA STALL PARKING WAIVER REQUESTED
LOADING ZONE	ONE OFF-STREET LOADING SPACE FOR EVERY USE HAVING A GROSS FLOOR AREA UP TO 5,000 SQUARE FEET. ONE ADDITIONAL SPACE FOR EACH ADDITIONAL 10,000 SQUARE FEET. 11 LOADING SPACES REQUIRED FOR SITE	1 LOADING SPACE PROVIDED FOR THE 75,088 GSF BUILDING LOADING SPACE VARIANCE REQUESTED

LEGEND

- PROPERTY LINE
- - - - PROP. LIMITS OF DISTURBANCE 1.39 AC
- PROP. BUILDING
- ▨ PROP. ASPHALT
- ▩ PROP. SIDEWALK
- W EXIST. WATER
- W PROP. WATER
- S EXIST. SEWER
- S PROP. SEWER
- PROP. STORM
- PROP. STORM STRUCTURE

BY	DATE	REVISIONS

Kimley-Horn

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BRIAN J. BREWER
 No. 8946
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

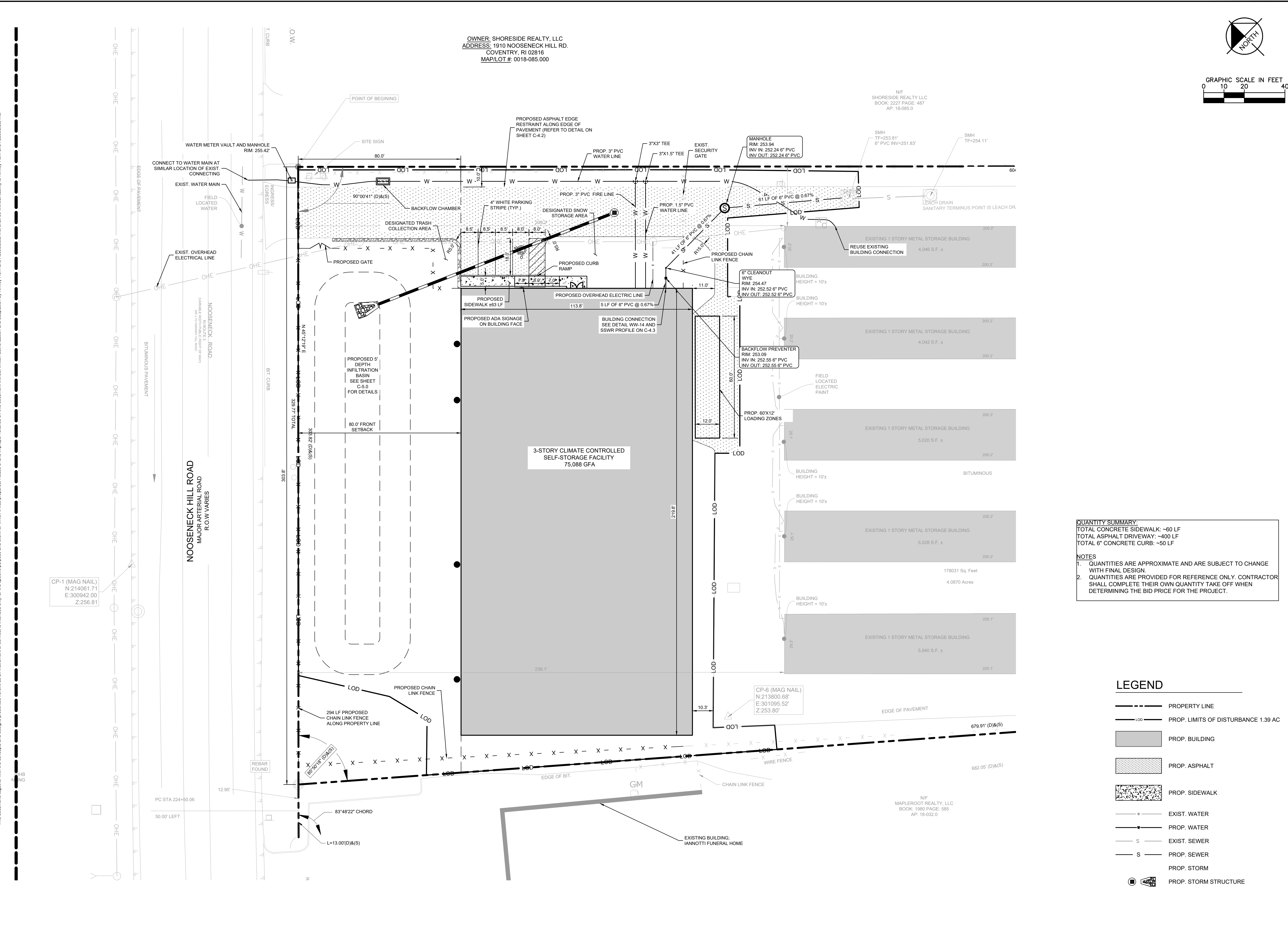
KHA PROJECT	112704000
DATE	11/01/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

OVERALL SITE AND UTILITY PLAN

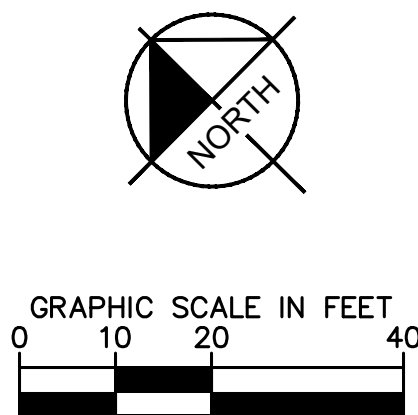
COVENTRY SELF STORAGE
 PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816
 SHEET NUMBER
C-4.0

COVENTRY AP 10 LOT 31 RHODE ISLAND

Plotted By: Armstrong, Caroline Sheet: Site/Plan Layout: 11 November 2023 08:04:22pm K:\BOS - Civil\BOS Projects\112704000 Mini Storage Coventry, RI\CAD\PlanSheets\SITE PLAN.dwg
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OWNER: SHORESIDE REALTY, LLC
 ADDRESS: 1910 NOOSENECK HILL RD.
 COVENTRY, RI 02816
 MAP/LOT #: 0018-085.000



BY	DATE	REVISIONS

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BRIAN J. BREWER
 No. 8946
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	CGA	DRAWN BY	CGA	CHECKED BY	BE
112704000	11/01/2023								

QUANTITY SUMMARY:
 TOTAL CONCRETE SIDEWALK: ~60 LF
 TOTAL ASPHALT DRIVEWAY: ~400 LF
 TOTAL 6" CONCRETE CURB: ~50 LF

NOTES
 1. QUANTITIES ARE APPROXIMATE AND ARE SUBJECT TO CHANGE WITH FINAL DESIGN.
 2. QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL COMPLETE THEIR OWN QUANTITY TAKE OFF WHEN DETERMINING THE BID PRICE FOR THE PROJECT.

LEGEND

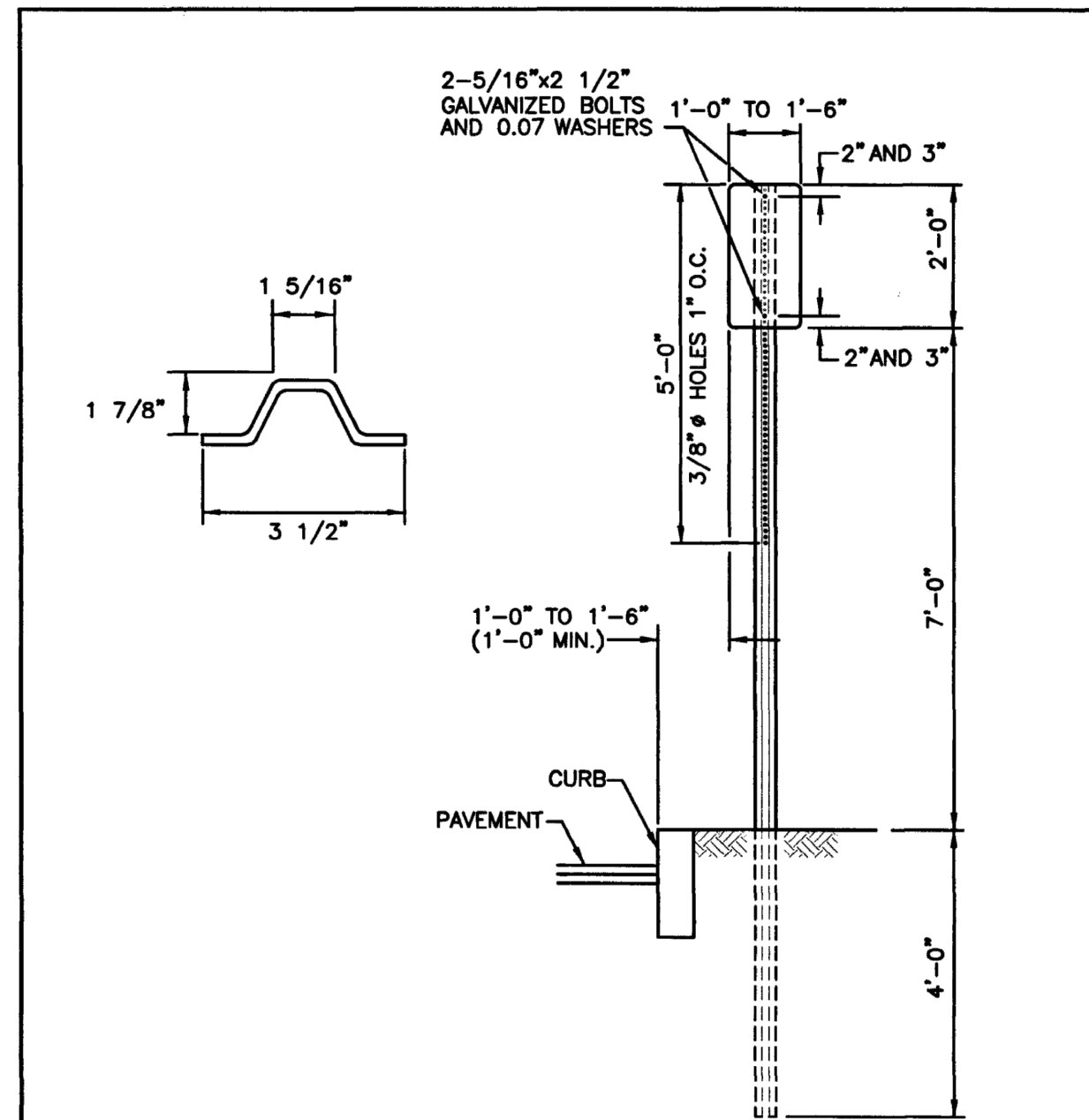
- PROPERTY LINE
- - - - - PROP. LIMITS OF DISTURBANCE 1.39 AC
- PROP. BUILDING
- ▨ PROP. ASPHALT
- ▩ PROP. SIDEWALK
- W — EXIST. WATER
- W — PROP. WATER
- S — EXIST. SEWER
- S — PROP. SEWER
- S — PROP. STORM
- PROP. STORM STRUCTURE

SITE AND UTILITY PLAN

COVENTRY SELF STORAGE
 PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816
 COVENTRY AP 10 LOT 31 RHODE ISLAND

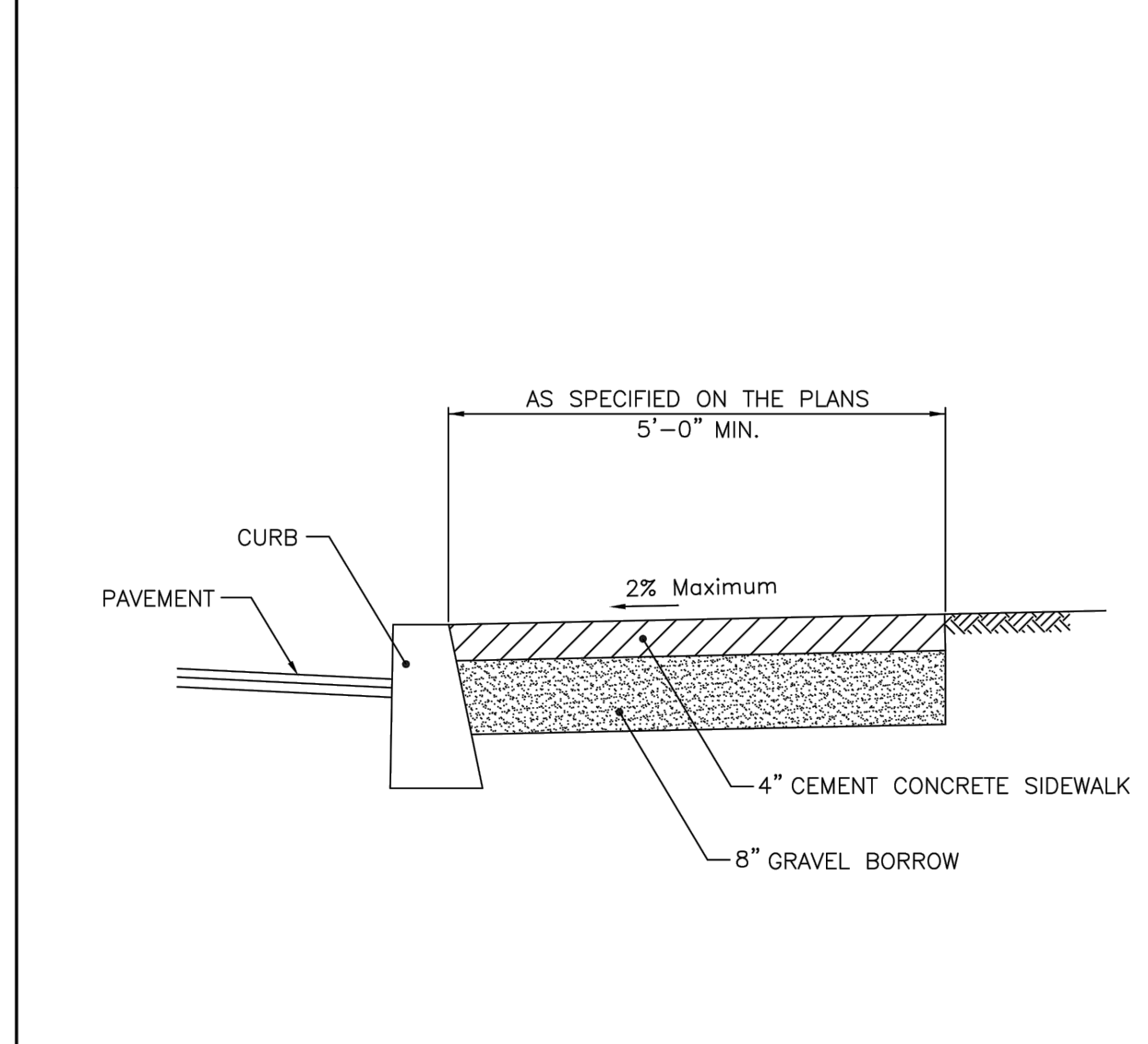
SHEET NUMBER
C-4.1

Plotted By: Armstrong, Caroline Sheet: Site-Kha Layout: SITE November 01, 2023 08:04:41 pm K:\BOS_Civil\BOS Projects\112704000 Min Storage (Coventry, RI)\CAD\PlanSheets\CONSTRUCTION DETAILS.dwg
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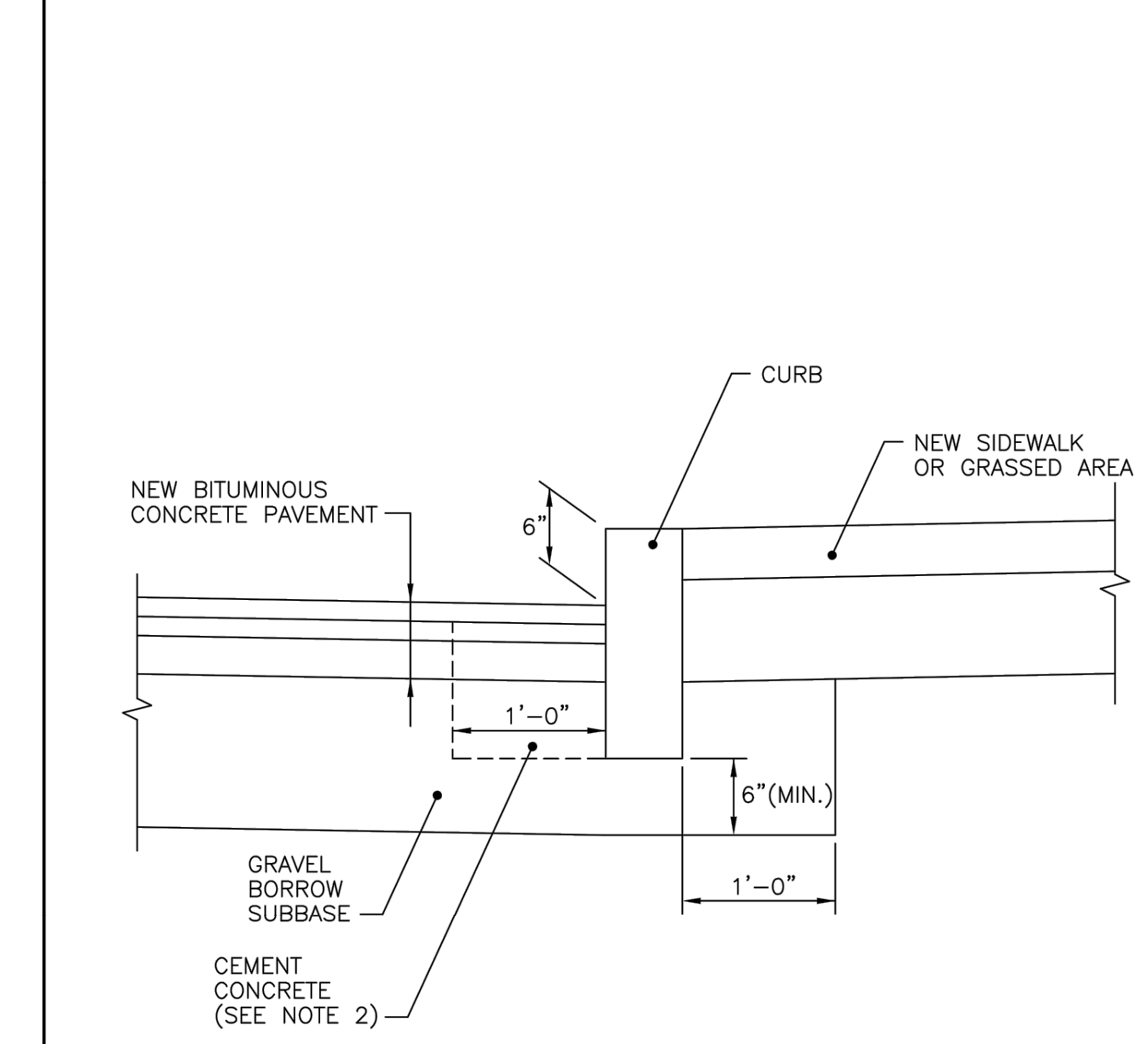
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE STANDARD SPECIFICATIONS.
 2. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6" (1'-0" MIN.) FROM EDGE OF CURB FACE.

REVISIONS			R.I. STANDARD	
NO.	BY	DATE	24.6.0	
1	MLP	3/7/05		
2	MLP	06/01/10		



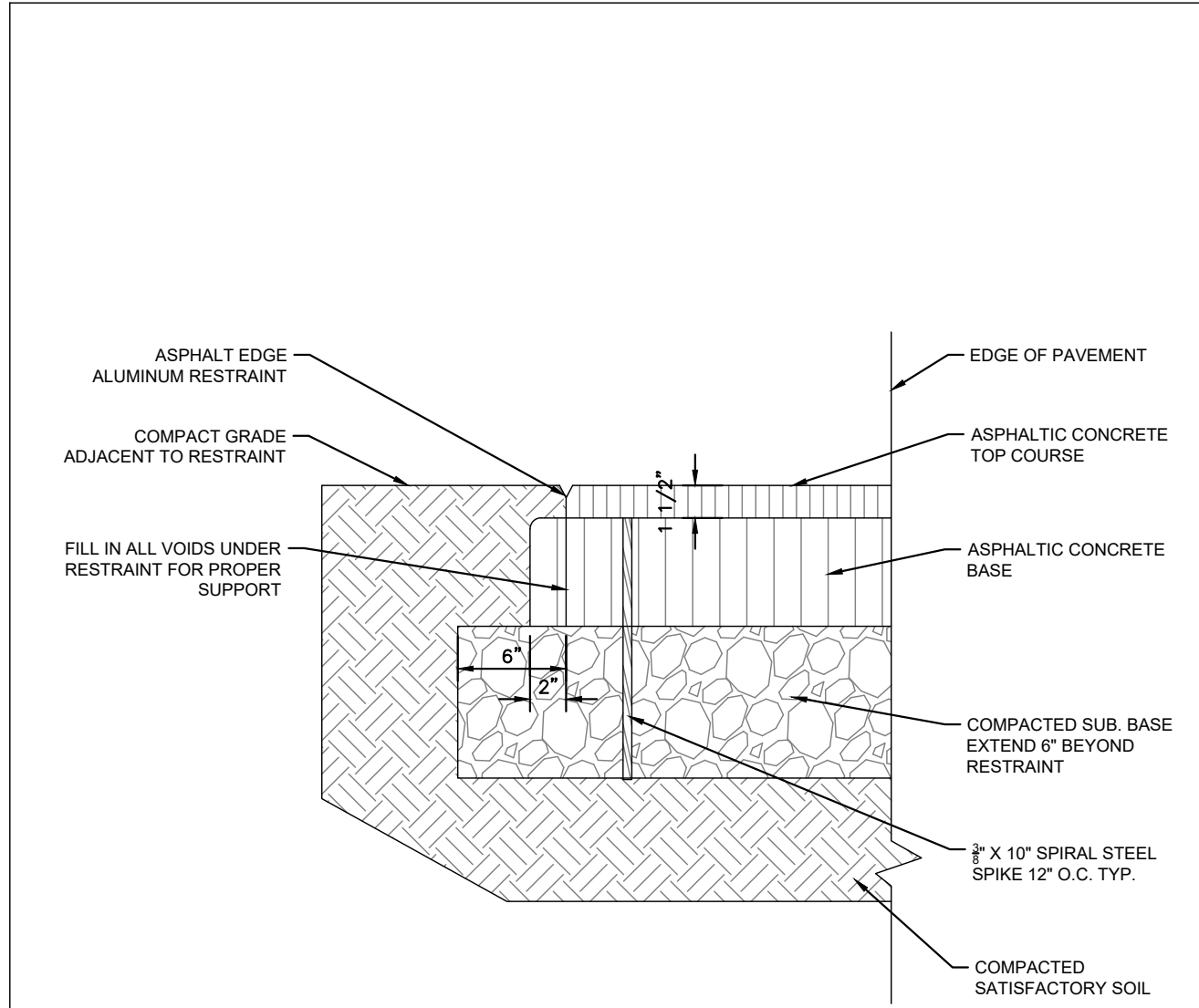
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

REVISIONS			R.I. STANDARD	
NO.	BY	DATE	43.1.0	
1	MLP	3/7/05		
2	MLP	06/01/10		



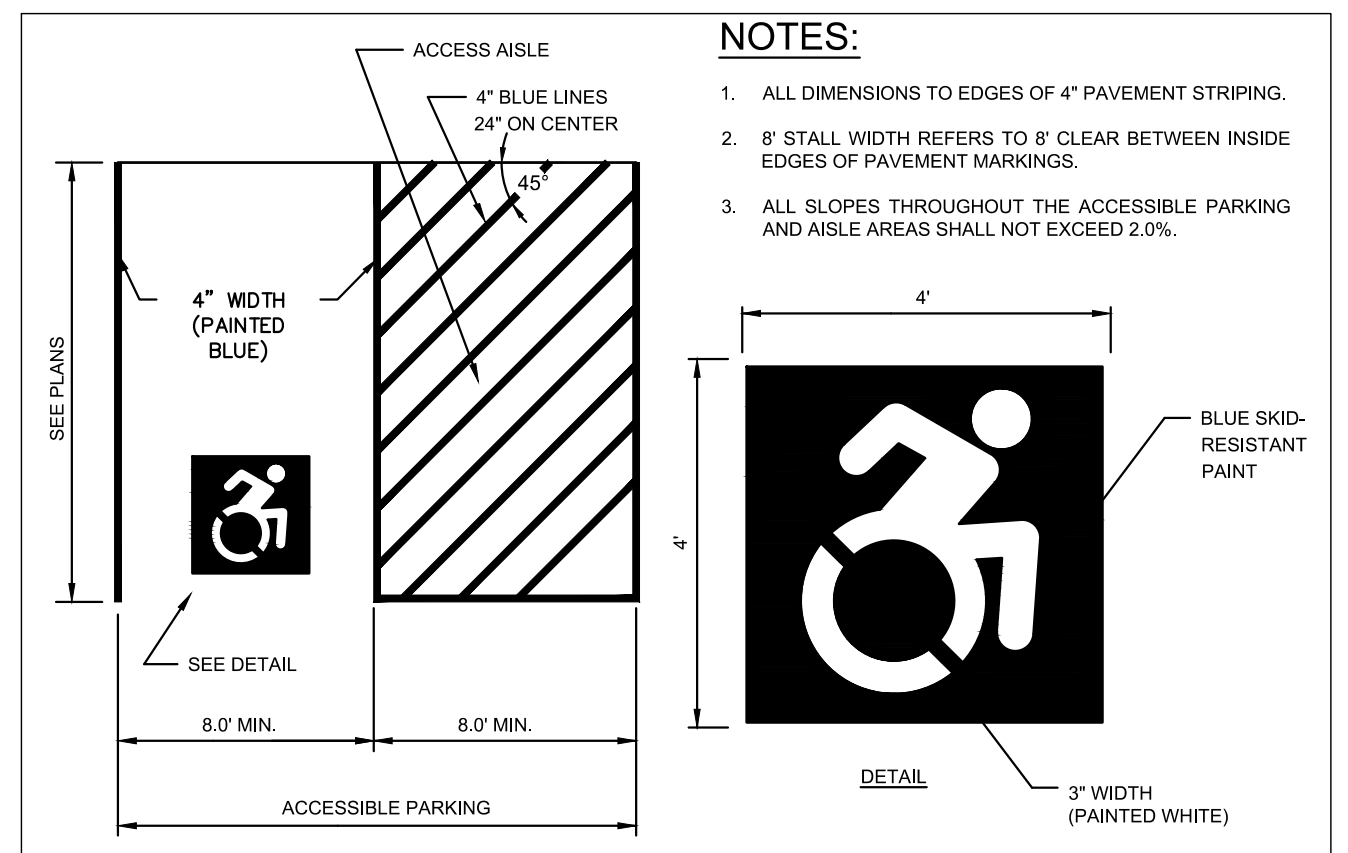
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

REVISIONS			R.I. STANDARD	
NO.	BY	DATE	7.6.0	
1	MLP	Mar 05		



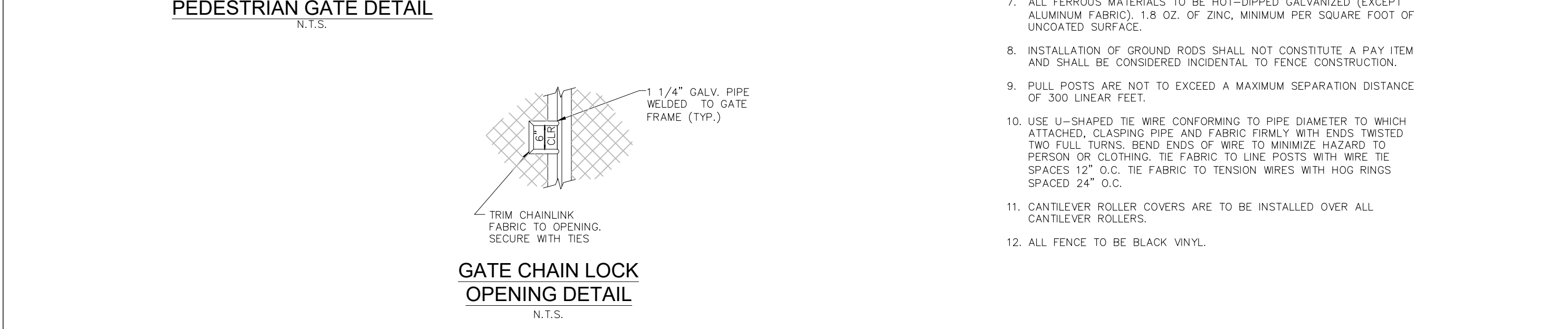
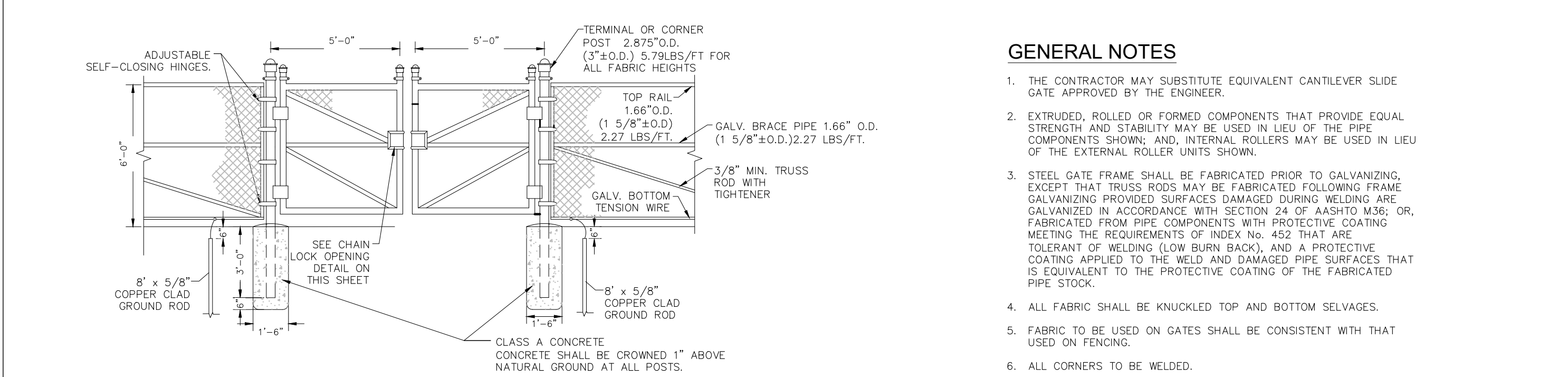
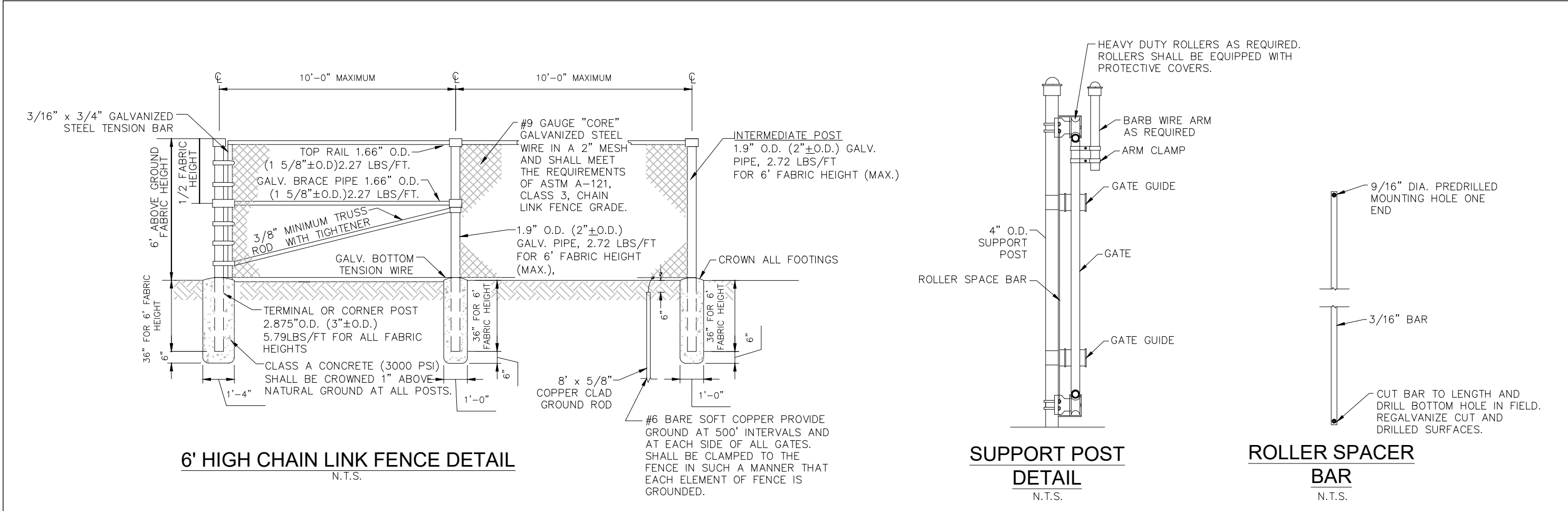
NOTE:
 1. ALUMINUM ASPHALT EDGE RESTRAINT TO BE INSTALLED AROUND PERIMETER OF THE ASPHALT DRIVEWAY/PARKING WHERE THERE IS NO CURBING
 2. INSTALL EDGE RESTRAINT PER MANUFACTURER'S "INSTALLATION GUIDELINES"
 3. 8'-0" SECTIONS CONNECTED WITH 4" SLIDING CONNECTOR
 4. MAINTAIN 1/2" GAP BETWEEN SECTIONS TO ALLOW FOR PRODUCT EXPANSION
 5. CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER
 6. PERMALOC ASPHALT EDGE AS MANUFACTURED BY PERMALOC CORP. 1.800.356.9660 OR APPROVED EQUAL
 7. COLOR: MILL FINISH

ASPHALT ALUMINUM EDGE RESTRAINT
 N.T.S. SOURCE: KIMLEY-HORN

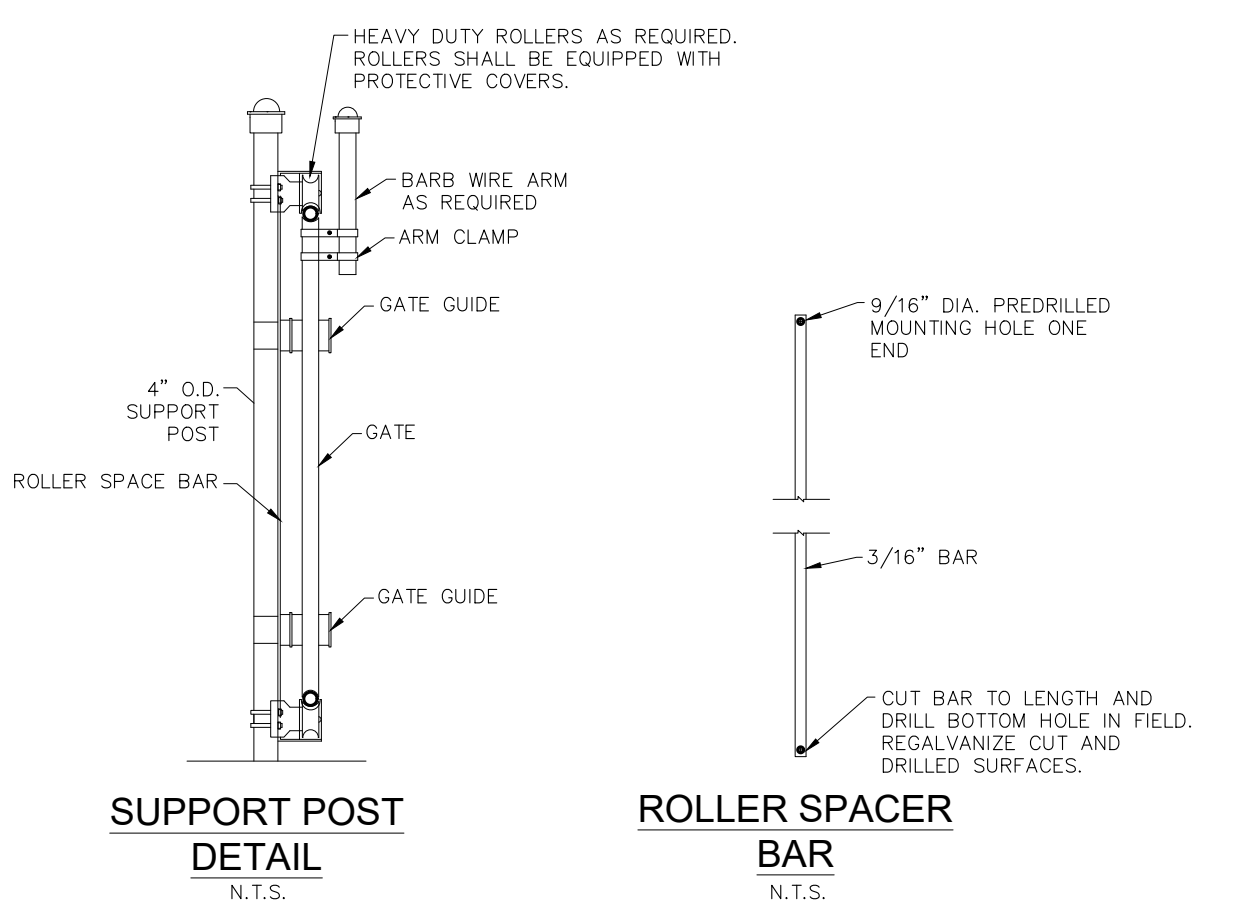


NOTES:
 1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
 2. 8" STALL WIDTH REFERS TO 8" CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2.0%.

ADA PAVEMENT MARKING
 N.T.S. SOURCE: KHA



FENCING DETAIL
 N.T.S. SOURCE: KHA



GENERAL NOTES
 1. THE CONTRACTOR MAY SUBSTITUTE EQUIVALENT CANTILEVER SLIDE GATE APPROVED BY THE ENGINEER.
 2. EXTRUDED, ROLLED OR FORMED COMPONENTS THAT PROVIDE EQUAL STRENGTH AND STABILITY MAY BE USED IN LIEU OF THE PIPE COMPONENTS SHOWN, AND, INTERNAL ROLLERS MAY BE USED IN LIEU OF THE EXTERNAL ROLLER UNITS SHOWN.
 3. STEEL GATE FRAME SHALL BE FABRICATED PRIOR TO GALVANIZING, EXCEPT THAT TRUSS RODS MAY BE FABRICATED FOLLOWING FRAME GALVANIZING PROVIDED SURFACES DAMAGED DURING WELDING ARE GALVANIZED IN ACCORDANCE WITH SECTION 24 OF AASHTO M36, OR FABRICATED FROM PIPE COMPONENTS WITH PROTECTIVE COATING MEETING THE REQUIREMENTS OF INDEX NO. 452 THAT ARE TOLERANT OF WELDING (LOW BURN BACK), AND A PROTECTIVE COATING APPLIED TO THE WELD AND DAMAGED PIPE SURFACES THAT IS EQUIVALENT TO THE PROTECTIVE COATING OF THE FABRICATED PIPE STOCK.
 4. ALL FABRIC SHALL BE KNUCKLED TOP AND BOTTOM SELVAGES.
 5. FABRIC TO BE USED ON GATES SHALL BE CONSISTENT WITH THAT USED ON FENCING.
 6. ALL CORNERS TO BE WELDED.
 7. ALL FERROUS MATERIALS TO BE HOT-DIPPED GALVANIZED (EXCEPT ALUMINUM FABRIC), 1.8 OZ. OF ZINC, MINIMUM PER SQUARE FOOT OF UNCOATED SURFACE.
 8. INSTALLATION OF GROUND RODS SHALL NOT CONSTITUTE A PAY ITEM AND SHALL BE CONSIDERED INCIDENTAL TO FENCE CONSTRUCTION.
 9. PULL POSTS ARE NOT TO EXCEED A MAXIMUM SEPARATION DISTANCE OF 300 LINEAR FEET.
 10. USE U-SHAPED TIE WIRE CONFORMING TO PIPE DIAMETER TO WHICH ATTACHED, CLASPING PIPE AND FABRIC FIRMLY WITH ENDS TWISTED TWO FULL TURNS; BEND ENDS OF WIRE TO MINIMIZE HAZARD TO PERSON OR CLOTHING. TIE FABRIC TO LINE POSTS WITH WIRE THE SPACES 12" O.C. THE FABRIC TO TENSION WIRES WITH HOG RINGS SPACED 24" O.C.
 11. CANTILEVER ROLLER COVERS ARE TO BE INSTALLED OVER ALL CANTILEVER ROLLERS.
 12. ALL FENCE TO BE BLACK VINYL.

NO.	REVISIONS	DATE

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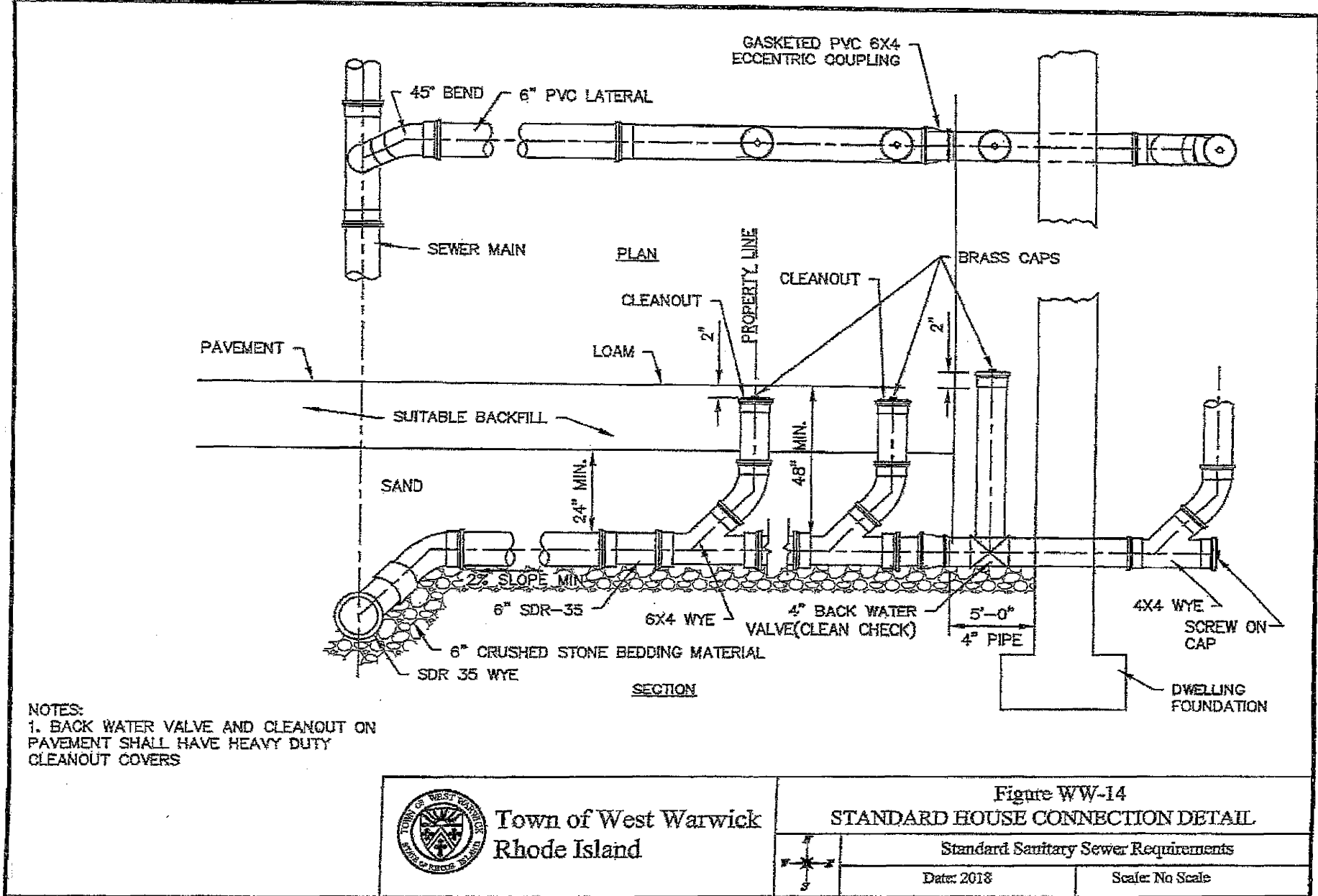
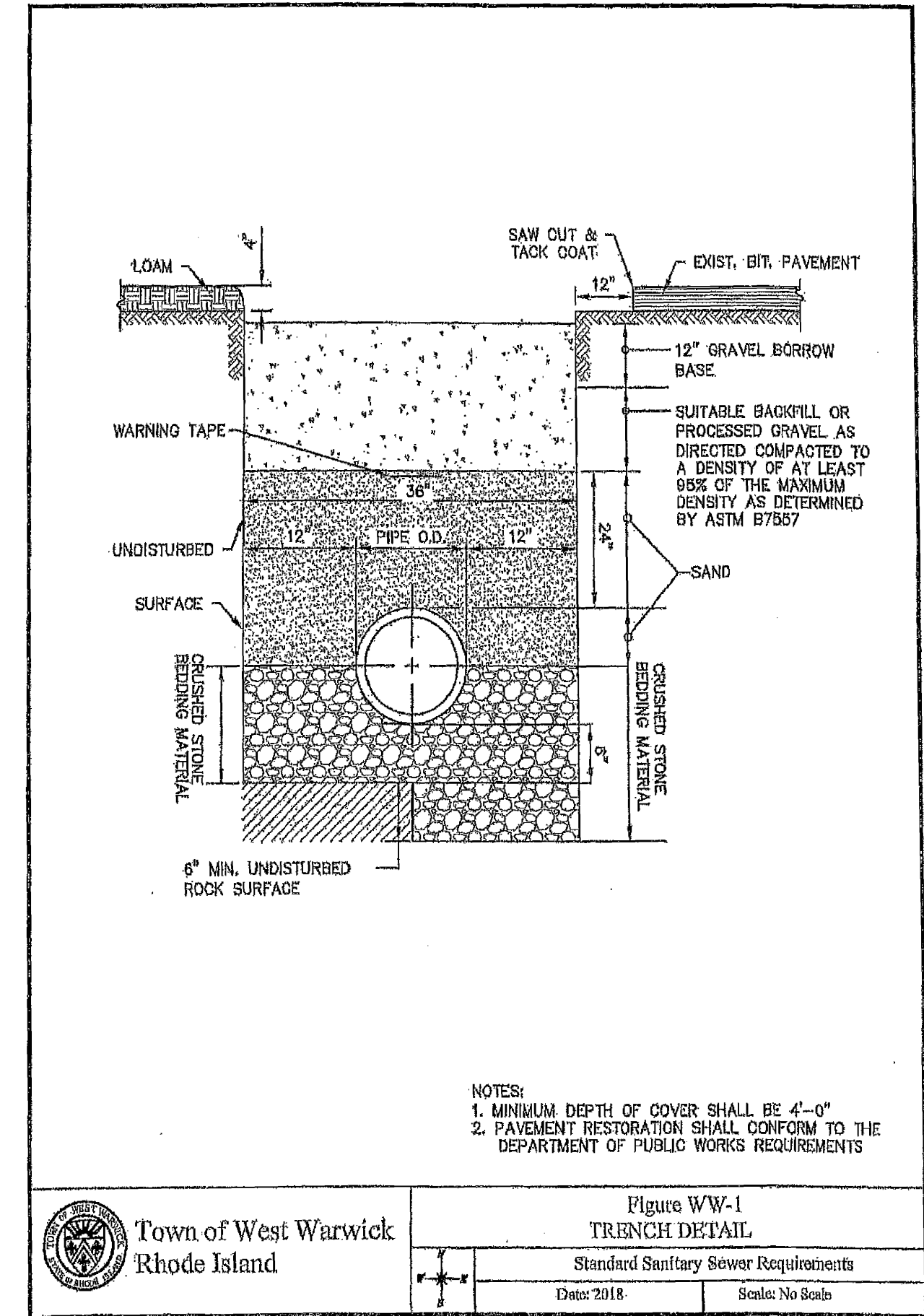
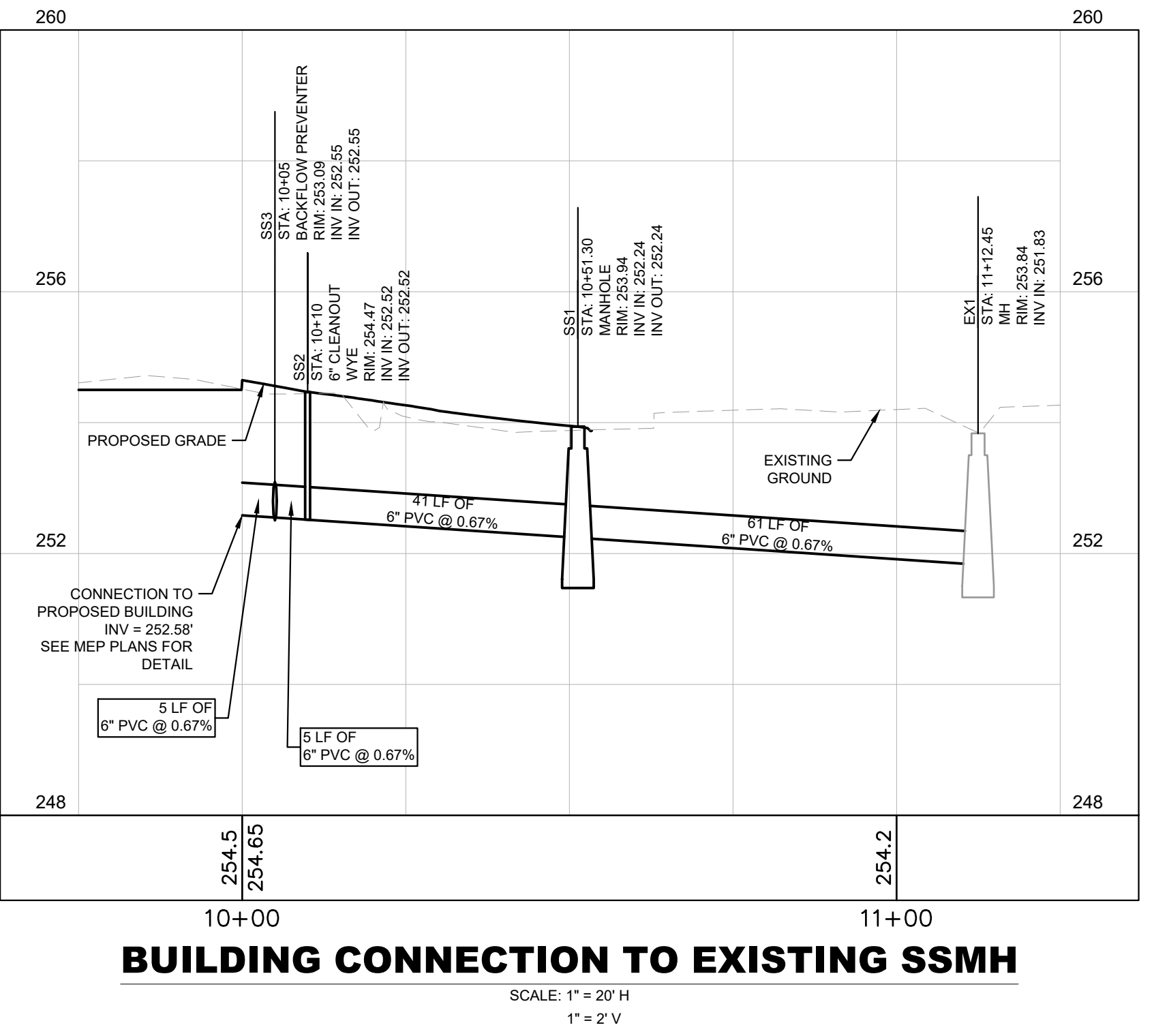
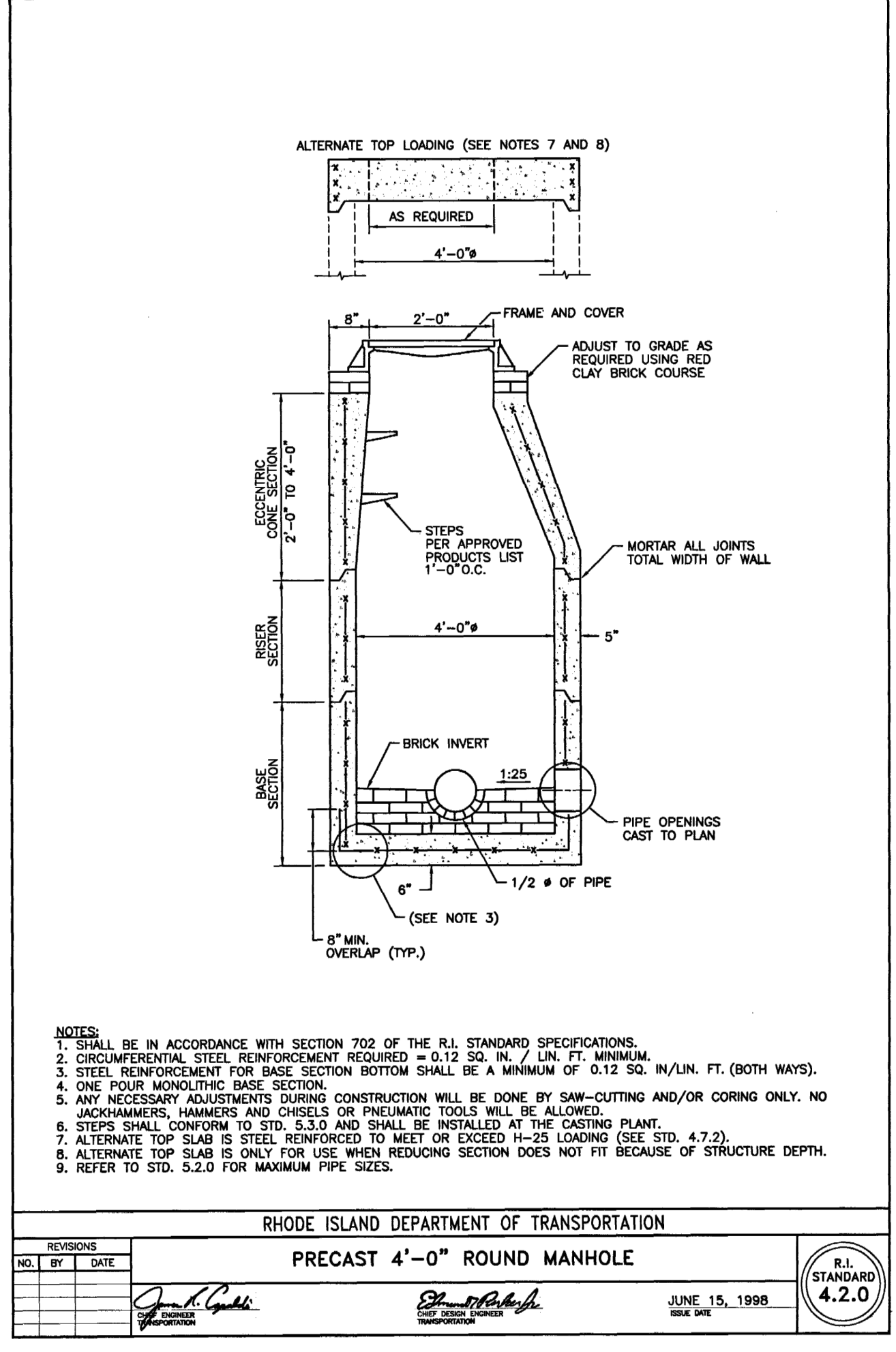
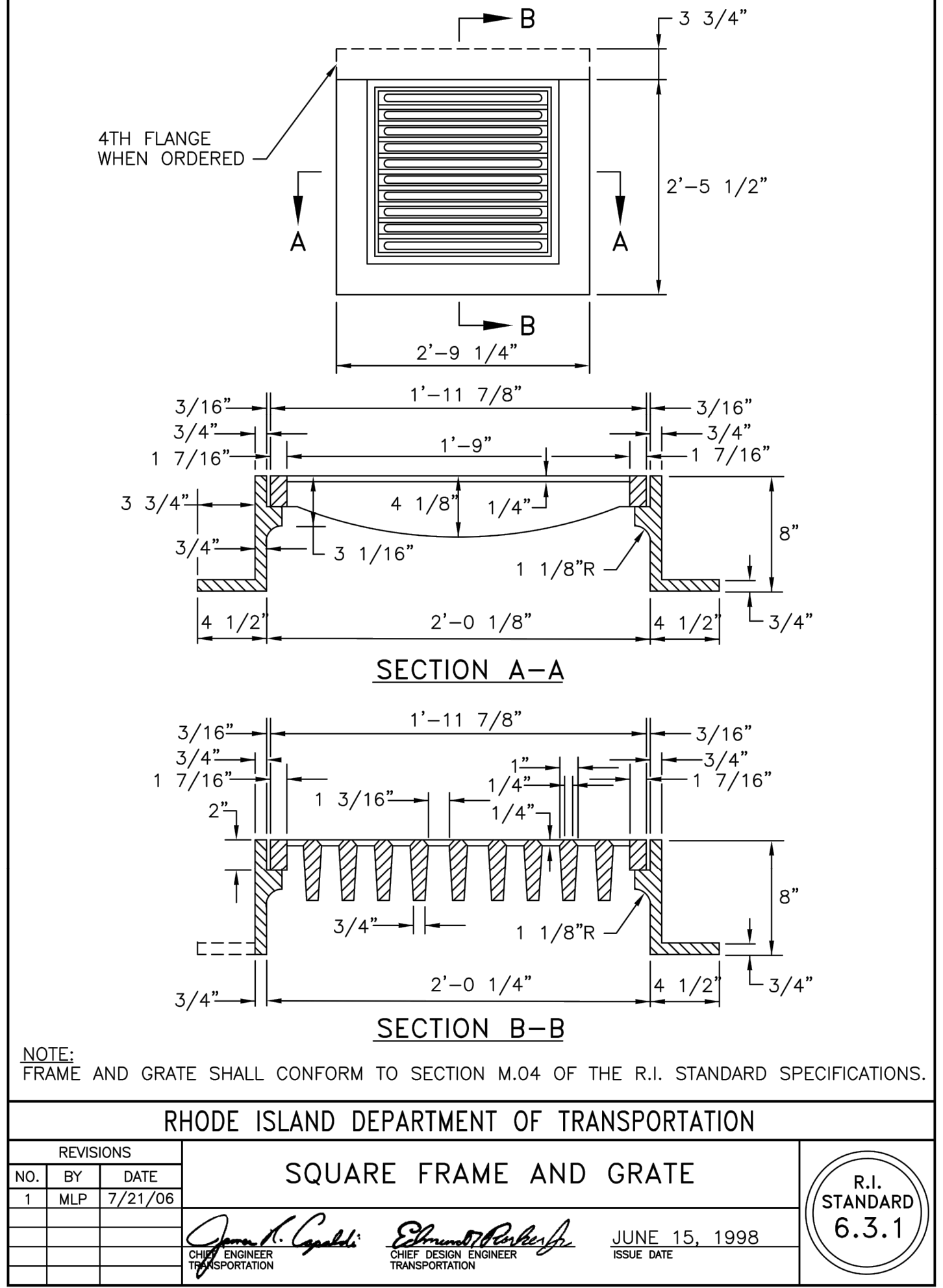
KHA PROJECT	112704000
DATE	11/01/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

SITE DETAILS

COVENTRY SELF STORAGE
 PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816

COVENTRY AP 10 LOT 31 RHODE ISLAND

Plotted By: Armstrong, Caroline Sheet Set: Kns Layout: UTILITY November 01, 2023 06:04:44pm K:\BOS-Civil\BOS-Projects\112704000 Min Storage (Coventry, RI)\CAD\PlanSheets\CONSTRUCTION DETAIL S.dwg
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BY		DATE	
NO.		REVISIONS	

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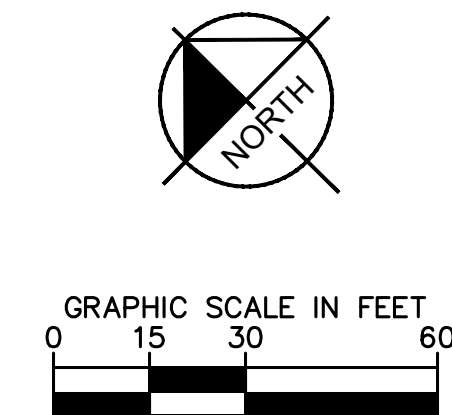
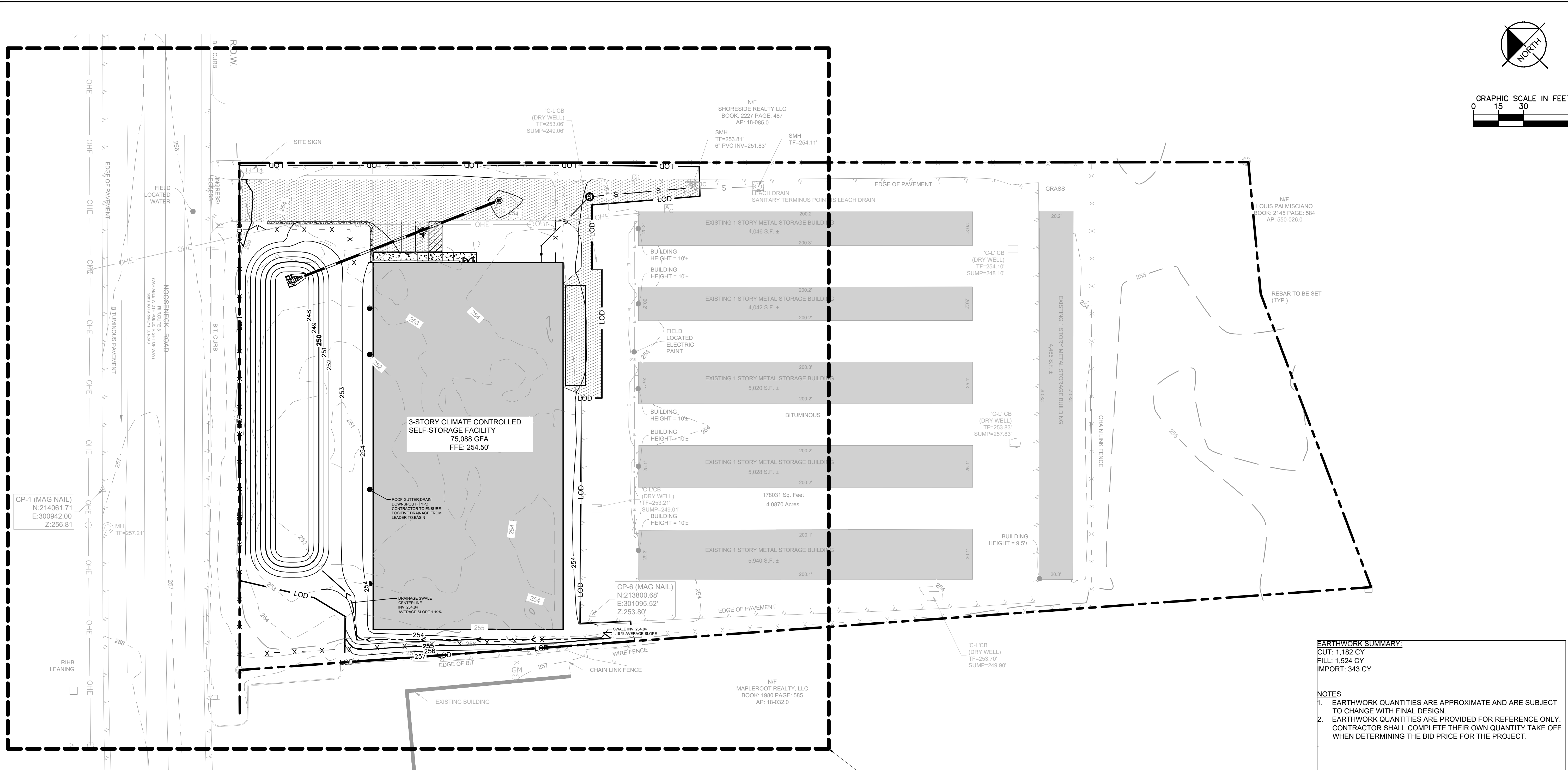
KHA PROJECT 112704000
DATE 11/01/2023
SCALE AS SHOWN
DESIGNED BY CGA
DRAWN BY CGA
CHECKED BY BE

UTILITY DETAILS & SSWR PROFILE

COVENTRY SELF STORAGE
PREPARED FOR
NOOSENECK HILL COVENTRY, LLC
1920 NOOSENECK HILL RD
COVENTRY, RI 02816
COVENTRY AP 10 LOT 31 RHODE ISLAND

SHEET NUMBER **C-4.3**

Plotted By: Armstrong, Caroline Sheet: Set: KHA Layout: OVERALL PLAN November 01, 2023 06:05:13pm K:\BOS_Civil\BOS Projects\112704000 Mini Storage Coventry, RI\CAD\PlanSheets\GRADING AND DRAINAGE PLAN.dwg
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EARTHWORK SUMMARY:
 CUT: 1,182 CY
 FILL: 1,524 CY
 IMPORT: 343 CY

NOTES
 1. EARTHWORK QUANTITIES ARE APPROXIMATE AND ARE SUBJECT TO CHANGE WITH FINAL DESIGN.
 2. EARTHWORK QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL COMPLETE THEIR OWN QUANTITY TAKE OFF WHEN DETERMINING THE BID PRICE FOR THE PROJECT.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN STATE AND TOWN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR STATE SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR RIDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY STATE OR TOWN REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- TRAFFIC CONTROL ON ALL TOWN AND STATE RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, SEDIMENTATION TANK OR STRAW BALE/SILT FENCE PIT, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM. CONTRACTOR IS RESPONSIBLE FOR SIZING TANK OR PITS BASED ON PROPOSED FLOWS FROM DEWATERING OPERATIONS.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MASS HIGHWAY STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE PIPES ARE CLEANED FOLLOWING CONSTRUCTION.

LEGEND

- ×255.0 SPOT ELEVATION
- 255 — EXIST. CONTOUR
- 255 — PROP. CONTOUR
- — PROP. STORM LINE
- — PROP. LIMITS OF DISTURBANCE 1.39 AC
- — DRAINAGE SWALE CENTERLINE
- ME MATCH EXISTING
- HP HIGH POINT
- LP LOW POINT
- FFE FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- ROOF LEADER

NOTES

- SPOT ELEVATION TO FLOW LINE UNLESS OTHERWISE NOTED.
- TOP OF CURB IS 6" ABOVE FLOW LINE UNLESS OTHERWISE NOTED.

SEE SHEET C-5.1

BY	
DATE	
REVISIONS	
No.	

Kimley-Horn

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BRIAN J. BREWER

No. 8946

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

KHA PROJECT	112704000
DATE	11/01/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

OVERALL GRADING AND DRAINAGE PLAN

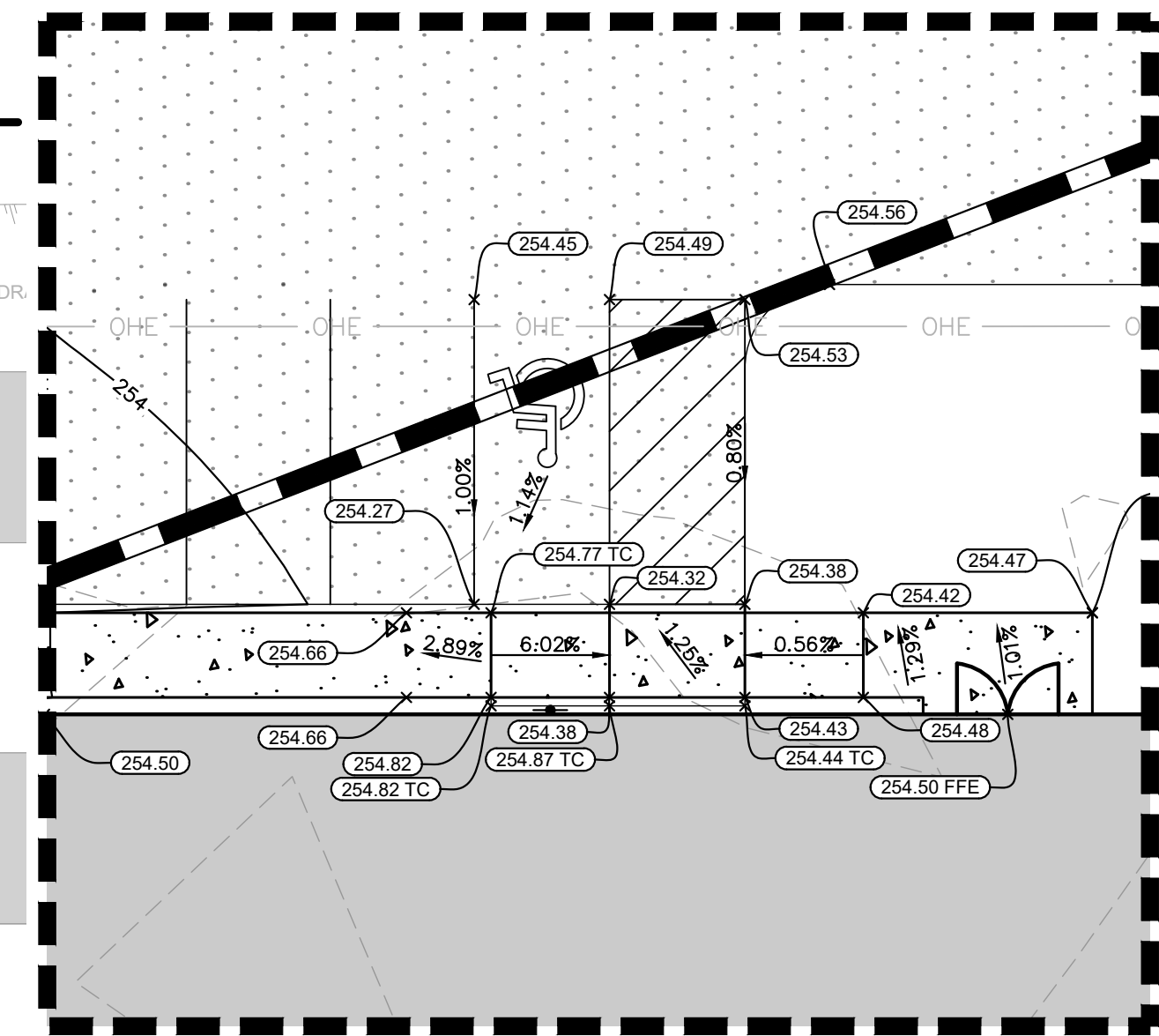
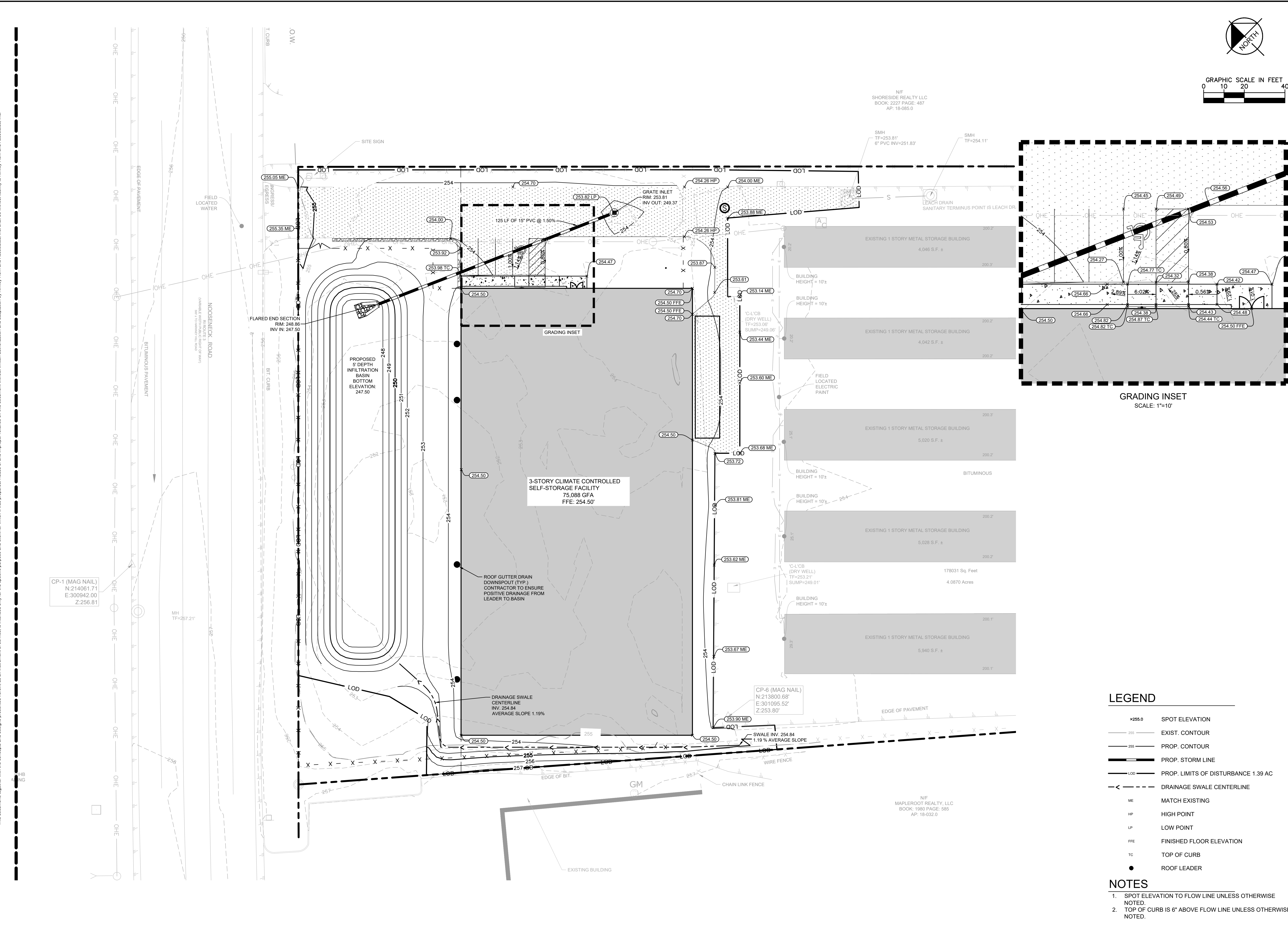
COVENTRY SELF STORAGE

PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816

AP 10 LOT 31 RHODE ISLAND

SHEET NUMBER
C-5.0

Plotted By: Armstrong, Caroline Sheet: Self-Storage Layout: 1 November 01, 2022 06:05:16pm K:\BOS-Civil\BOS Projects\112704000 Main Storage (Coventry, RI)\CAD\PlanSheets\GRAIDING AND DRAINAGE PLAN.dwg
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GRADING INSET
SCALE: 1"=10'

CP-1 (MAG NAIL)
N: 214061.71
E: 300942.00
Z: 256.81

CP-6 (MAG NAIL)
N: 213800.68
E: 301095.52
Z: 253.80

- LEGEND**
- 255.0 SPOT ELEVATION
 - 255 — EXIST. CONTOUR
 - 255 — PROP. CONTOUR
 - — PROP. STORM LINE
 - — PROP. LIMITS OF DISTURBANCE 1.39 AC
 - — DRAINAGE SWALE CENTERLINE
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 - FFE FINISHED FLOOR ELEVATION
 - TC TOP OF CURB
 - ROOF LEADER

- NOTES**
1. SPOT ELEVATION TO FLOW LINE UNLESS OTHERWISE NOTED.
 2. TOP OF CURB IS 6" ABOVE FLOW LINE UNLESS OTHERWISE NOTED.

BY	
DATE	
REVISIONS	
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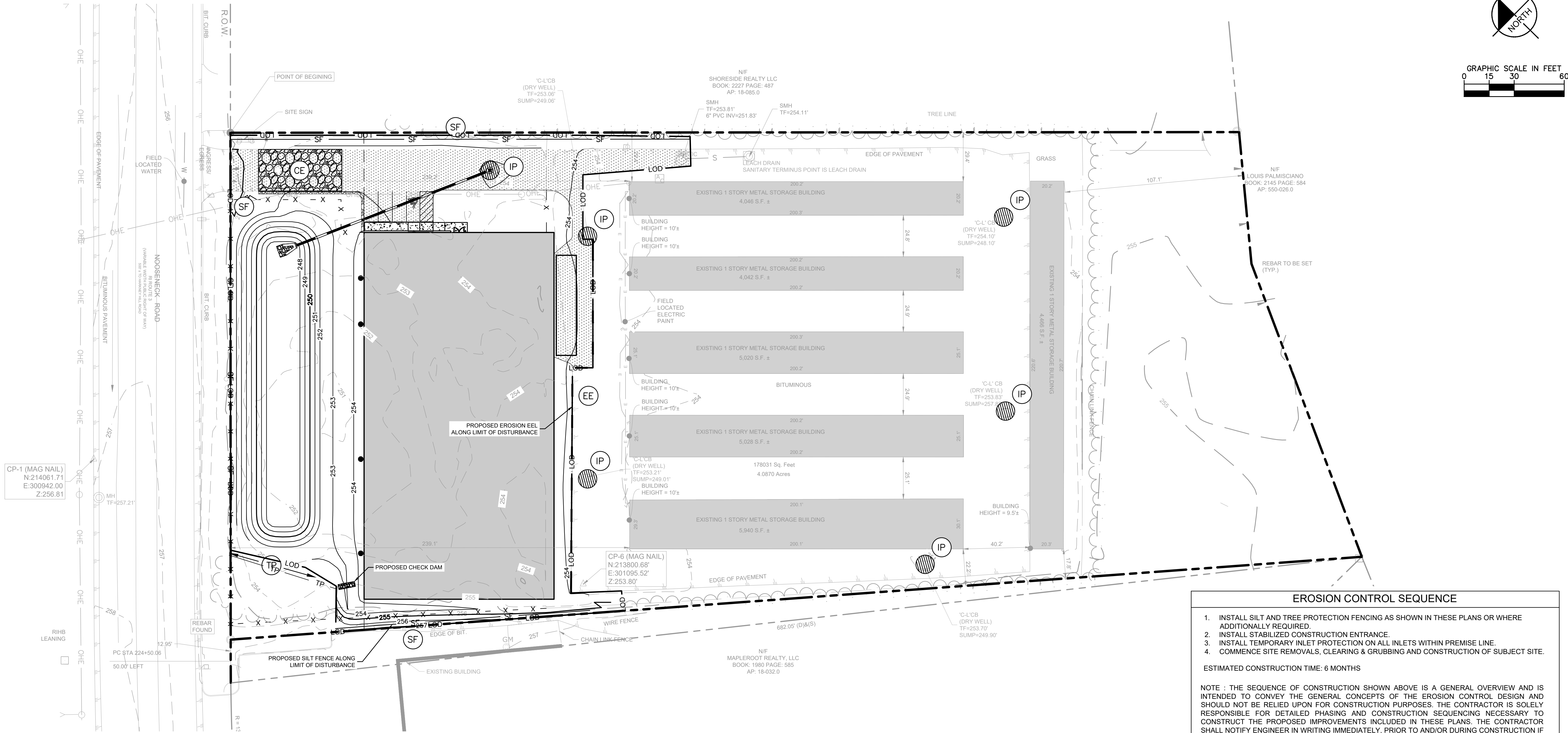
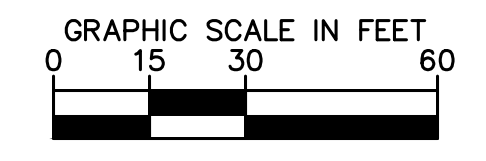
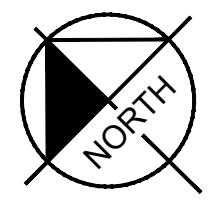
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DATE	11/01/2023
SCALE	AS SHOWN
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CHECKED BY	BE

GRADING AND DRAINAGE PLAN

COVENTRY SELF STORAGE
PREPARED FOR
NOOSENECK HILL COVENTRY, LLC
1920 NOOSENECK HILL RD
COVENTRY, RI 02816
COVENTRY AP 10 LOT 31 RHODE ISLAND

SHEET NUMBER
C-5.1

Plotted By: Armstrong, Caroline. Sheet Set: KHA. Layout: EROSION AND SEDIMENT CONTROL PLAN. November 01, 2023. 06:06:33pm. K:\BOS - CHMIBOS Projects\112704000 Min Storage (Coventry, RI)\CAD\PlanSheets\EROSION AND SEDIMENT CONTROL PLAN.dwg
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 N:214061.71
 E:300942.00
 Z:256.81

CP-6 (MAG NAIL)
 N:213800.68
 E:301095.52
 Z:253.80

EROSION CONTROL NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RE-STABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE NYC DEC SWPPP REQUIREMENTS.
- PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
- STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
- ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
- SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
 - WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

EROSION CONTROL SEQUENCE

- INSTALL SILT AND TREE PROTECTION FENCING AS SHOWN IN THESE PLANS OR WHERE ADDITIONALLY REQUIRED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - INSTALL TEMPORARY INLET PROTECTION ON ALL INLETS WITHIN PREMISE LINE.
 - COMMENCE SITE REMOVALS, CLEARING & GRUBBING AND CONSTRUCTION OF SUBJECT SITE.
- ESTIMATED CONSTRUCTION TIME: 6 MONTHS

NOTE : THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL

MEASURE	CALLOUT	SYMBOL
LIMIT OF DISTURBANCE		— LOD — LOD —
SAFETY FENCE	(SAF)	— — — — —
CONSTRUCTION ENTRANCE	(CE)	
SILT FENCE	(SF)	— SF —
INLET PROTECTION	(IP)	
CULVERT INLET PROTECTION	(CIP)	
TEMPORARY SEEDING	(TS)	← TS →
PERMANENT SEEDING	(PS)	← PS →
TREE PROTECTION	(TP)	— TP — TP —
EROSION EEL	(EE)	— — — — —

NO.	REVISIONS	DATE	BY

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BRIAN J. BREWER

No. 8946

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

KHA PROJECT	112704000
DATE	11/01/2023
SCALE	AS SHOWN
DESIGNED BY	CGA
DRAWN BY	CGA
CHECKED BY	BE

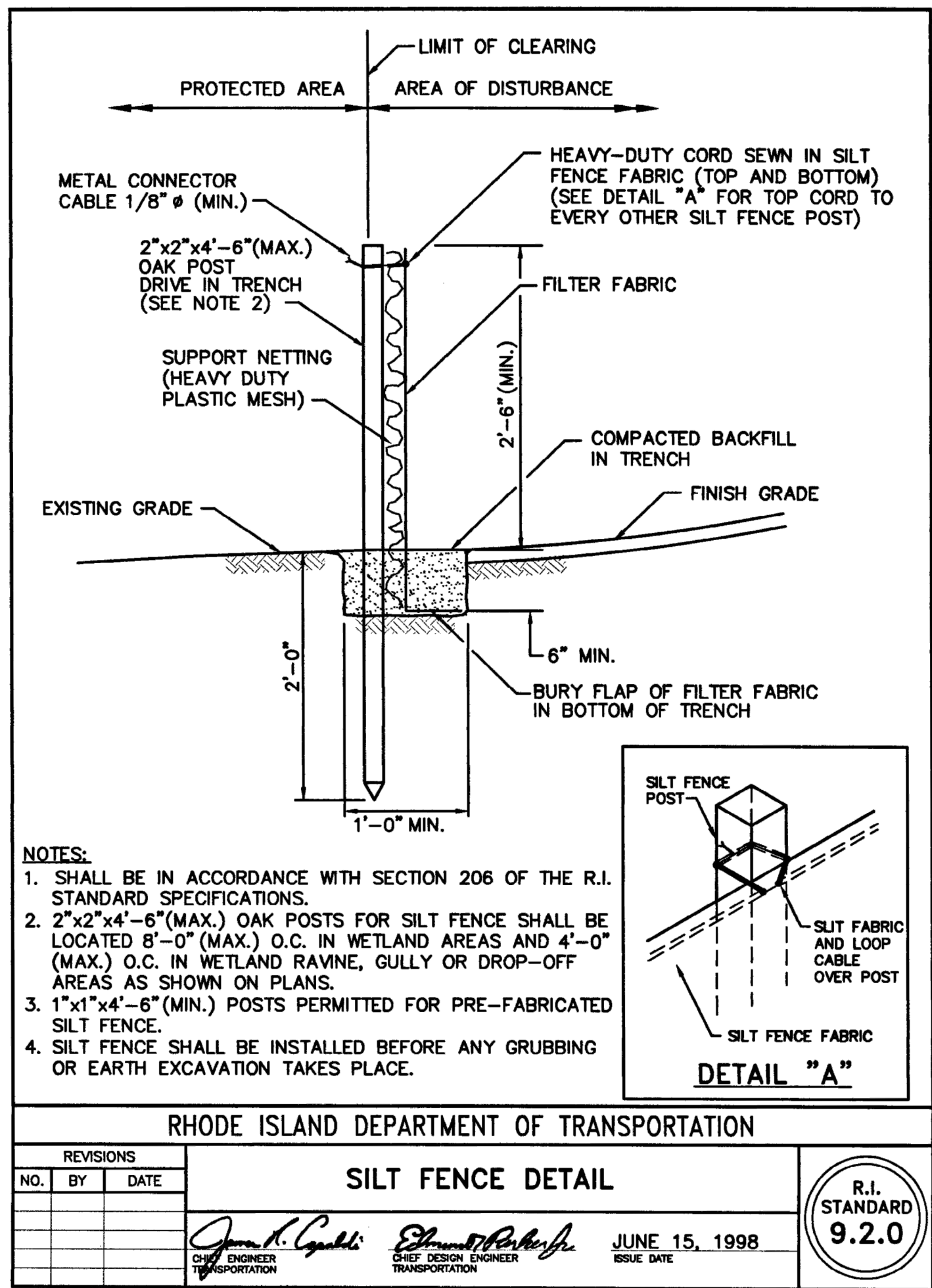
EROSION AND SEDIMENT CONTROL PLAN

COVENTRY SELF STORAGE

PREPARED FOR
 NOOSENECK HILL COVENTRY, LLC
 1920 NOOSENECK HILL RD
 COVENTRY, RI 02816

AP 10 LOT 31 RHODE ISLAND

SHEET NUMBER
C-6.0



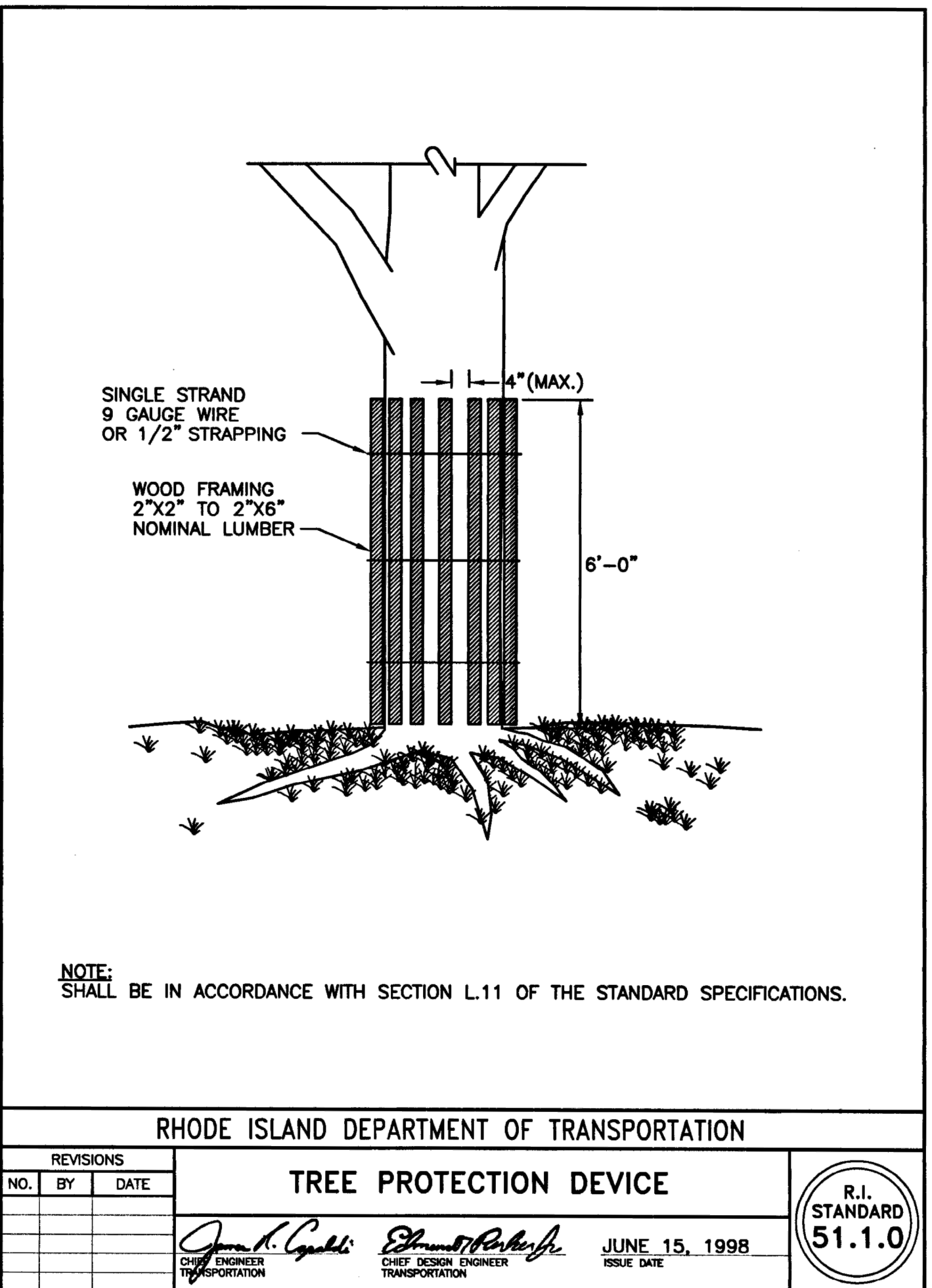
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

SILT FENCE DETAIL

REVISIONS: NO. BY DATE

June 15, 1998

R.I. STANDARD 9.2.0



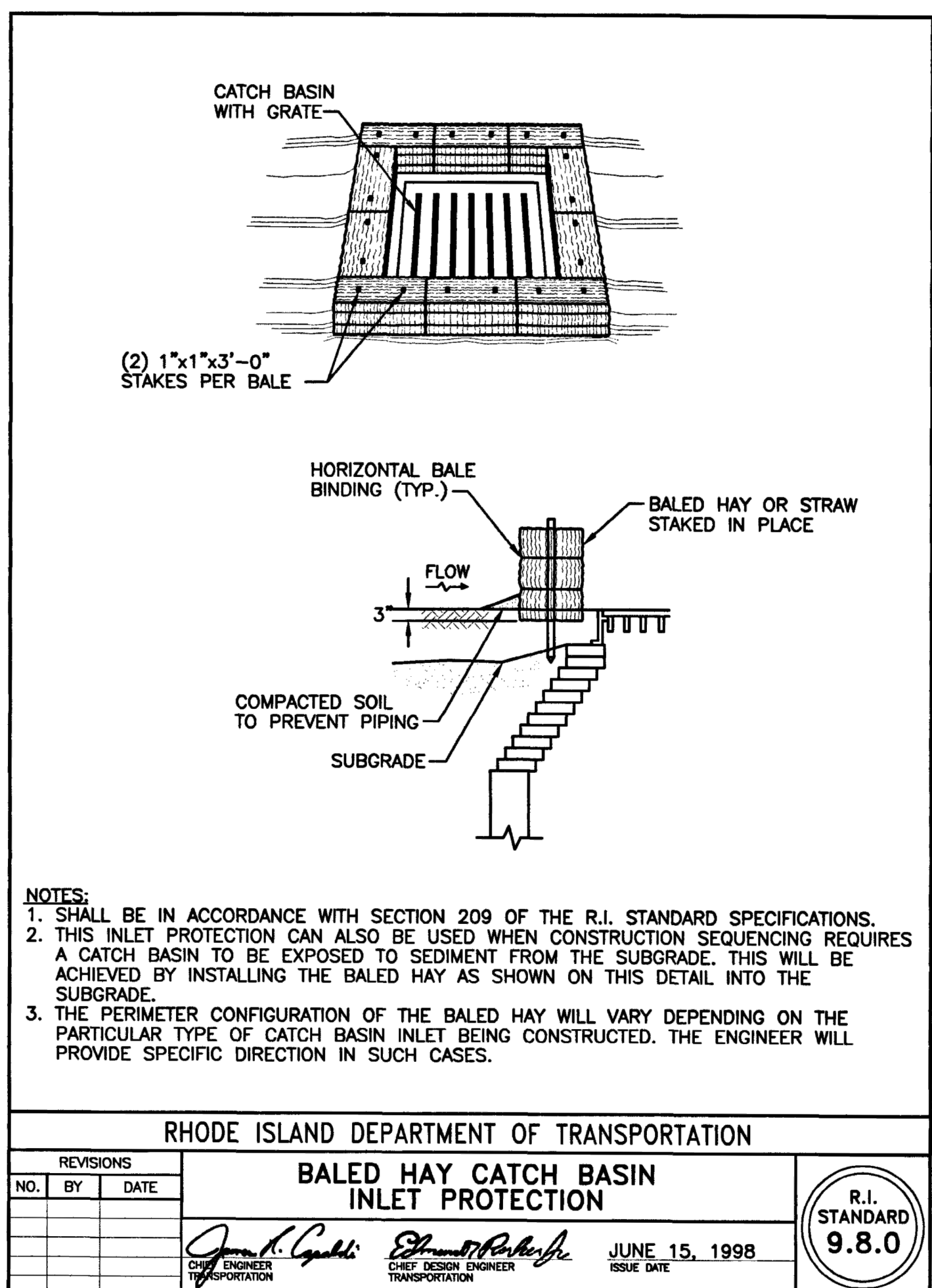
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TREE PROTECTION DEVICE

REVISIONS: NO. BY DATE

June 15, 1998

R.I. STANDARD 51.1.0



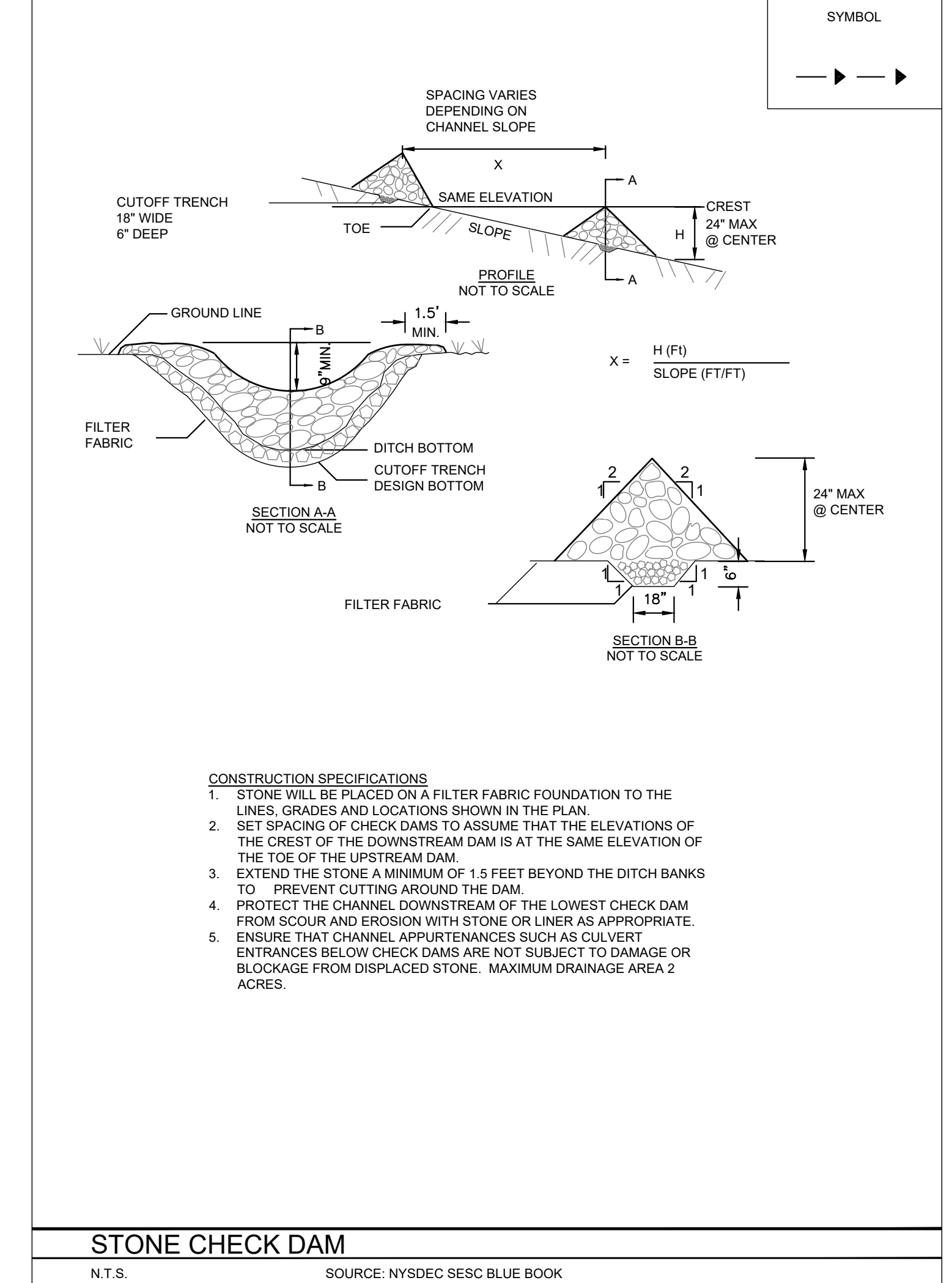
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

BALED HAY CATCH BASIN INLET PROTECTION

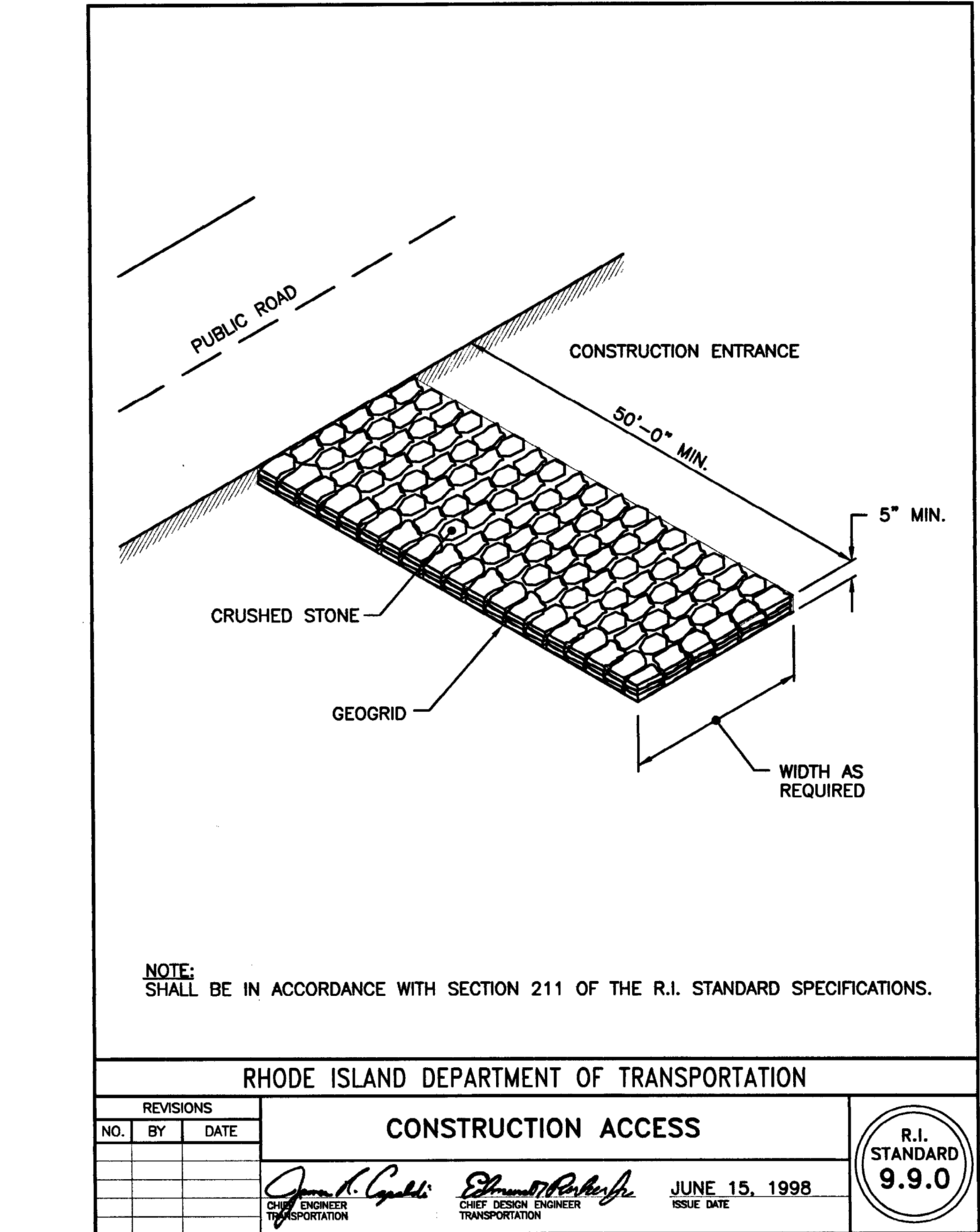
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STONE CHECK DAM
N.T.S. SOURCE: NYSDEC SESC BLUE BOOK



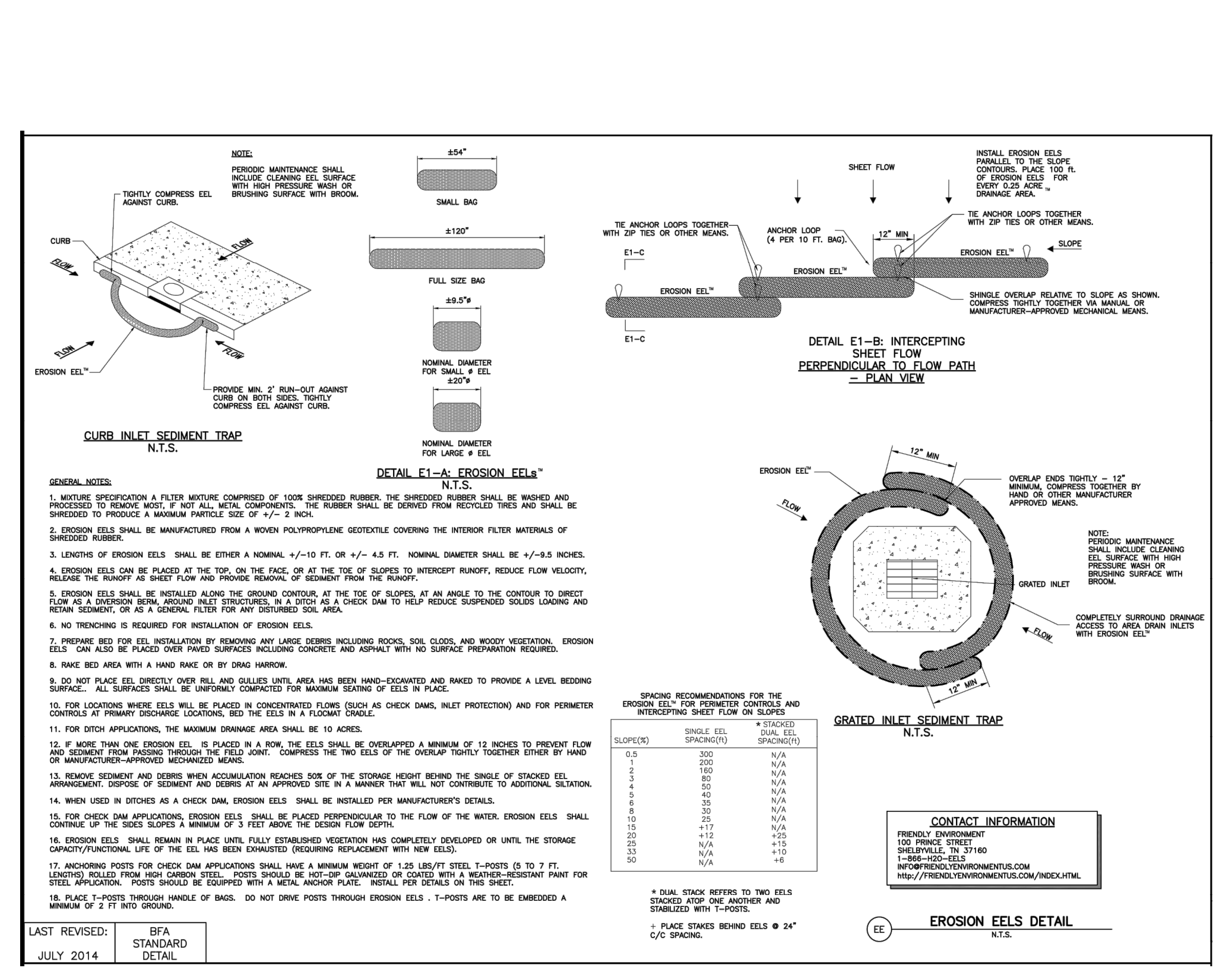
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CONSTRUCTION ACCESS

REVISIONS: NO. BY DATE

June 15, 1998

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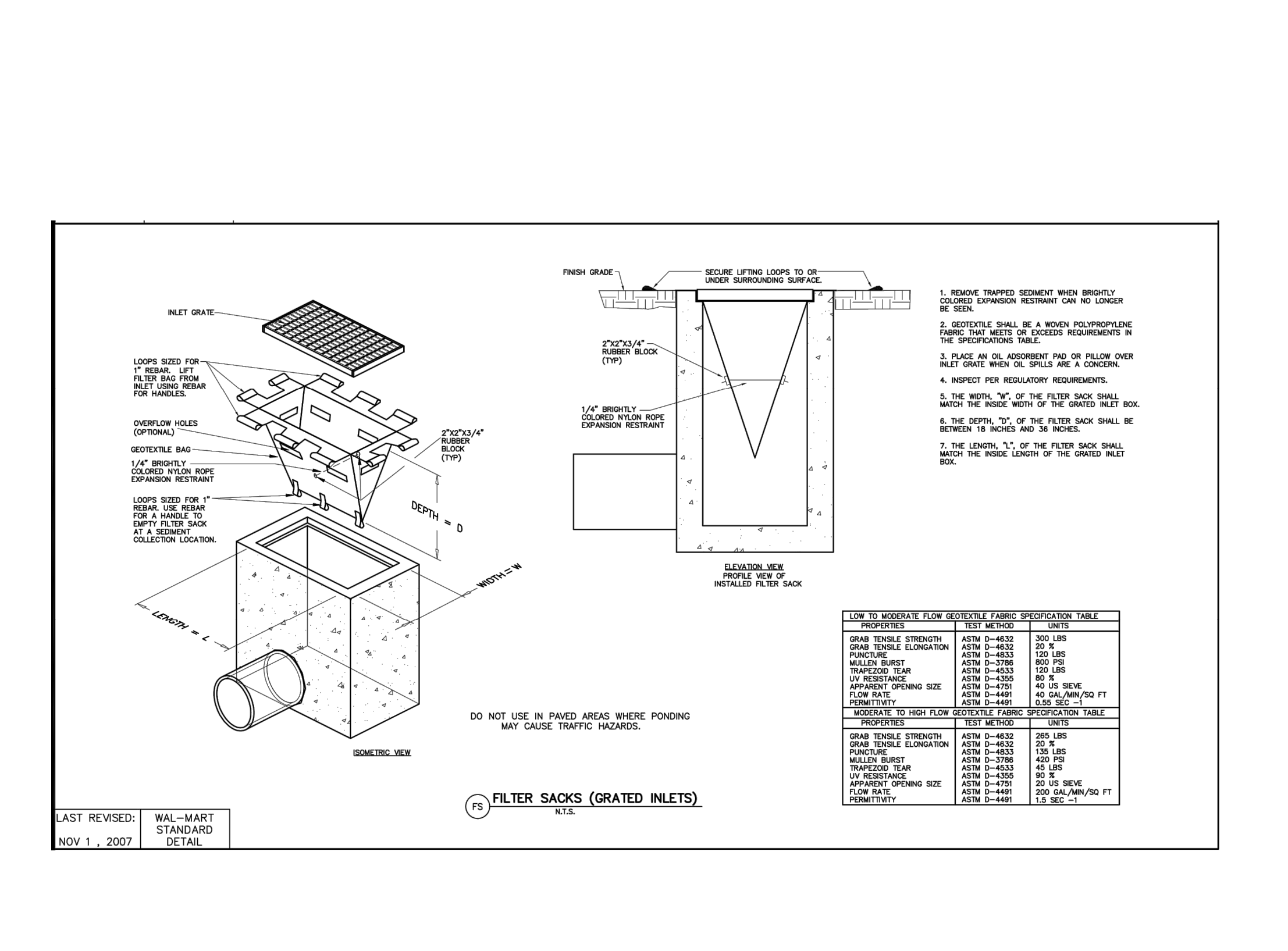
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July 2014

R.I. STANDARD 51.1.0



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REVISIONS: NO. BY DATE

Nov 1, 2007

R.I. STANDARD 9.8.0

BY: DATE: REVISIONS: No.

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COVENTRY SELF STORAGE
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AP 10 LOT 31 RHODE ISLAND

EROSION & SEDIMENT CONTROL DETAILS

SHEET NUMBER: C-6.1

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