

PRELIMINARY PLAN SUBMISSION FOR COVENTRY CROSSINGS COMPREHENSIVE PERMIT

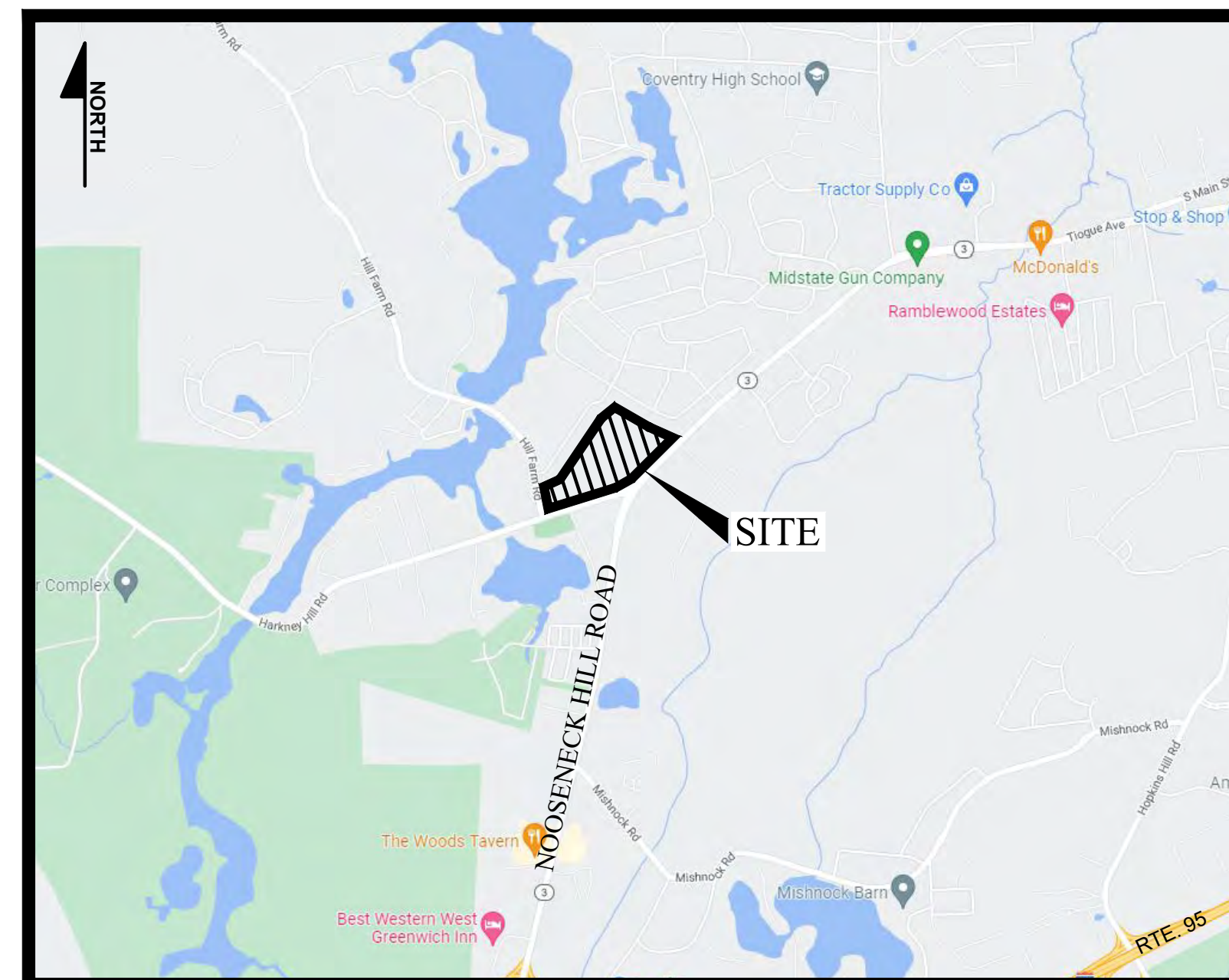
A.P.10, LOT 29 & A.P. 18, LOT 86
HARKNEY HILL ROAD
COVENTRY,
RHODE ISLAND

OWNERS:
A.P. 10, LOT 29
KOSZELA JOHN & ECCLESTON
WILLIAM REV TRUST ET AL
1315 VICTORY HIGHWAY
GREENE RI 02827

A.P. 18, LOT 86
ECCLESTON ELAINE M. REVOCABLE TRUST
AGREEMENT C/O
ECCLESTON ELAINE TTE
8 CEDAR RIDGE LN UNIT 67
WEST GREENWICH, RI 02817

APPLICANT:
KREG NEW HOMES LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

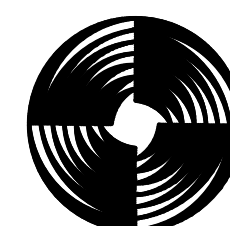
LEGAL COUNSEL:
WILLIAM LANDRY
BLISH & CAVANAGH, LLP
30 EXCHANGE TERRACE
PROVIDENCE, RI 02903-1765



LOCUS MAP
NOT TO SCALE

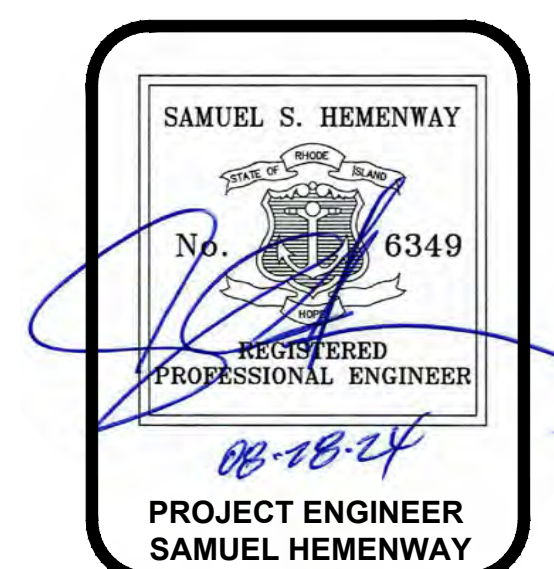
SHEET INDEX		
SHEET	PLAN TITLE	LATEST REVISION
-	COVER SHEET	
G-1	VICINITY MAP	
G-2	AERIAL PLAN	
ECS	EXISTING CONDITIONS SURVEY	
C-1.0	GENERAL NOTES & LEGEND	
C-1.1	DEVELOPMENT OVERALL	
C-2.0	OVERALL SITE LAYOUT PLAN	
C-2.1	LAYOUT PLAN - 1	
C-2.2	LAYOUT PLAN - 2	
C-2.3	LAYOUT PLAN - 3	
C-2.4	LAYOUT PLAN - 4	
C-3.0	OVERALL UTILITY PLAN	
C-3.1	UTILITY PLAN - 1	
C-3.2	UTILITY PLAN - 2	
C-3.3	UTILITY PLAN - 3	
C-3.4	UTILITY PLAN - 4	
C-4.0	OVERALL GRADING PLAN	
C-4.1	GRADING PLAN - 1	
C-4.2	GRADING PLAN - 2	
C-4.3	GRADING PLAN - 3	
C-4.4	GRADING PLAN - 4	
C-5.0	PROFILE - 1	
C-5.1	PROFILE - 2	
C-5.2	PROFILE - 3	
C-6.0	SOIL EROSION & SEDIMENT CONTROL PLAN -1	
C-6.1	SOIL EROSION & SEDIMENT CONTROL PLAN -2	
C-6.2	SOIL EROSION & SEDIMENT CONTROL PLAN -3	
C-7.0	CONSTRUCTION DETAILS - 1	
C-7.1	CONSTRUCTION DETAILS - 2	
C-7.2	CONSTRUCTION DETAILS - 3	
C-7.3	CONSTRUCTION DETAILS - 4	
C-7.4	CONSTRUCTION DETAILS - 5	
C-7.5	CONSTRUCTION DETAILS - 6	
L-1.0	OVERALL PLANTING PLAN	
L-1.1	PLANTING PLAN - 1	
L-1.2	PLANTING PLAN - 2	
L-1.3	PLANTING PLAN - 3	
L-1.4	PLANTING PLAN - 4	
L-1.5	PLANTING PLAN DETAILS	

PREPARED BY:

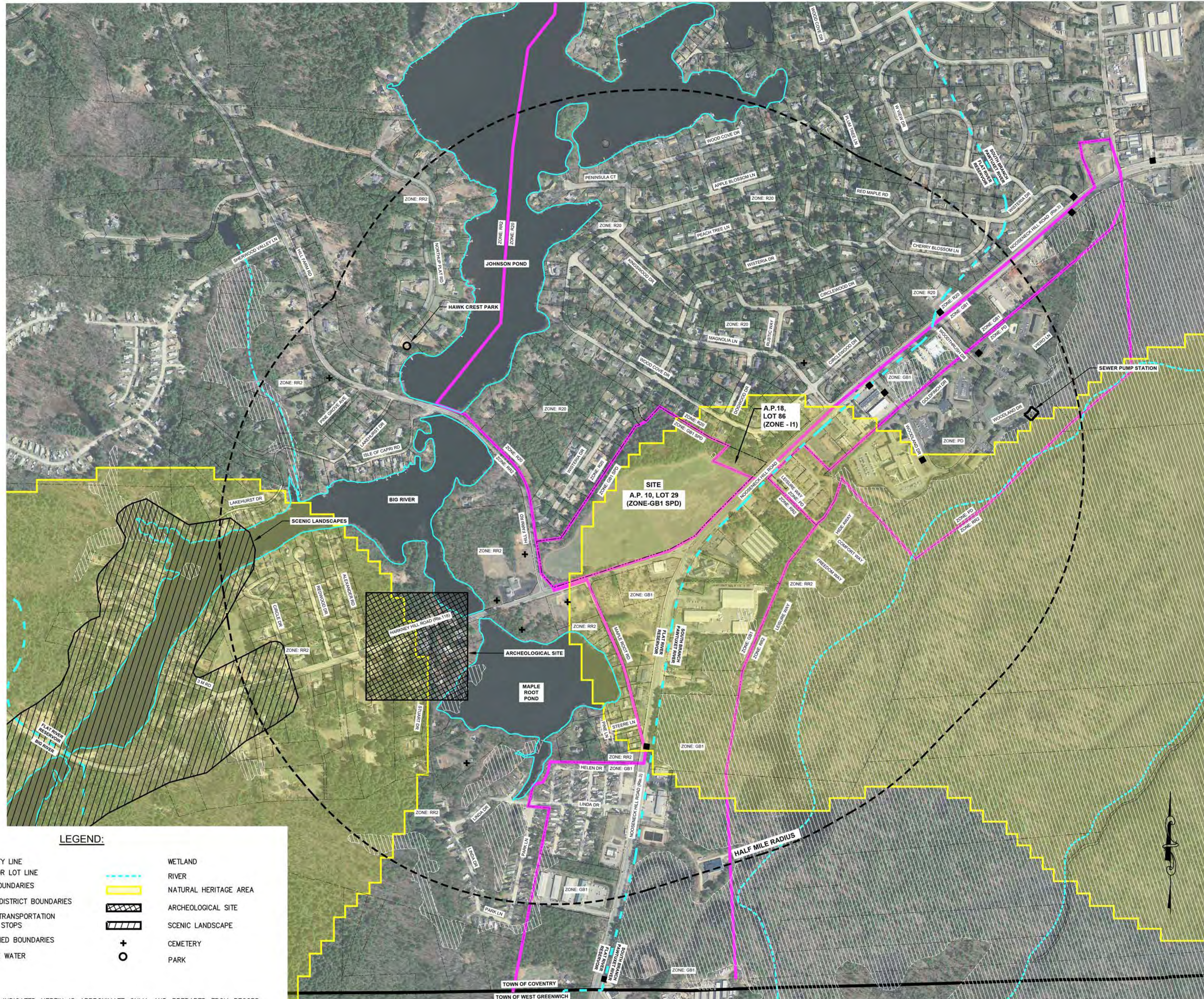


GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS SURVEYORS
LAND PLANNERS ENVIRONMENTAL SCIENTISTS
P.O. BOX 6145 PROVIDENCE, R.I. 02940
1-401-273-6000

JOB NO. 7398-00
DATE: AUGUST, 2024



L:\7398-00 Harkney Hill (RREG) - Coventry, RI\dwg\01-Current\7398-00_Vicinity & Aerial Map.dwg 08/26/2024 kyngiang 08:53



LEGEND:

	PROPERTY LINE		WETLAND
	ASSESSOR LOT LINE		RIVER
	TOWN BOUNDARIES		NATURAL HERITAGE AREA
	ZONING DISTRICT BOUNDARIES		ARCHEOLOGICAL SITE
	PUBLIC TRANSPORTATION ROUTE/ STOPS		SCENIC LANDSCAPE
	WATERSHED BOUNDARIES		CEMETERY
	SURFACE WATER		PARK

- SHEET NOTES:**
1. THE EXISTING CONDITIONS INDICATED HEREIN IS APPROXIMATE ONLY, AND PREPARED FROM RECORD PLANS AND GIS INFORMATION ONLY.
 2. THERE ARE NO SCHOOLS, FIRE/POLICE STATIONS, AND OTHER SIGNIFICANT PUBLIC FACILITIES WITHIN HALF MILE RADIUS OF THE SITE. THE SITE IS LOCATED WITHIN PRIME AGRICULTURAL SOIL AND GROUNDWATER PROTECTION AREA.



VICINITY MAP
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

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PROJECT ENGINEER
SAMUEL HEMENWAY

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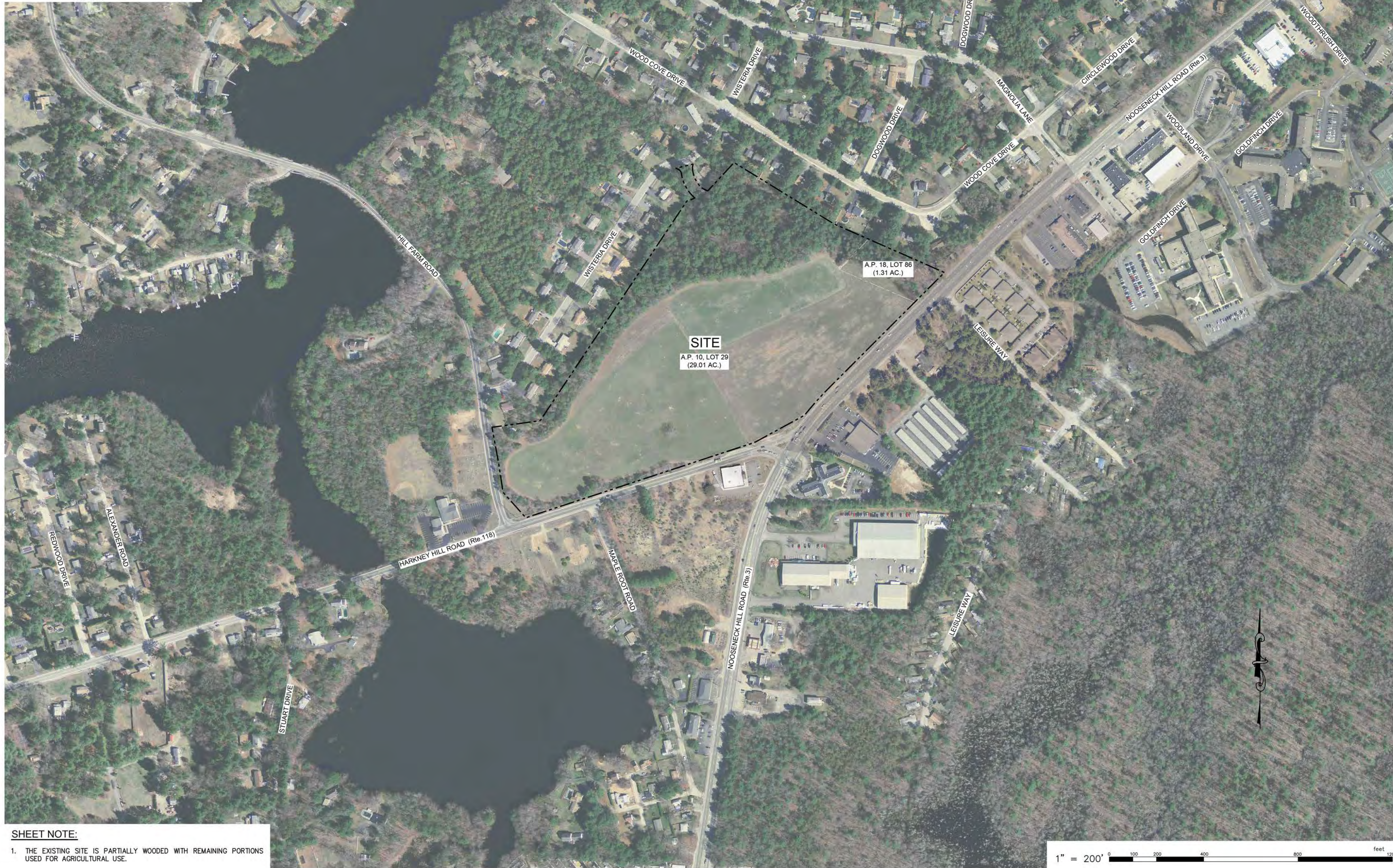
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JOB NO. 7398-00	DRAWN BY K.Y.Y.
DWG. NO. 7398-00_VICINITY & AERIAL MAP	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
G-1
 2 OF 33 SHEETS



LOCUS MAP
N.T.S.



SHEET NOTE:

1. THE EXISTING SITE IS PARTIALLY WOODED WITH REMAINING PORTIONS USED FOR AGRICULTURAL USE.

L:\7398-00 Harkney Hill (KREG) - Coventry, RI\dwg\01-Current\7398-00_Vicinity & Aerial Map.dwg 08/26/2024 kyngang 08:53

AERIAL PLAN

FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO

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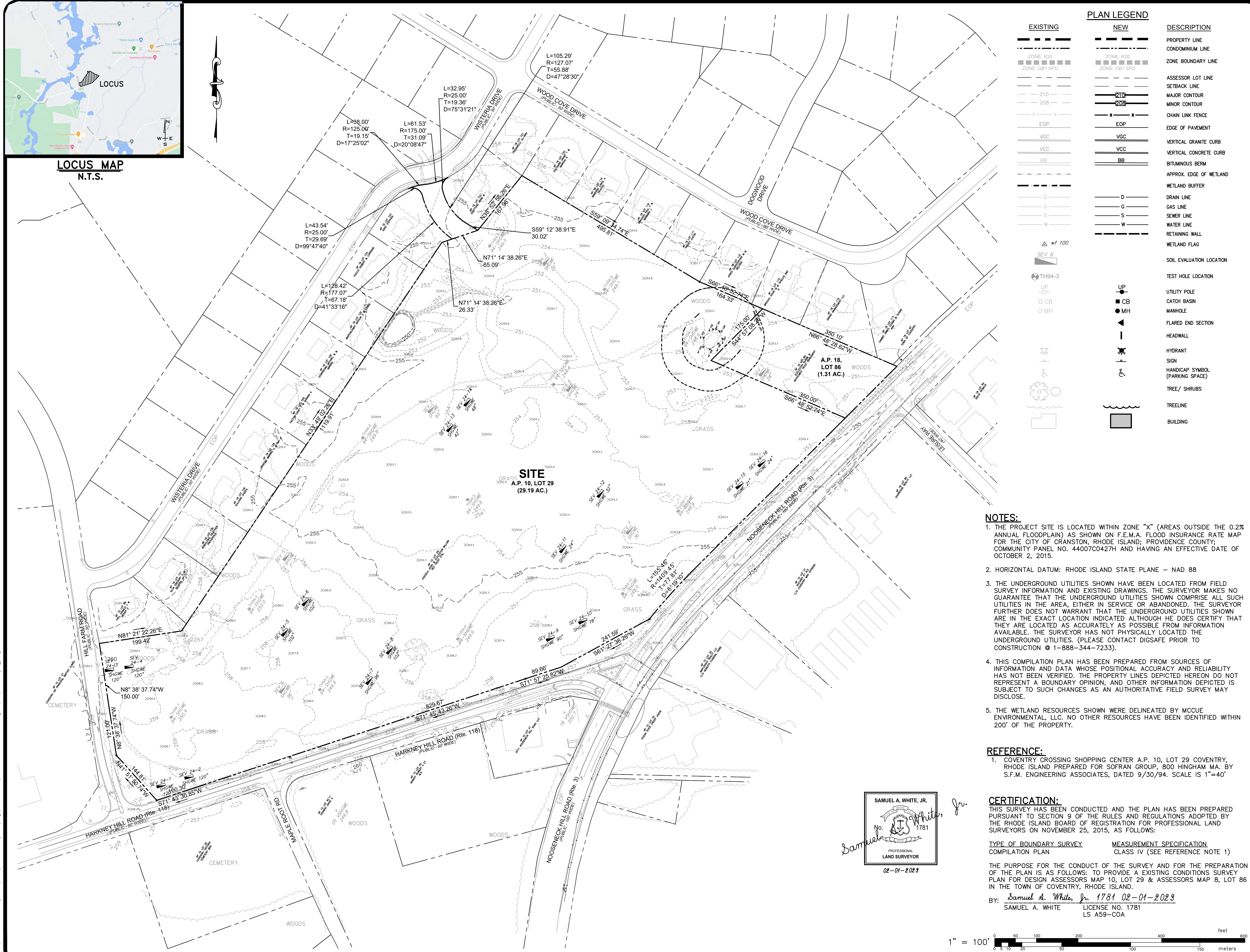
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SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
G-2
3 OF 33 SHEETS



LOCUS MAP
N.T.S.



EXISTING		NEW		DESCRIPTION
	ZONE: R20		ZONE: R20	PROPERTY LINE
	ZONE: GB1 SPD		ZONE: GB1 SPD	CONDOMINIUM LINE
	ZONE: GB1 SPD		ZONE: GB1 SPD	ZONE BOUNDARY LINE
	EOP		EOP	ASSESSOR LOT LINE
	VCC		VCC	SETBACK LINE
	BB		BB	MAJOR CONTOUR
	D		D	MINOR CONTOUR
	G		G	CHAIN LINK FENCE
	S		S	EDGE OF PAVEMENT
	W		W	VERTICAL GRANITE CURB
	VCC		VCC	VERTICAL CONCRETE CURB
	BB		BB	BITUMINOUS BERM
	D		D	APPROX. EDGE OF WETLAND
	G		G	WETLAND BUFFER
	S		S	DRAIN LINE
	W		W	GAS LINE
	VCC		VCC	SEWER LINE
	BB		BB	WATER LINE
	D		D	RETAINING WALL
	G		G	WETLAND FLAG
	S		S	SOIL EVALUATION LOCATION
	W		W	TEST HOLE LOCATION
	VCC		VCC	UTILITY POLE
	BB		BB	CATCH BASIN
	D		D	MANHOLE
	G		G	FLARED END SECTION
	S		S	HEADWALL
	W		W	HYDRANT
	VCC		VCC	SIGN
	BB		BB	HANDICAP SYMBOL (PARKING SPACE)
	D		D	TREE/ SHRUBS
	G		G	TREELINE
	S		S	BUILDING

NOTES:

- THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF CRANSTON, RHODE ISLAND; PROVIDENCE COUNTY; COMMUNITY PANEL NO. 44007C0427H AND HAVING AN EFFECTIVE DATE OF OCTOBER 2, 2015.
- HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 88
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233).
- THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE.
- THE WETLAND RESOURCES SHOWN WERE DELINEATED BY MCCUE ENVIRONMENTAL, LLC. NO OTHER RESOURCES HAVE BEEN IDENTIFIED WITHIN 200' OF THE PROPERTY.

REFERENCE:

- COVENTRY CROSSING SHOPPING CENTER A.P. 10, LOT 29 COVENTRY, RHODE ISLAND PREPARED FOR SOFRAN GROUP, 800 HINGHAM MA. BY S.F.M. ENGINEERING ASSOCIATES, DATED 9/30/94. SCALE IS 1"=40'

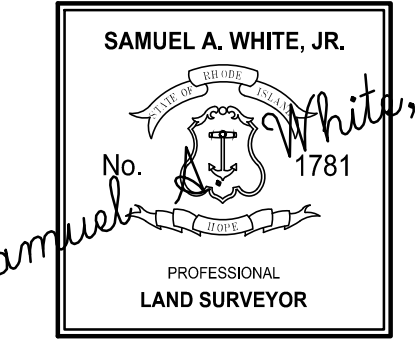
CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY
COMPILATION PLAN

MEASUREMENT SPECIFICATION
CLASS IV (SEE REFERENCE NOTE 1)

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE AN EXISTING CONDITIONS SURVEY PLAN FOR DESIGN ASSESSORS MAP 10, LOT 29 & ASSESSORS MAP 8, LOT 86 IN THE TOWN OF COVENTRY, RHODE ISLAND.

BY: *Samuel A. White, Jr.* 1781 02-01-2023
SAMUEL A. WHITE LICENSE NO. 1781
LS A59-COA



Samuel A. White, Jr.



EXISTING CONDITIONS SURVEY
FOR
COVENTRY CROSSINGS
(A.P. 10, LOT 29 & A.P. 18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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JOB NO. 7398-00	DRAWN BY K.J.A.
DWG. NO. 7398-00_PERMIT_ECS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET

ECS

4 OF 33 SHEETS

GENERAL CONSTRUCTION NOTES:

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS FROM THE TOWN OF COVENTRY HAVE BEEN SECURED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS OBTAINED FOR ALL SITE WORK.
- ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINE (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF COVENTRY AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION WITH ALL REVISIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
- REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION, AND FOR SITWORK WITHIN 5'-0" OF BUILDING.
- ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- BEFORE THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

REFERENCES:

- EXISTING CONDITIONS HEREON TAKEN FROM PLAN TITLE "EXISTING CONDITIONS SURVEY" FOR A.P. 10, LOT 29 SITUATED ON HARKNEY HILL ROAD COVENTRY, RHODE ISLAND. PREPARED FOR KREG REALTY, PREPARED BY GAROFALO & ASSOCIATES, INC. JOB NUMBER# 7398-00. DWG NO. 7398-ECS.DWG. DATED: JUNE 2023. SHEET 1 AND SHEET 2.
- THE WETLANDS RESOURCE INDICATED WAS FLAGGED BY McCUE ENVIRONMENTAL, LLC AND LOCATED BY SURVEY METHODS. THE RESOURCE WAS ESTABLISHED BY RIDEM PERMIT 94-0525F AND REFERENCE IS MADE SITE PLANS TITLED "COVENTRY CROSSINGS SHOPPING CENTER" PREPARED BY S.F.M. ENGERING ASSOCIATES, DATED MARCH 15, 1994.

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTION TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS. ALL STORM PIPE ENTRY STRUCTURES SHALL BE GASKETED.
- DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY KENT COUNTY WATER AUTHORITY (KCWA). THE ONSITE WATER SYSTEM ON THE PROPERTY IS PRIVATE WATER PIPING AND SHALL BE (AWWA C901) DR9 POLYETHYLENE OR TYPE K COPPER FOR 2" SERVICES OR SMALLER, OR CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS FOR 4" SERVICES OR LARGER. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO PROVIDENCE WATER REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION.

- GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO PROVIDENCE WATER AND TOWN OF COVENTRY REGULATIONS, STANDARDS AND SPECIFICATIONS.
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE NBC REGULATIONS, STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE NBC AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO DISCHARGE TO THE PUBLIC SEWER SYSTEM.
- SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER TO PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
- SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. CONTRACTOR SHALL INSTALL CLEANOUT AT THE BUILDING FACE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE NBC REQUIREMENTS.
- WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION AND 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE OR BE EITHER DUCTILE IRON OR C900 BLUE BRUTE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.

PROJECT O.W.T.S. NOTES:

- OWTS IS PERMITTING UNDER SEPARATED COVER.

STORMWATER SYSTEM MAINTENANCE NOTES:

- THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.
- CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)
 - SILT BARRIER: MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
 - PAVED AREAS: PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEP CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
 - CATCH BASINS: ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
 - DRAIN MANHOLES: DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY OF SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
 - STORMWATER BMPs: NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPs UNTIL UPGRADIENT AREAS ARE STABILIZED.
- POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)
 - PAVED AREAS: PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEP CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
 - CATCH BASINS: ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A TWICE-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATES ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
 - DRAIN MANHOLES: ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON AN ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED.
 - STORMWATER MANAGEMENT FACILITIES - REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER. (NOTE: A LEGALLY ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED IF THE PROPERTY OWNER IS NOT THE PARTY RESPONSIBLE FOR BMP MAINTENANCE AS PRESCRIBED)

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL AND THE ENTIRE AREA IS TO BE SCARIFIED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

SITE PLAN LEGEND (RIDOT STD ITEMS):

(BCP)	BITUMINOUS CONCRETE PAVEMENT	(20.3.0)	PAVEMENT MARKINGS-CROSSWALK AND STOP LINES
(CM)	CUT AND MATCH PAVEMENT	(43.1.0)	CEMENT CONCRETE SIDEWALK
(LS)	4" LOAM AND SEEDING, TYPE 2	(43.2.0)	BITUMINOUS CONCRETE SIDEWALK
(SACK)	SILT SACK INVERT PROTECTION	(43.3.0)	WHEELCHAIL RAMP
(7.1.3)	PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB	(48.1.0)	DETECTIBLE WARNING SYSTEM
(7.5.1)	BITUMINOUS BERM	(4DY)	4-INCH EPOXY RESIN PAVEMENT MARKINGS - DOUBLE YELLOW
(7.6.0)	CURB SETTING	(4W)	4-INCH EPOXY RESIN PAVEMENT MARKINGS - WHITE
(9.9.0)	CONSTRUCTION ENTRANCE	(6W)	6-INCH EPOXY RESIN PAVEMENT MARKINGS - WHITE
(20.1.0)	PAVEMENT MARKINGS ARROWS AND ONLY	(12W)	12-INCH EPOXY RESIN PAVEMENT MARKINGS - WHITE

SITE LEGEND

EXISTING	NEW	DESCRIPTION
Q	Q	CENTERLINE (LAYOUT)
D	D	STORM DRAIN
E	E	ELECTRIC (UNDERGROUND)
F	F	FIRE SERVICE
FD	FD	FOOTING DRAIN
G	G	GAS
OHW	OHW	OVERHEAD WIRE
---	---	PROPERTY LINE
S	S	SANITARY SEWER
SL	SL	SITE LIGHTING SERVICE
T	T	TELEPHONE
W	W	WATER
-64	64	CONTOUR
---64.00	x64.00	SPOT GRADE
x64.00(BC)	x64.00(BC)	SPOT GRADE (BOT. OF CURB)
x64.5(TC)	x64.50(TC)	SPOT GRADE (TOP OF CURB)
x64.5(BW)	64.50(BW)	SPOT GRADE (BOT. OF WALL)
64.5(TW)	64.50(TW)	SPOT GRADE (TOP OF WALL)
CC	PCC	PRECAST CONC. CURB
X-X-X-X	X-X-X-X	CHAINLINK FENCE (CLF)
X-X-X-X	X-X-X-X	STOCKADE FENCE (STKF)
		BORING LOCATION
CB	CB#1	CATCH BASIN
CB(DG)	CB(DG)#1	DOUBLE GRATE CATCH BASIN
CTB	CTB	CONCRETE THRUST BLOCK
DMH	DMH	DRAIN MANHOLE
FES	FES	FLARED END STRUCTURE
SMH	SMH	SEWER MANHOLE
UT	UT	UTILITY POLE
HYD	HYD	FIRE HYDRANT
GV	GV	GATE VALVE AND CURB BOX
GS	GS	HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
SEV	SEV	WETLAND
TP	TP	SOIL EVALUATION LOCATION
FDC	FDC	TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
PV	PV	POST INDICATOR VALVE (PIV)
EMH	EMH	ELECTRIC MANHOLE (EMH)
TMH	TMH	TELEPHONE MANHOLE (TMH)
T	T	TRANSFORMER PAD
GEN	GEN	GENERATOR PAD
GCO	GCO	GROUND CLEANOUT
LP	LP	SIGHT LIGHT POLE
LF	LF	TRAFFIC FLOW DIRECTION
LOD	LOD	LIMIT OF DISTURBANCE
		COMPOST SILT SOCKS
		PAVEMENT SAWCUT & MATCH TO EXISTING
		CLEARING LIMIT

ABBREVIATIONS

APPROX.	APPROXIMATE
ASSY.	ASSEMBLY
BIT.	BITUMINOUS
CEM.	CEMENT
CI	CAST IRON PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
CONC.	CONCRETE
DI.	DUCTILE IRON PIPE
DOM.	DOMESTIC
EX.	EXISTING
F&I	FURNISH AND INSTALL
FH	FIRE HYDRANT
GV	GATE VALVE
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PROF.	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVMT	PAVEMENT
R	RADIUS/RADII
RCP	REINFORCED CONCRETE PIPE
TS & V	TAPPING SLEEVE AND VALVE
TF	TOP OF FOUNDATION
TF*	TOP OF FOUNDATION-NO OCCUPIED LOWER LEVEL
TRANS.	TRANSITION
TYP.	TYPICAL
WCR	WHEEL CHAIR RAMP

GENERAL NOTES & LEGEND

FOR
COVENTRY CROSSINGS
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HENNERWAY

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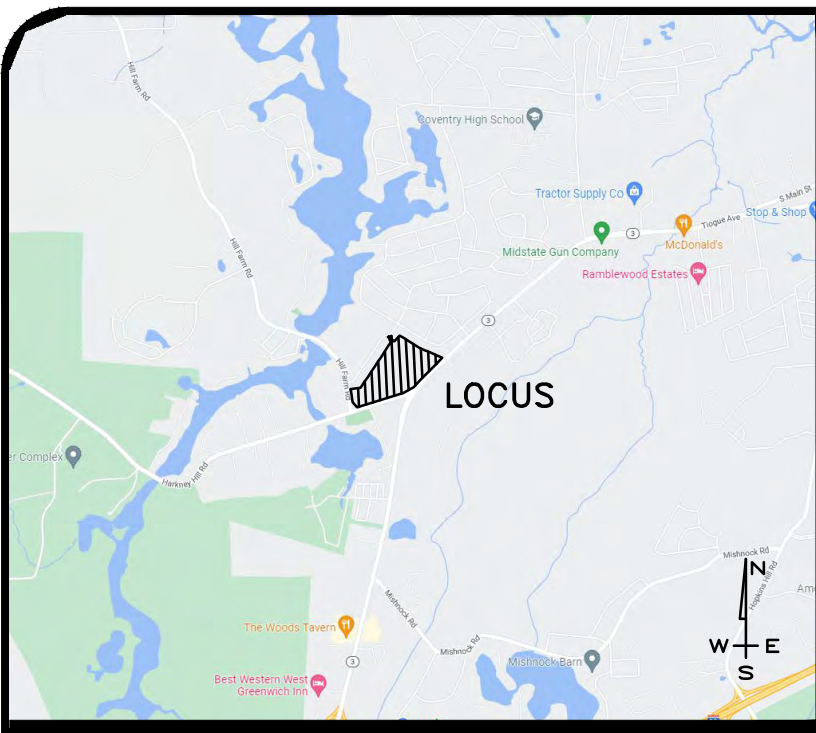
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JOB NO. 7398-00	DRAWN BY K.J.A.
DWG. NO. 7398-00_PERMIT_COVER & NOTES	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET

C-1.0



LOCUS MAP
N.T.S.

DEVELOPMENT SUMMARY		
RESIDENTIAL:	BLDGS.	UNITS
DUPLEX	30	60
SINGLE FAMILY	60	60
	90 BLDGS.	120 UNITS
COMMERCIAL:		12,500 GSF
LENGTH OF ROAD:		4,086±FT.
LENGTH OF SIDEWALK:		4,480±FT.

SHEET NOTES:

- SEE SHEET C-1.0 FOR GENERAL NOTES & LEGEND.
- THIS PROJECT PROPOSES A MIXED-USE DEVELOPMENT AS A UNIFIED LAND CONDOMINIUM DESIGN AND SHALL BE GENERALLY CONSISTENT TO MASTER PLAN APPROVED 10/18/23.
- THE PROJECT IS LOCATED WITHIN GBI ZONE WITH SPD OVERLAY & R-20.
- THIS COMPREHENSIVE PERMIT PROPOSES 25% LMI UNITS. LOCATIONS SHALL BE DETERMINED AT PRELIMINARY STAGE AND SHALL BE DISBURSED EVENLY THROUGHOUT DEVELOPMENT.
- THE PROJECT IS PROPOSED AS A SINGLE PHASE BUT MAY BE SEQUENCED BY LAND USE (RES/COMM.).
- THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREA OF MINIMAL FLOODING) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF COVENTRY, RHODE ISLAND, KENT COUNTY, MAP NO. 44003C0111H, HAVING AN EFFECTIVE DATE OF OCTOBER 02, 2015.
- THE PROJECT PROPOSES SERVICE BY PUBLIC WATER FROM THE KENT COUNTY WATER AUTHORITY.
- THE PROJECT SITE IS LOCATED WITHIN THE CENTRAL FIRE DISTRICT.
- RIDOT PHYSICAL ALTERNATION PERMIT, RIDPES PERMIT AND FRESHWATER WETLANDS PERMIT ARE REQUIRED FOR PROJECT. WITH RESPECT TO UTILITY WORK (SEWER, WATER, GAS, ELECTRIC) WITHIN THE STATE HIGHWAY RIGHT-OF-WAY (ROW), THE OWNER/APPLICANT IS REMINDED THAT THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR NOT SHOWN, WITHIN THE STATE HIGHWAY ROW.
- THE PROJECT SITE FALLS PARTIALLY WITHIN AN IDENTIFIED RIDEM NATURAL HERITAGE AREA, WITHIN GROUNDWATER ZONE GAA, WITHIN A GROUNDWATER RESERVOIR AREA AND PARTIALLY WITHIN A COMMUNITY WELLHEAD PROTECTION AREA.
- THE PROJECT DOES NOT LIE IN THE TOWN HISTORIC DISTRICT.
- THE PROJECT PROPOSES EARTH BALANCE. NO ROCK EXCAVATION IS ANTICIPATED.

DEVELOPMENT OVERALL

FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
1	GENERAL LAYOUT	KJA	7/24/23
2	ADD EX POND/FENCE	SSH	7/27/23
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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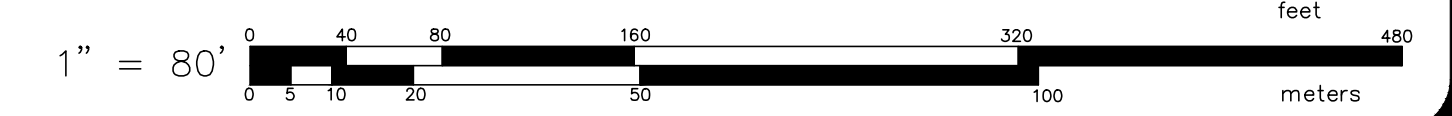
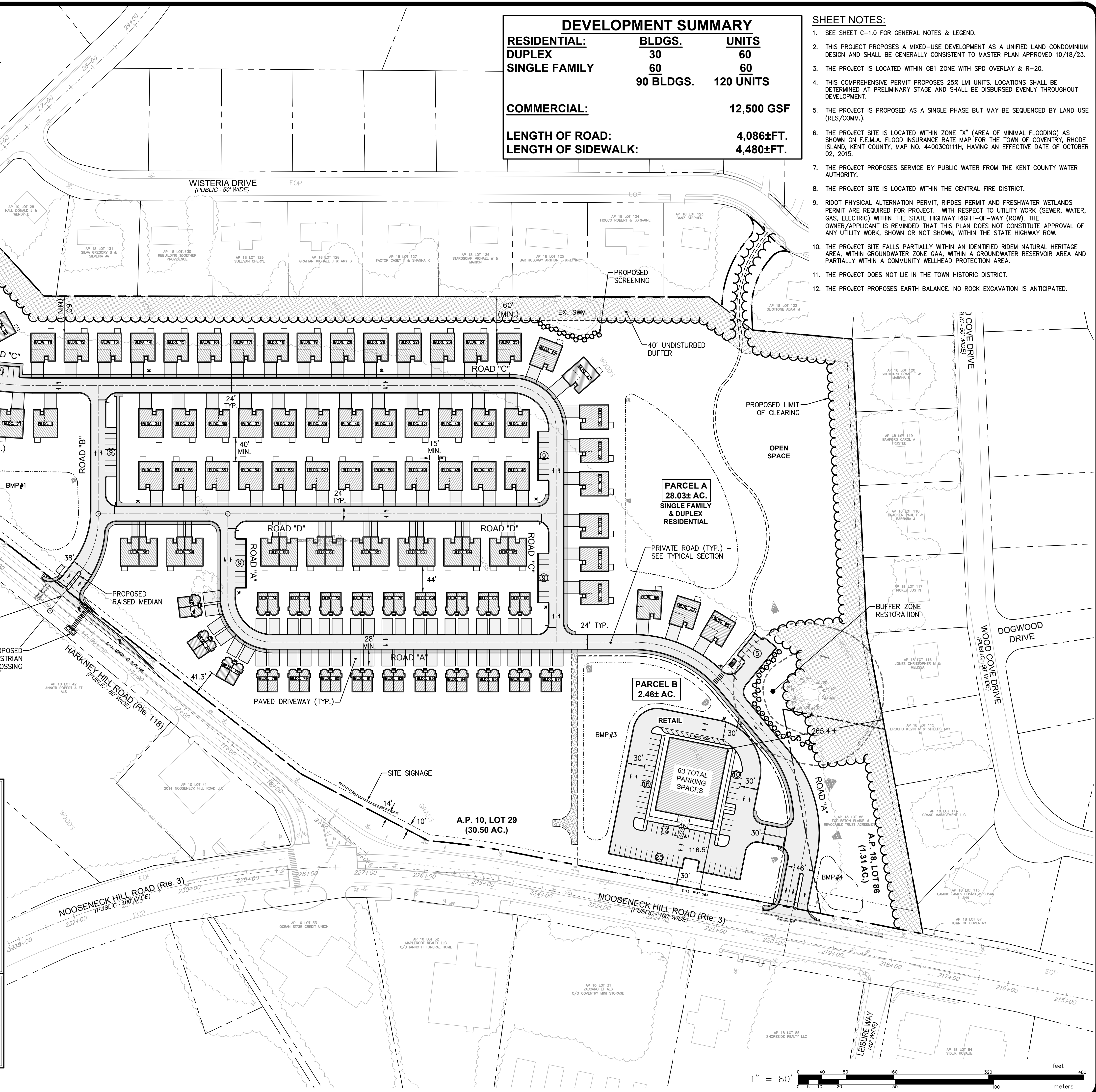
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	DATE: DECEMBER, 2023

SHEET
C-1.1
6 OF 33 SHEETS

DIMENSIONAL SUMMARY			
HARKNEY HILL ROAD (A.P. 10, LOT 29 AND A.P. 18, LOT 86)			
EXISTING ZONING: GB1 (GENERAL BUSINESS 1) OVERLAY W/ SPD & R20			
DESCRIPTION	GB-1 REQUIRED	R-20 REQUIRED	PROPOSED
SITE DATA			
LAND USE	COMMERCIAL	RESIDENTIAL	MIXED USE
MIN. LAND AREA	1 AC.	20,000 S.F.	30.50 AC.
MIN. FRONTAGE	200'	120'	>200'
MIN. FRONT YARD BUILDING SETBACK	10'	35'	±33' / 116.5'
MIN. SIDE YARD BLDG SETBACK	10'	20'	±60' / ±265.4'
MIN. REAR YARD BUILDING SETBACK	40'	40'	±60'
MAX. LOT COVERAGE	60%	20%	< 17%
MAX. BLDG HEIGHT	35'	35'	35'
PARKING REQUIREMENTS			
DESCRIPTION	UNITS	REQUIRED	PROVIDED
RESIDENTIAL: SINGLE, TWO OR MULTIFAMILY-- 2 SP PER DWELLING UNIT	120 UNITS	240 SPACES	283 SPACES (1)
COMMERCIAL USES: 1 SP PER 200 SF OF GFA	12,500 SF	63 SPACES	63 SPACES
LOADING - 1 SP/5K + 1 SP/10K AFTER	12,500 SF	3 SPACES	3 SPACES

TABLE NOTES:
1. PROVIDED SPACES BASED ON 2 SPACES PER UNIT + 43 VISITOR SPACES



SHEET C-2.1

SHEET C-2.3

SHEET C-2.2

SHEET C-2.4

SHEET PROVIDED FOR CONTEXT ONLY

OVERALL SITE LAYOUT
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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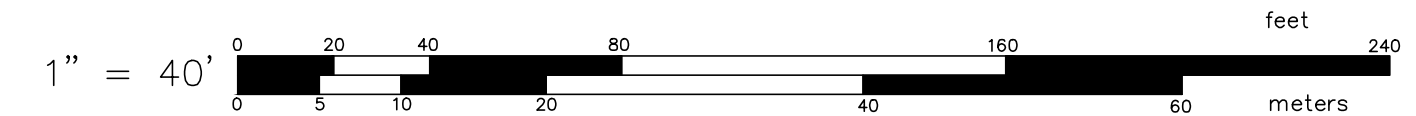
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	DATE: DECEMBER, 2023

SHEET
C-2.0
 7 OF 33 SHEETS

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CONT. ON SEE SHEET C-2.2

CONT. ON SEE SHEET C-2.3

WISTERIA DRIVE
(PUBLIC - 50' WIDE)

HARKNEY HILL ROAD (Rte. 118)
(PUBLIC - 60' WIDE)

HILL FARM ROAD
(PUBLIC - 50' WIDE)

MAPLE ROOT RD.

HARKNEY

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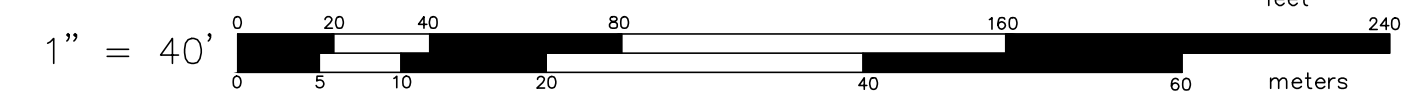
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SHEET
C-2.1
8 OF 33 SHEETS

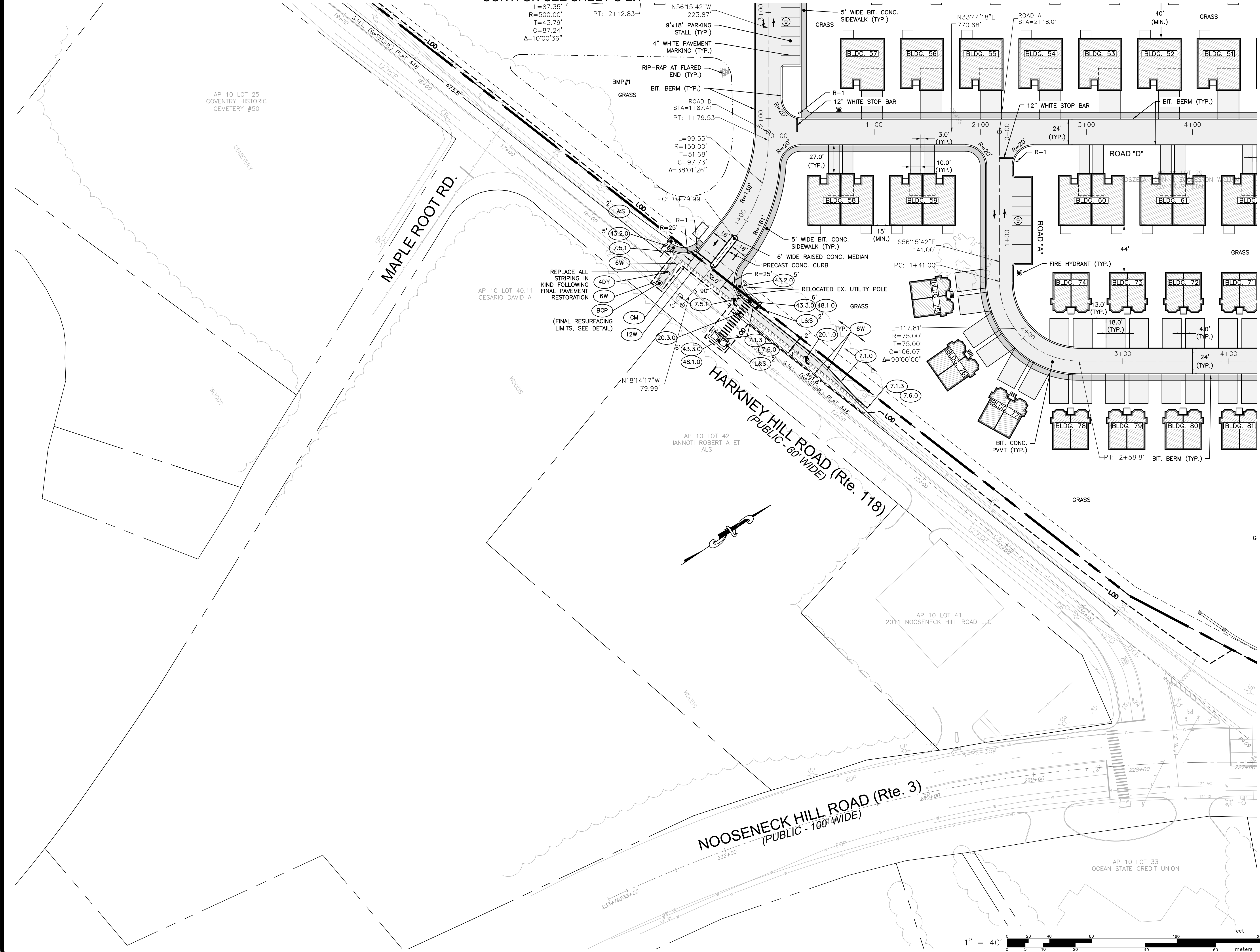
NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

SITE LAYOUT PLAN - 1
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817



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CONT. ON SEE SHEET C-2.1



CONT. ON SEE SHEET C-2.4

SITE LAYOUT PLAN - 2

FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO

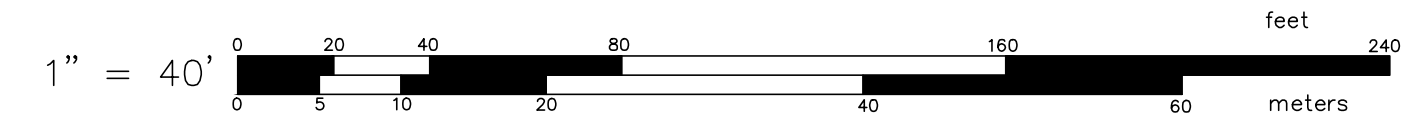
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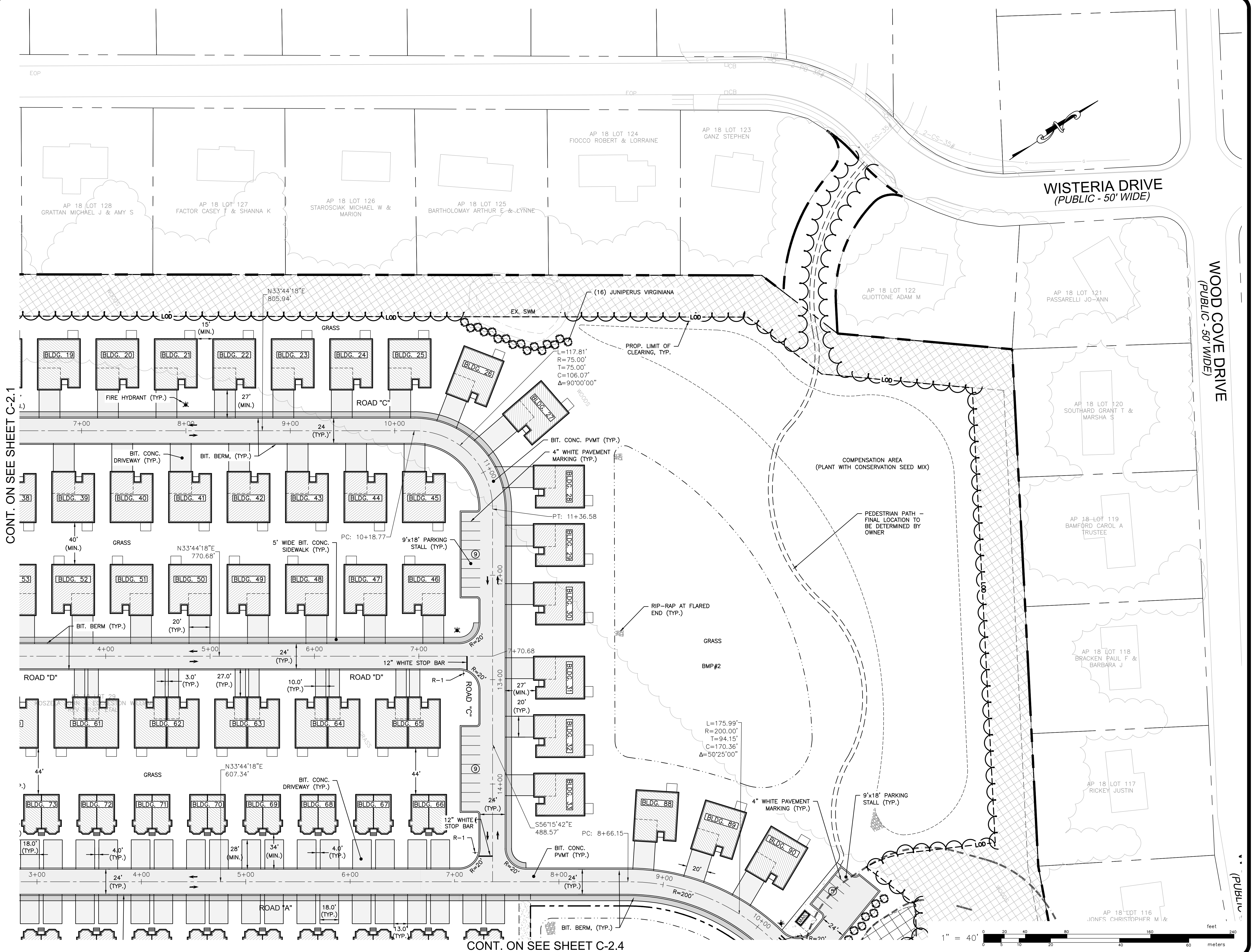
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DWG. NO. 7398-00_PERMIT_SITE_001	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-2.2
 9 OF 33 SHEETS

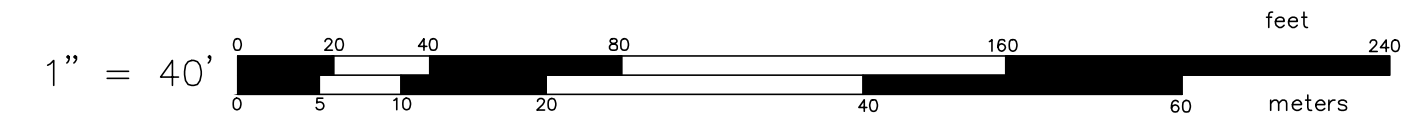


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CONT. ON SEE SHEET C-2.1

CONT. ON SEE SHEET C-2.4



SITE LAYOUT PLAN - 3

FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)

SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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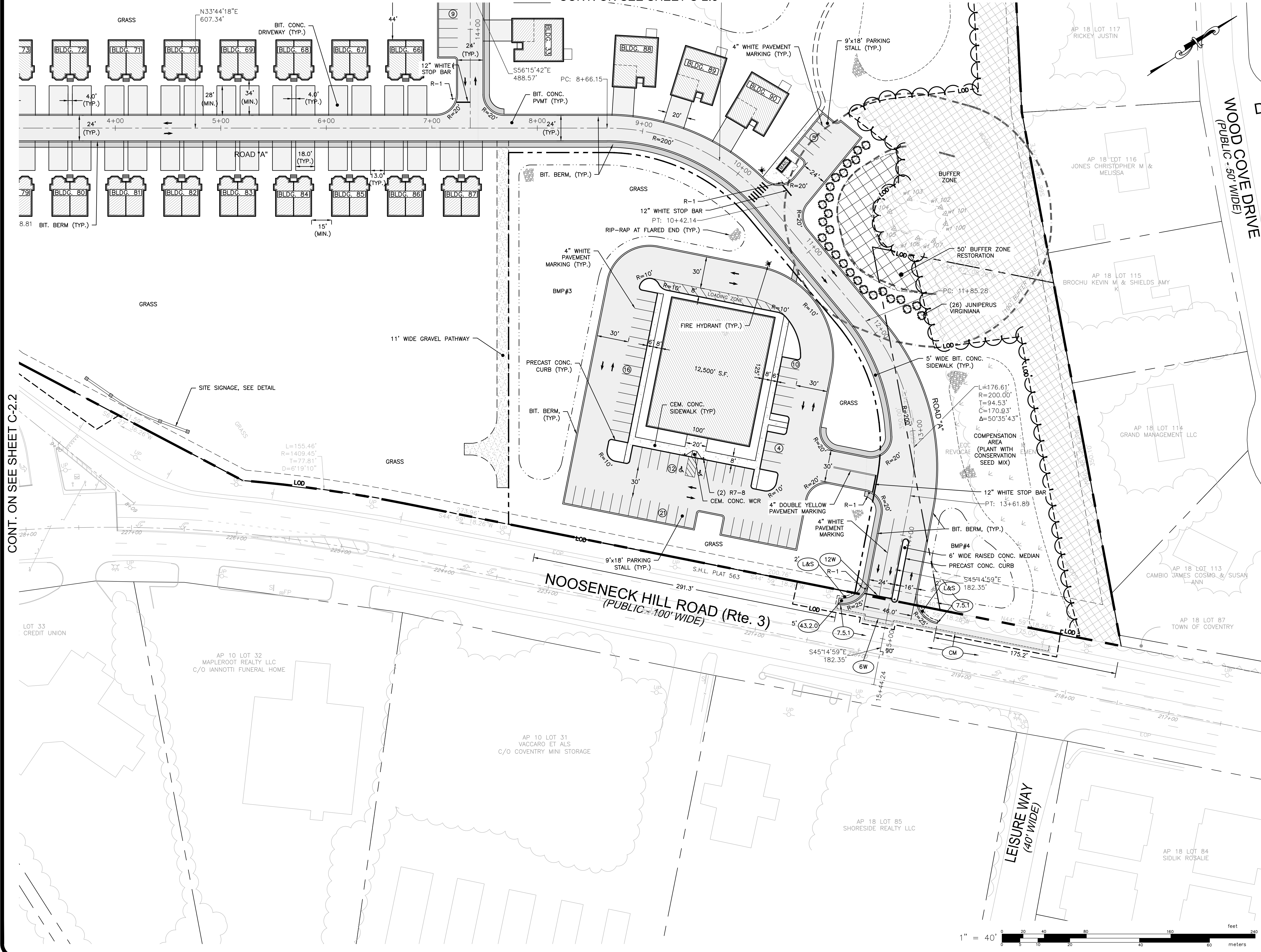
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DWG. NO. 7398-00_PERMIT_SITE_LAYOUT	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET

C-2.3

10 OF 33 SHEETS

CONT. ON SEE SHEET C-2.3



CONT. ON SEE SHEET C-2.2

SITE LAYOUT PLAN - 4
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

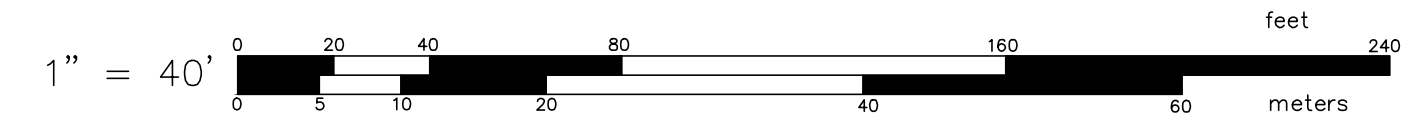
PROJECT ENGINEER
SAMUEL HEMENWAY

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	DATE: DECEMBER, 2023

SHEET
C-2.4



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SHEET C-3.1

SHEET C-3.3

SHEET C-3.2

SHEET C-3.4

SHEET PROVIDED FOR CONTEXT ONLY

OVERALL UTILITY PLAN
 FOR
 COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
 HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
 KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

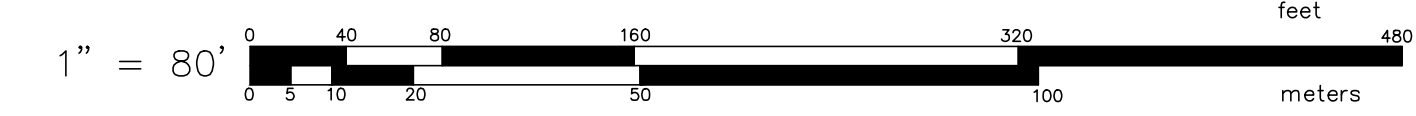
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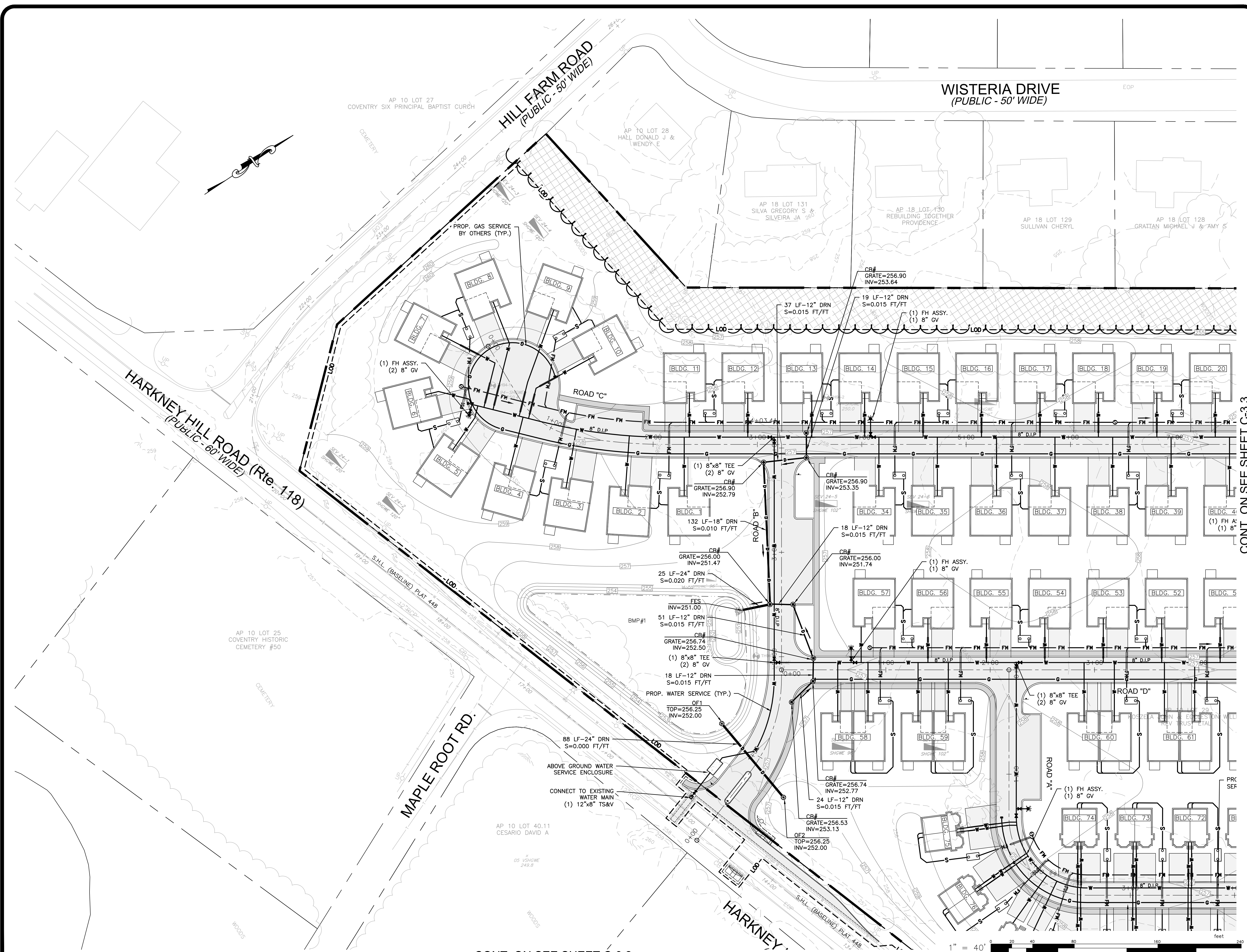
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DWG. NO. 7398-00_PERMIT_SITE_OWTS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

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C-3.0
 12 OF 33 SHEETS



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UTILITY PLAN - 1
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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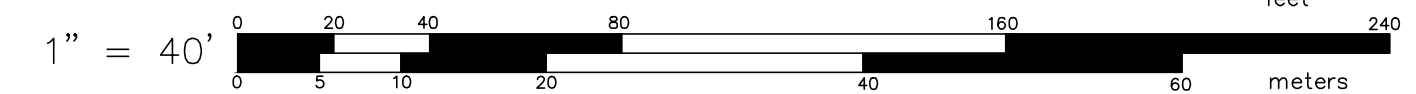
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SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

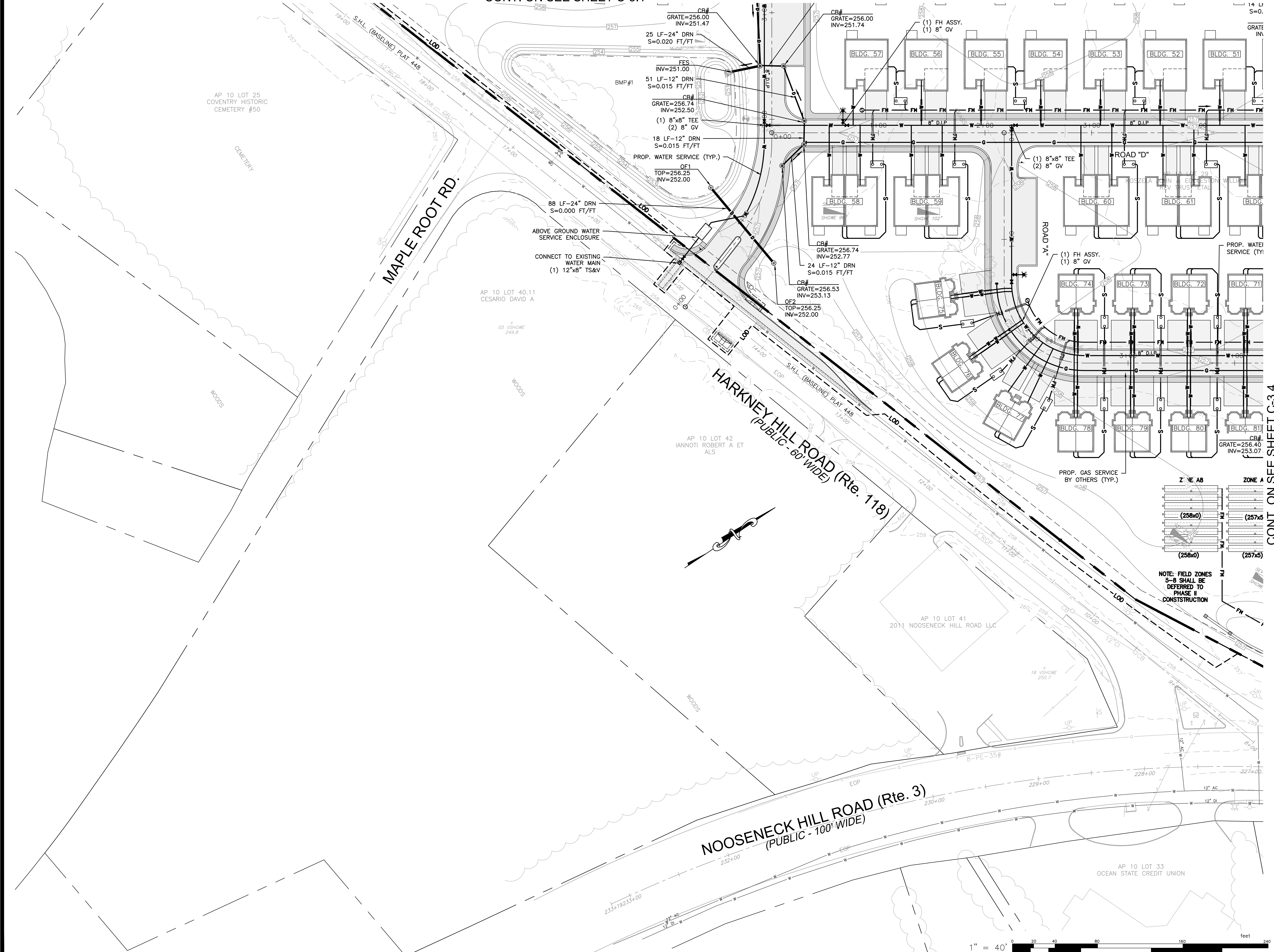
C-3.1

CONT. ON SEE SHEET C-3.2

CONT. ON SEE SHEET C-3.3



CONT. ON SEE SHEET C-3.1



UTILITY PLAN - 2
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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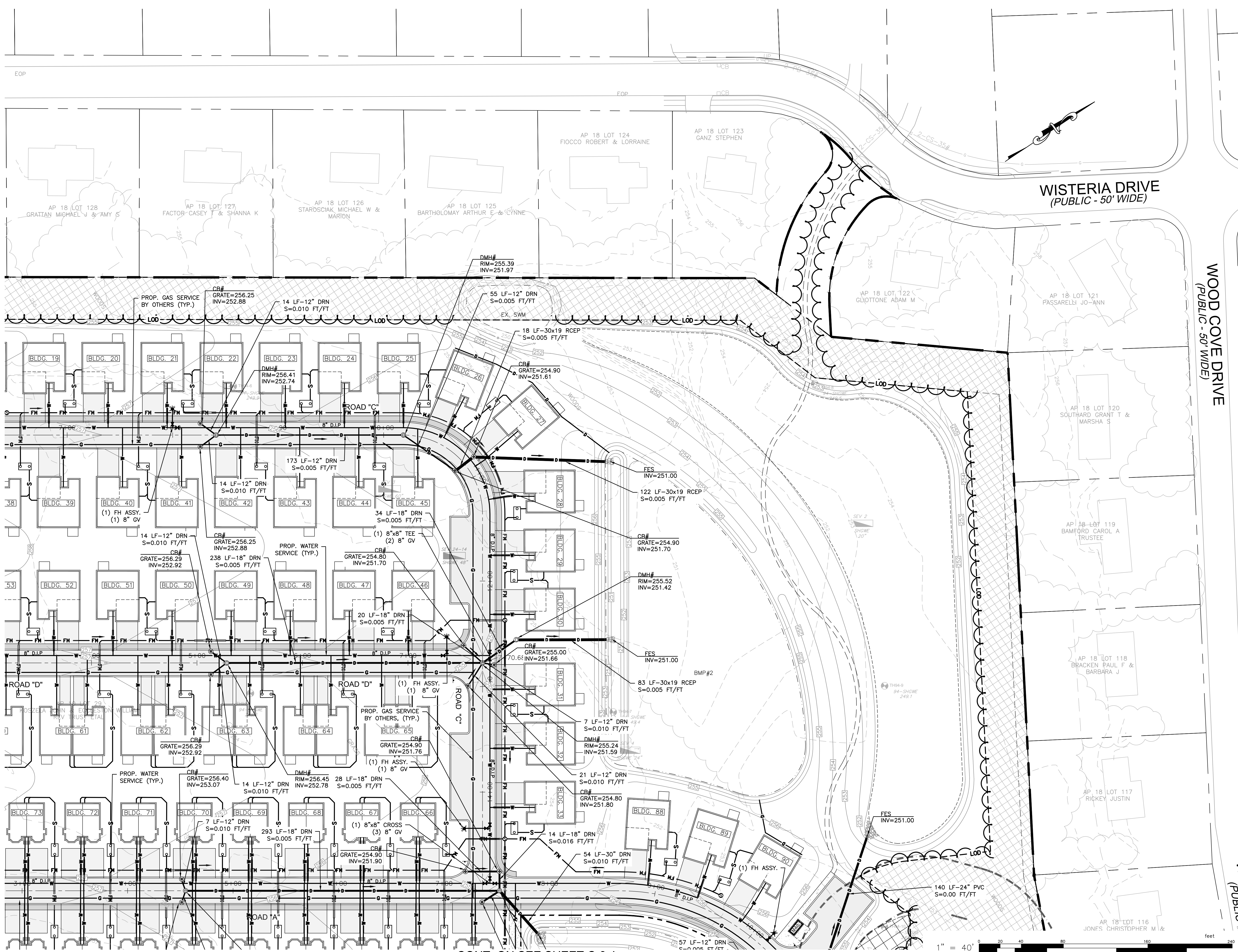
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	DATE: DECEMBER, 2023

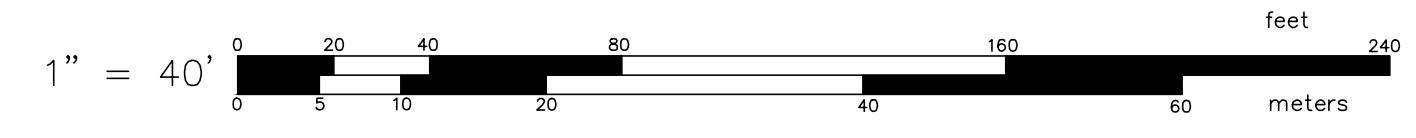
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CONT. ON SEE SHEET C-3.1

CONT. ON SEE SHEET C-3.4



UTILITY PLAN - 3
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

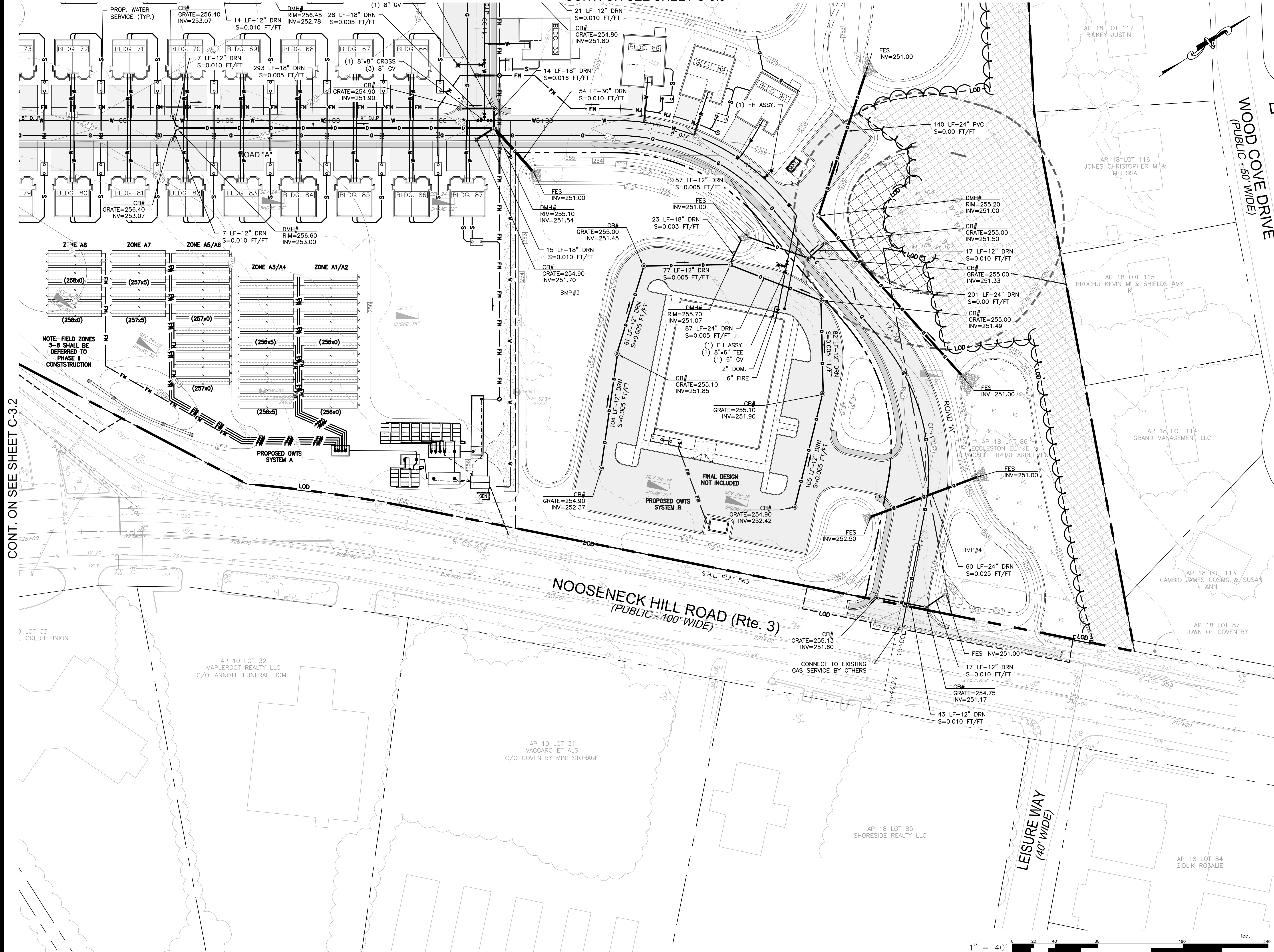
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SHEET	DATE: DECEMBER, 2023
C-3.3	
15 OF 33 SHEETS	

CONT. ON SEE SHEET C-3.3



CONT. ON SEE SHEET C-3.2

UTILITY PLAN - 4
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

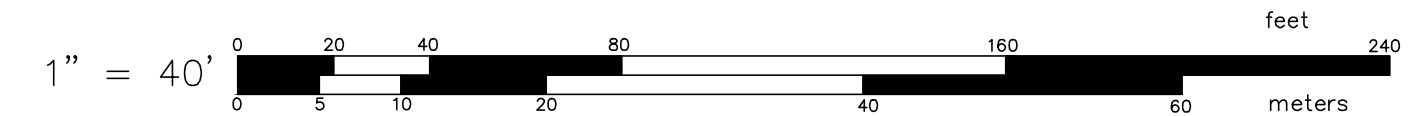
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	DATE: DECEMBER, 2023

SHEET
C-3.4
 16 OF 33 SHEETS



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SHEET C-4.1

SHEET C-4.3

SHEET C-4.2

SHEET C-4.4

SHEET PROVIDED FOR CONTEXT ONLY

OVERALL GRADING PLAN

FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO

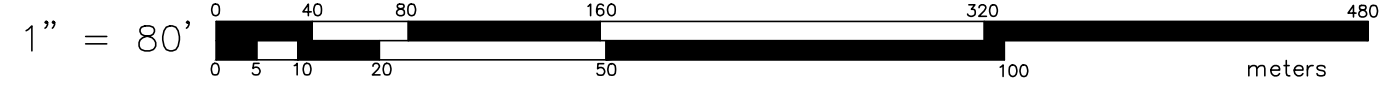
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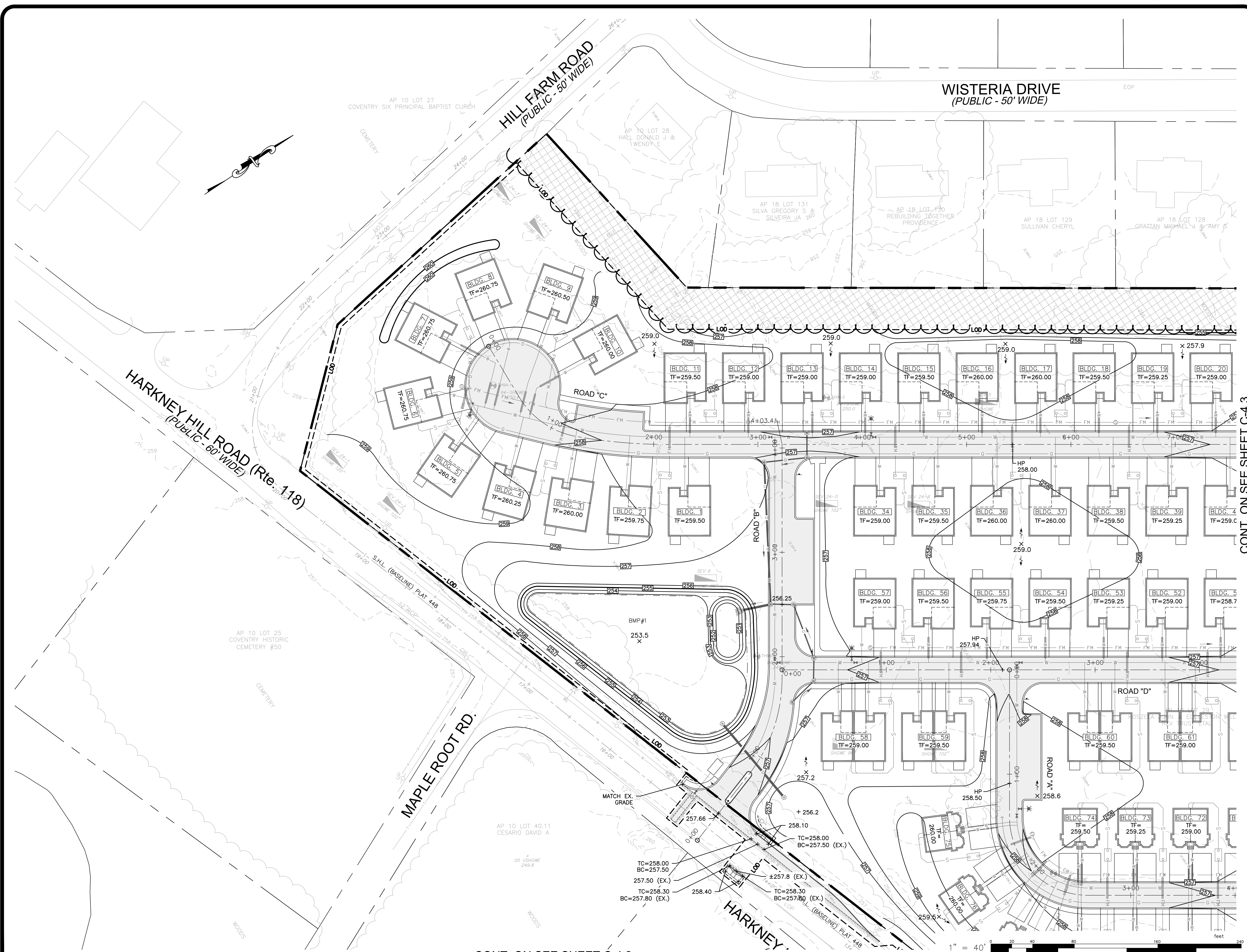
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SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-4.0
17 OF 33 SHEETS

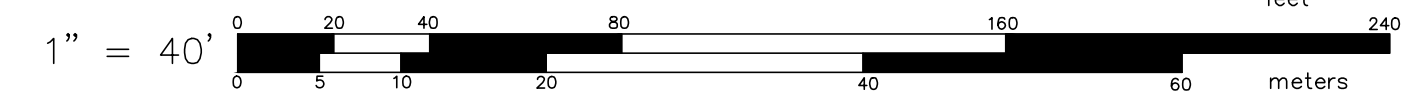


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CONT. ON SEE SHEET C-4.2



GRADING PLAN - 1
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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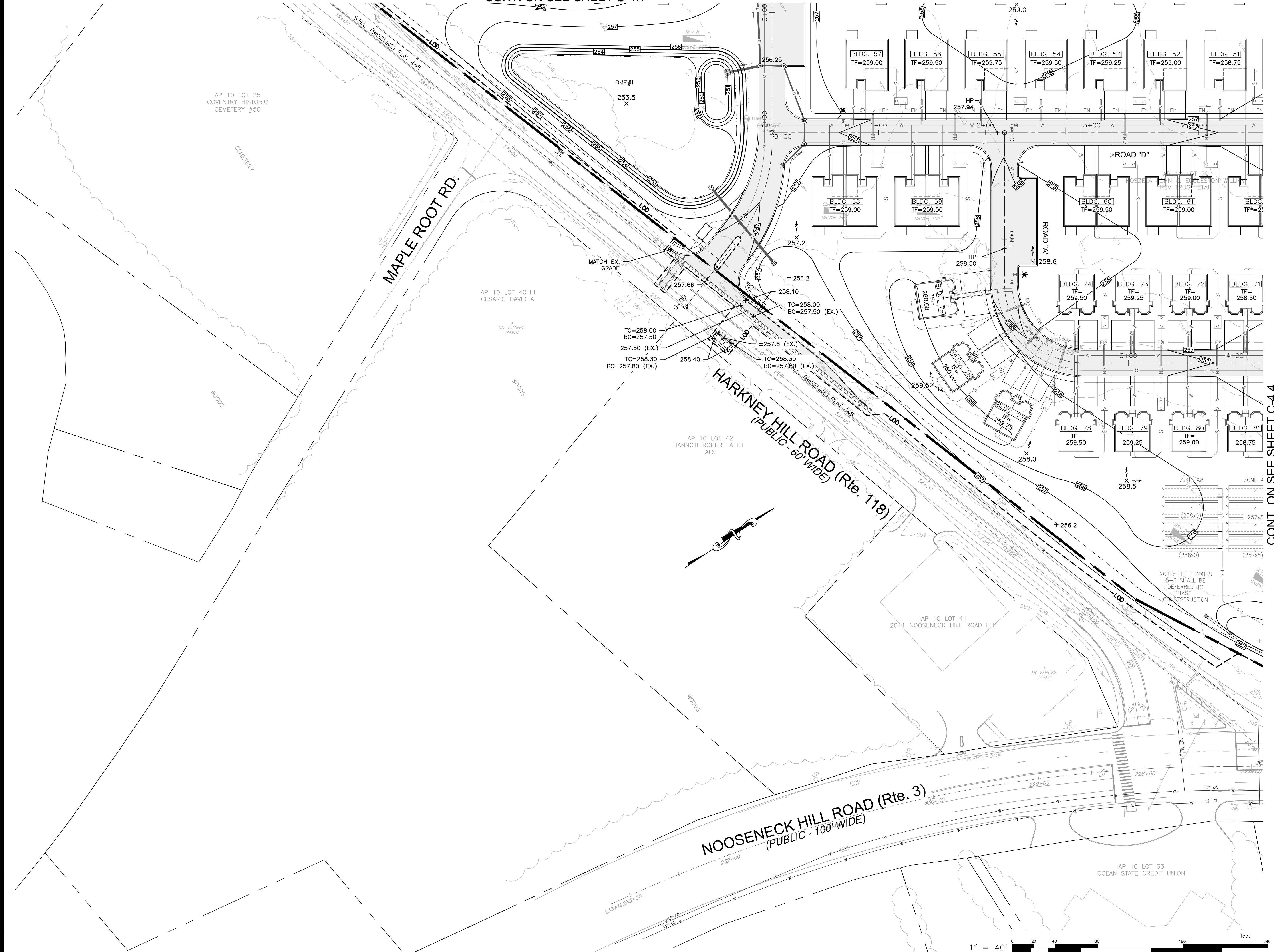
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SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-4.1
 18 OF 33 SHEETS

CONT. ON SEE SHEET C-4.3

CONT. ON SEE SHEET C-4.1



CONT. ON SEE SHEET C-4.4

GRADING PLAN - 2
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

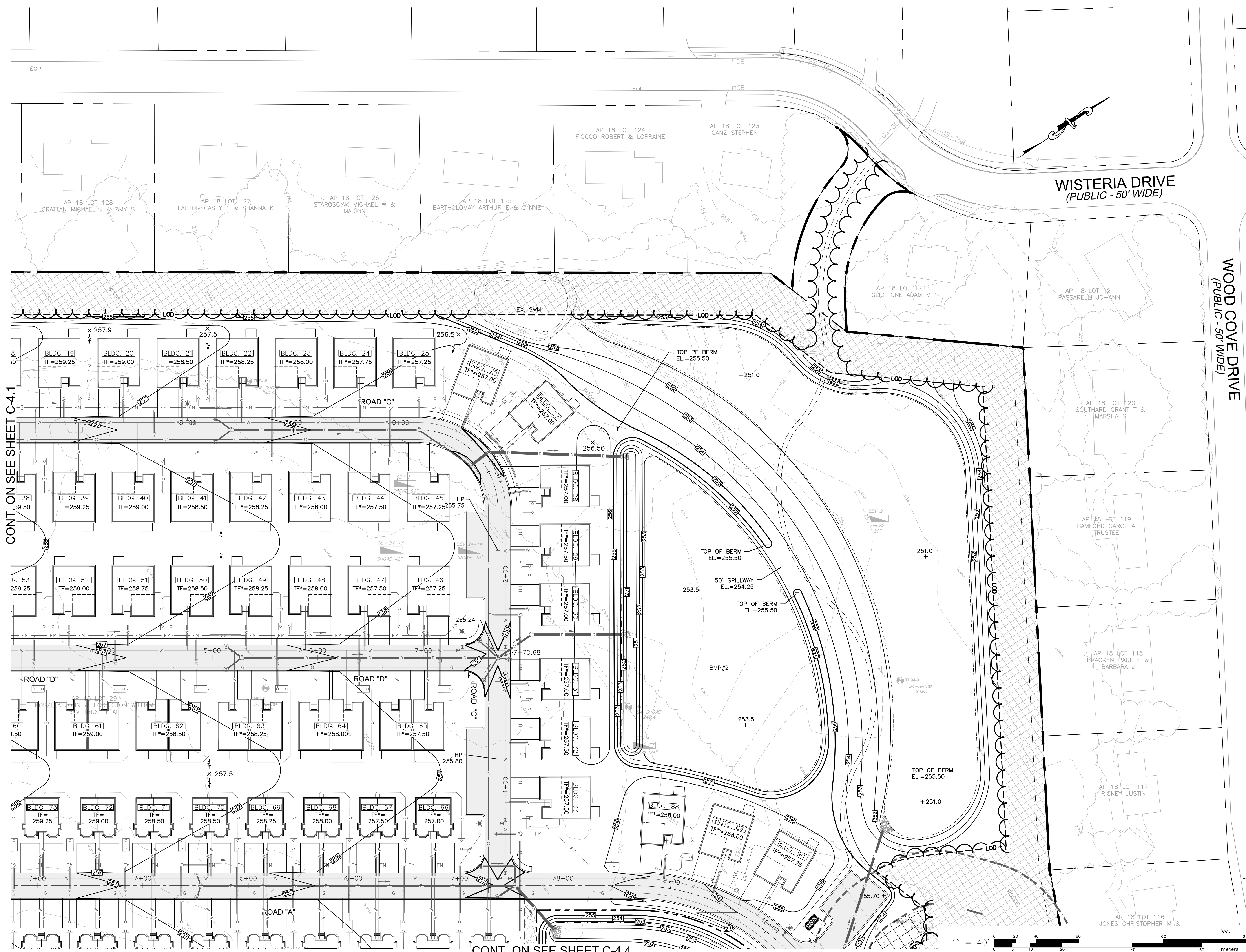
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DWG. NO. 7398-00_PERMIT_SITE_OWTS	CHECK BY S.S.H.
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	DATE: DECEMBER, 2023

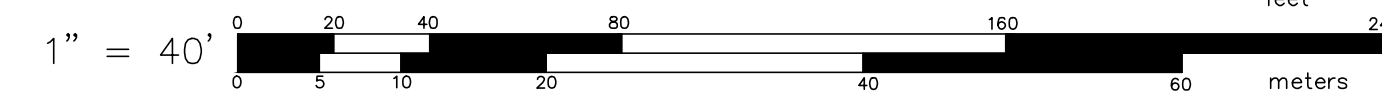
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CONT. ON SEE SHEET C-4.1

CONT. ON SEE SHEET C-4.4



GRADING PLAN - 3
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

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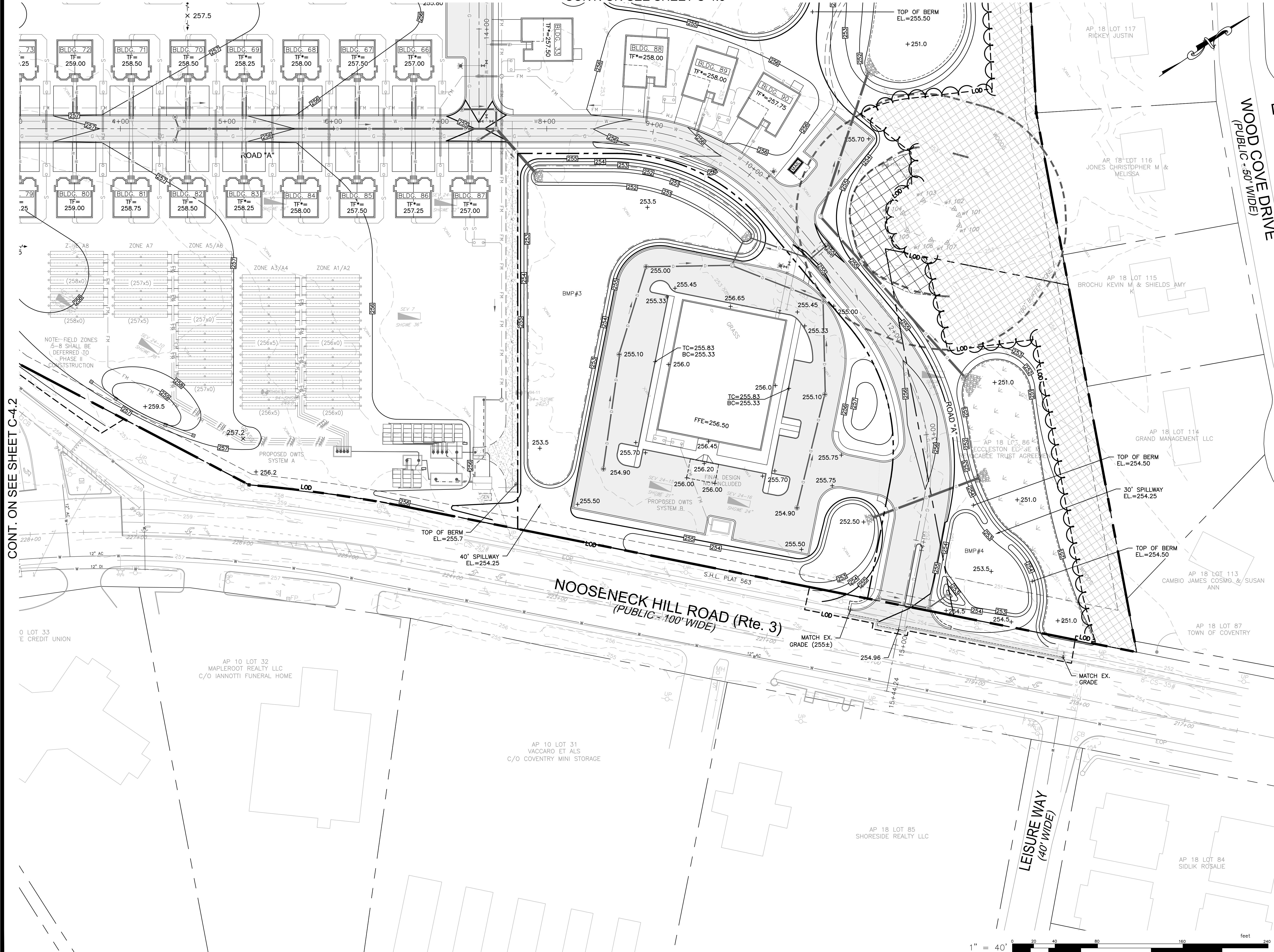
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SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-4.3
 20 OF 33 SHEETS

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CONT. ON SEE SHEET C-4.3



CONT. ON SEE SHEET C-4.2

GRADING PLAN - 4
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23
4	TOWN COMMENTS	KJA	10/06/23
5	RIDEM COMMENTS	KJA	4/05/24

PROJECT ENGINEER
SAMUEL HEMENWAY

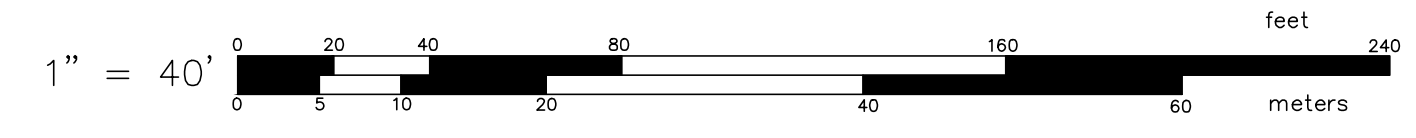
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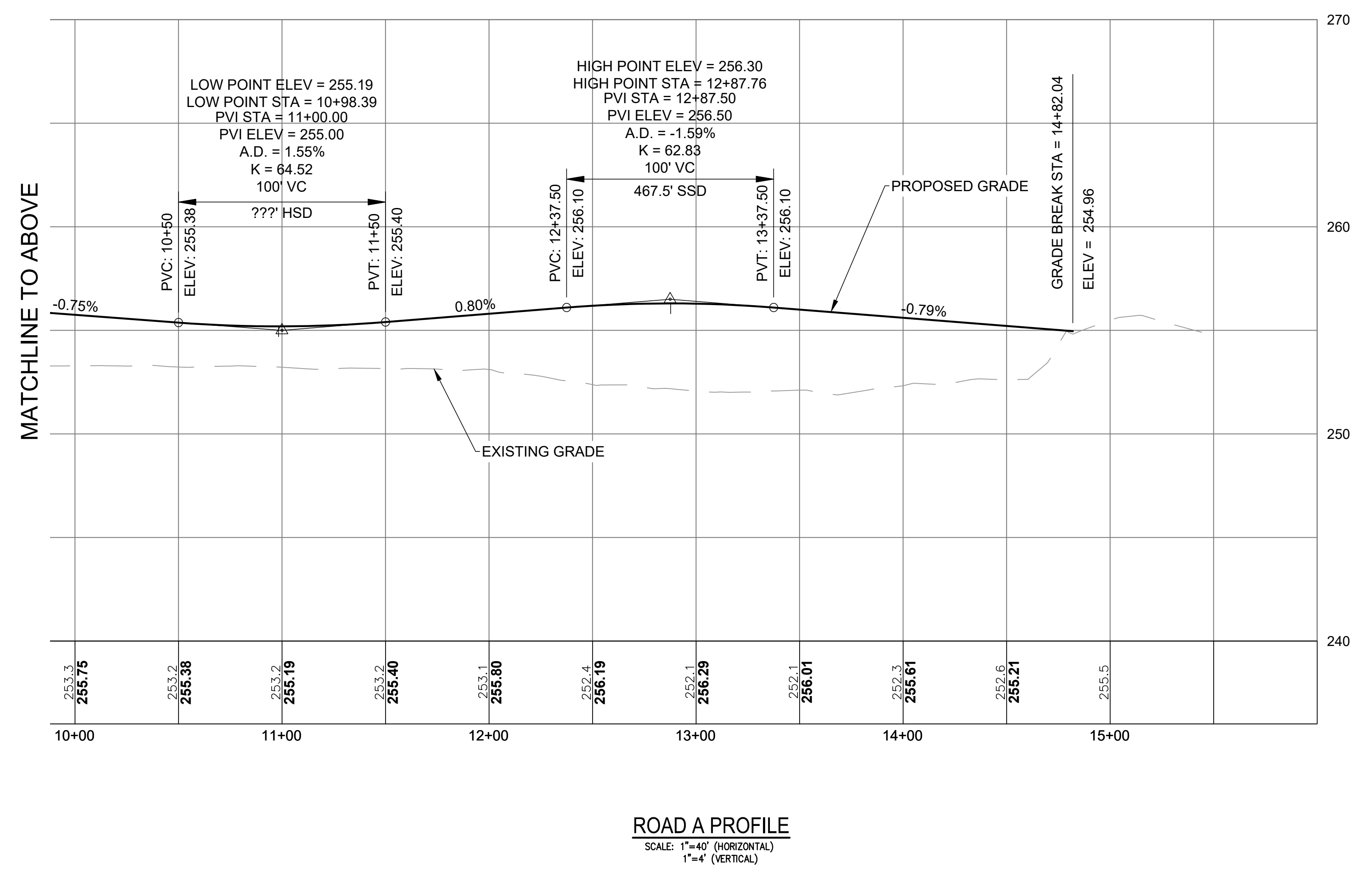
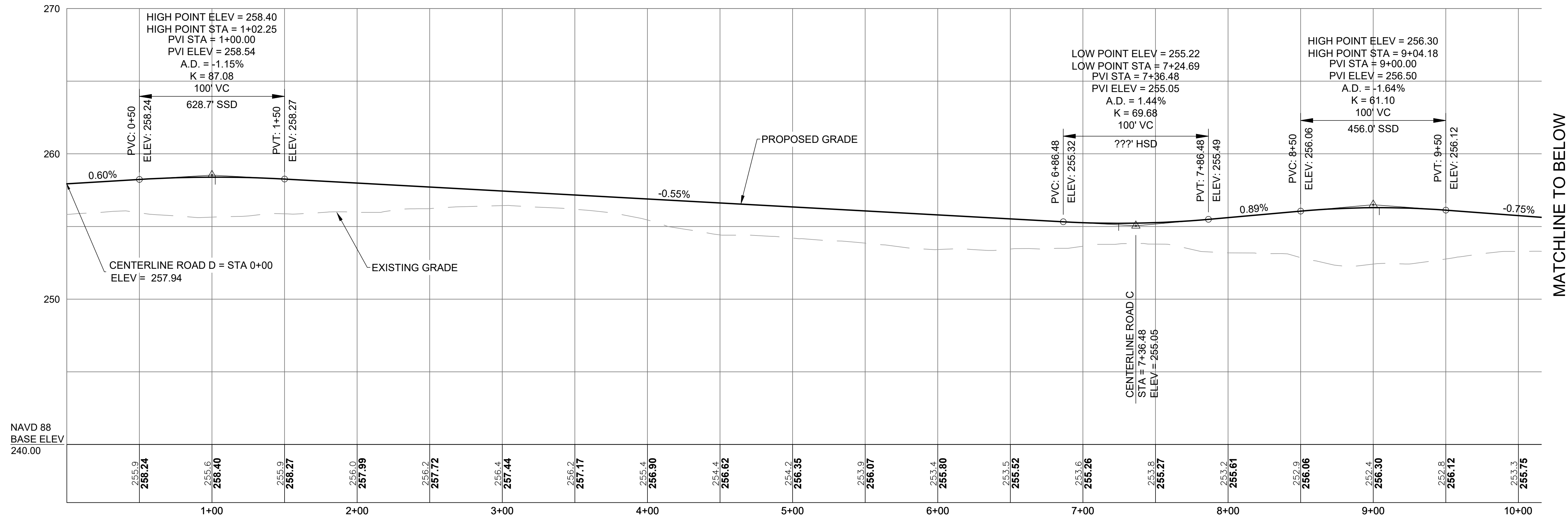
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DWG. NO. 7398-00_PERMIT_SITE_OWTS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-4.4
 21 OF 33 SHEETS



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PROFILE -1
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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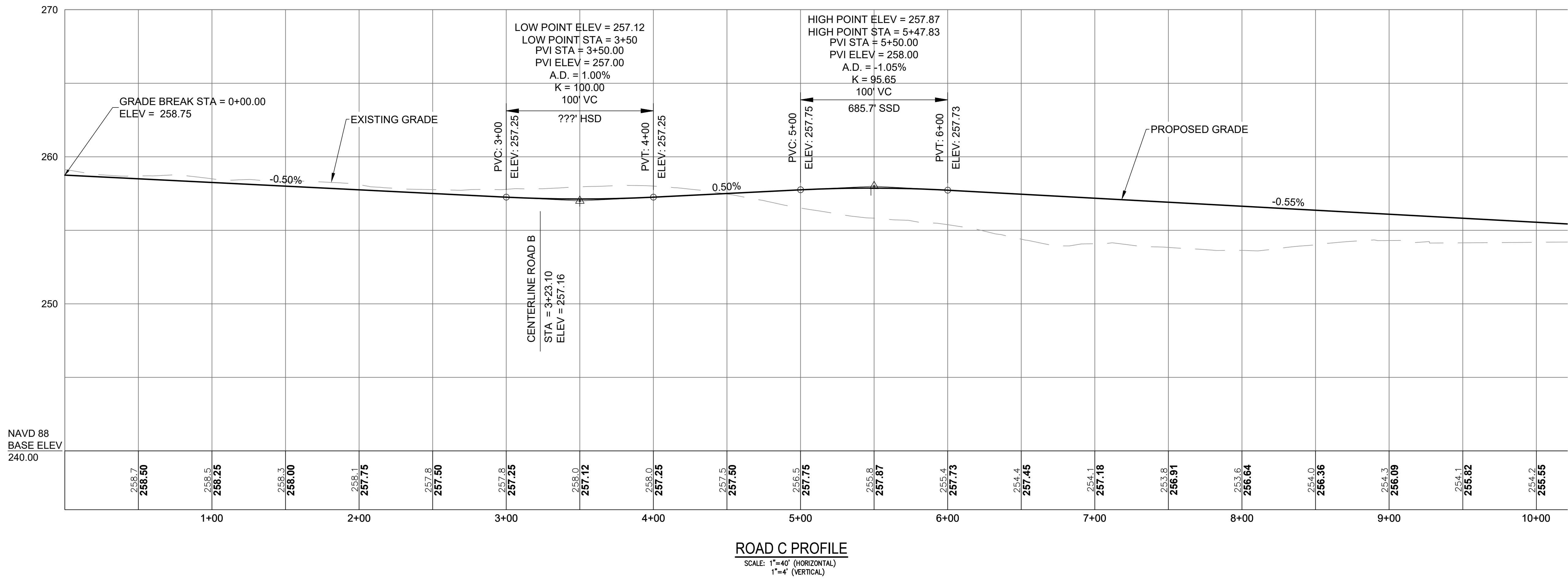
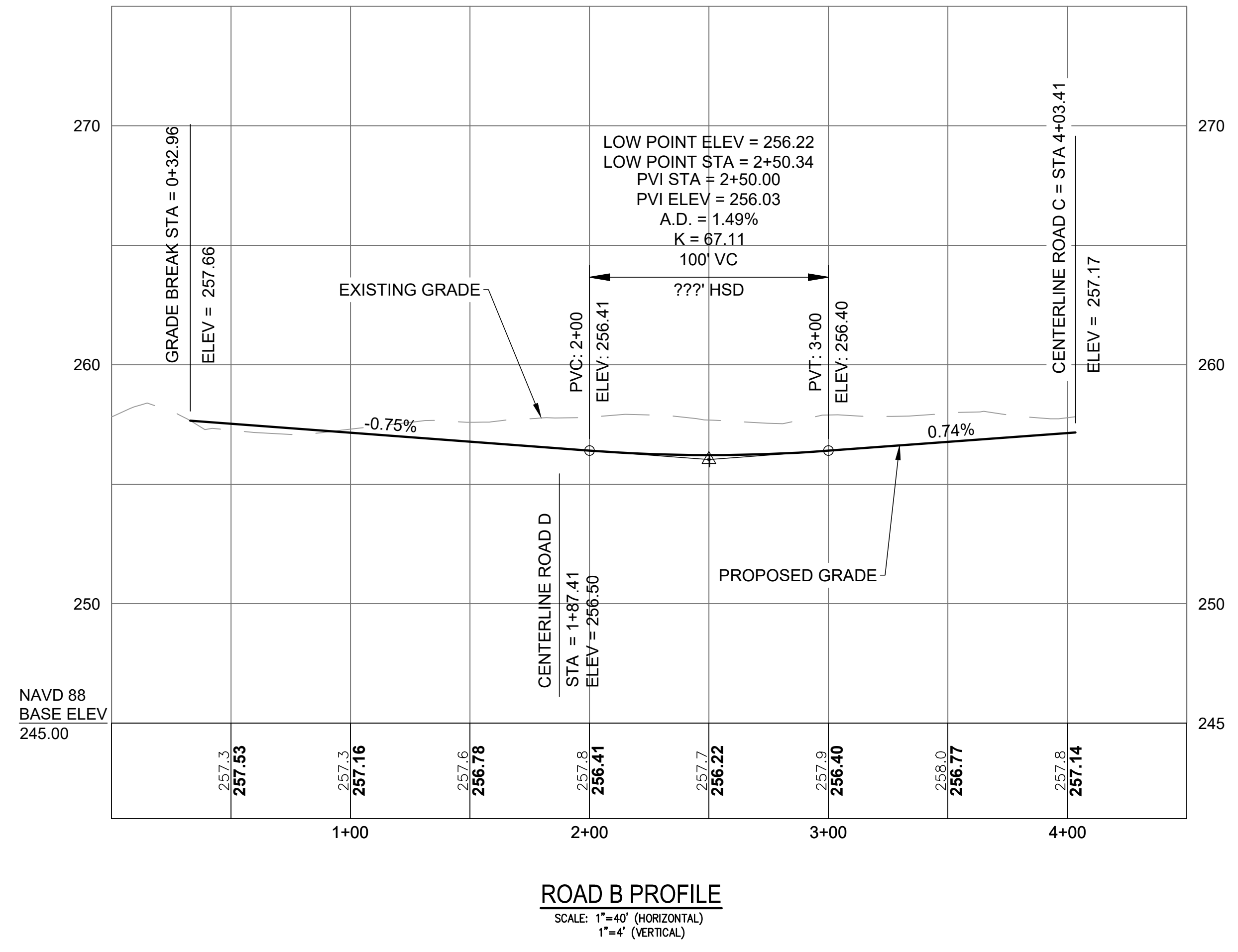
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DWG. NO. 7398-00_PERMIT-PROFILES	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: DECEMBER, 2023	

SHEET
C-5.0

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MATCHLINE NEXT SHEET

PROFILE - 2

FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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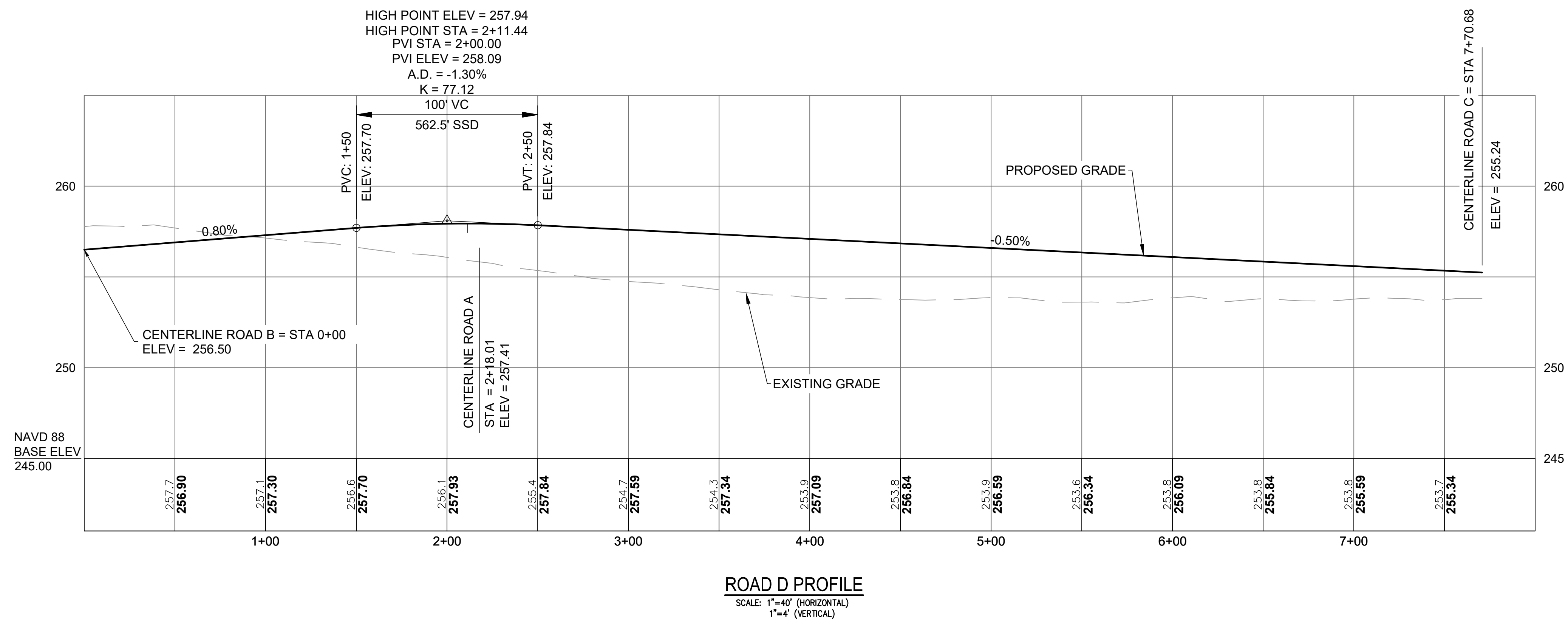
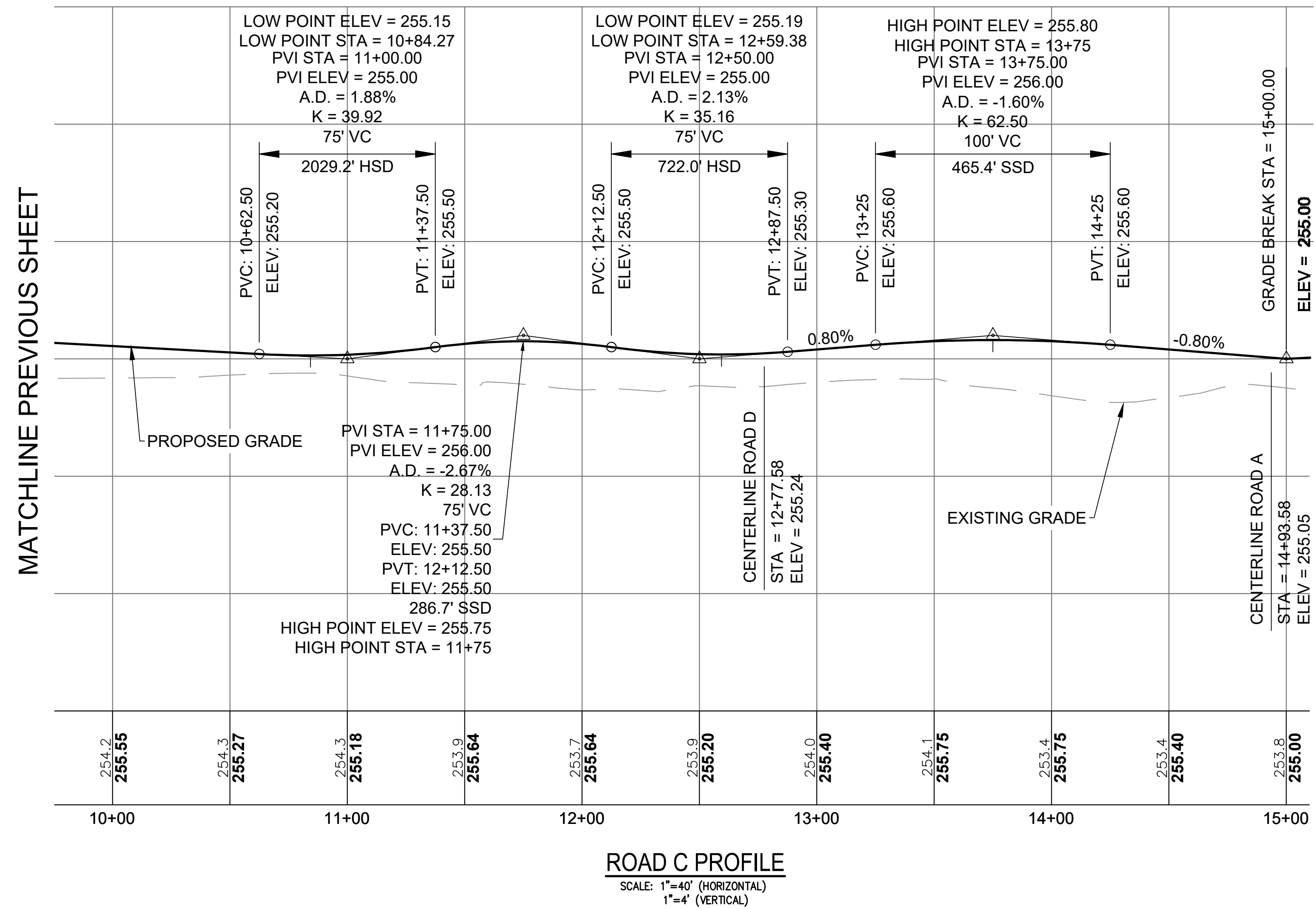
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	DATE: DECEMBER, 2023

SHEET
C-5.1

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MATCHLINE PREVIOUS SHEET

PROFILE - 3

FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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SCALE: AS SHOWN	APPROVED S.B.G.
DATE: DECEMBER, 2023	

SHEET
C-5.2

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREETOIL	15
PERENNIAL RYEGRASS	10

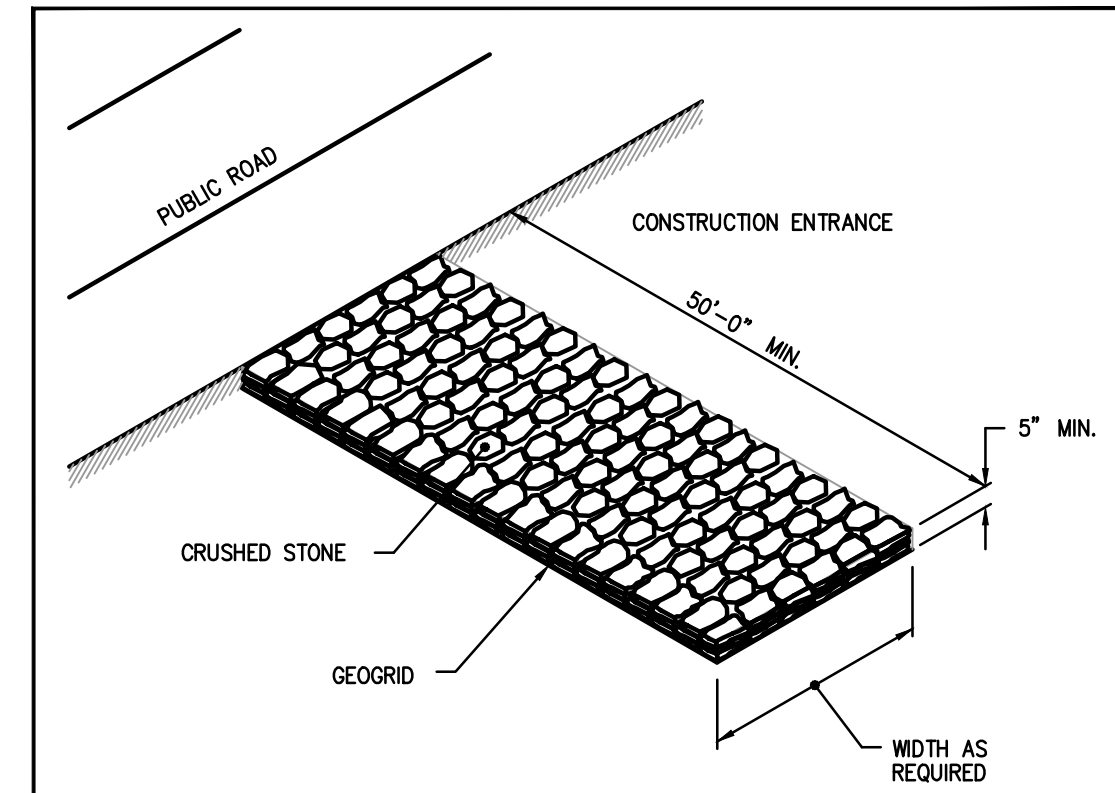
APPLICATION RATE 100 LBS/ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCIrcLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

- SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
- PLACE CONSTRUCTION ENTRANCES AND SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- GRADE SEDIMENT TRAPS AND DIVERSIONS AS REQUIRED TO ENSURE RUNOFF FROM ALL DISTURBED AREAS IS TREATED.
- BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
- INSTALL DRAINAGE SYSTEM. INSTALL SEDIMENT PROTECTION IMMEDIATELY AFTER INSTALLATION.
- INSTALL BMPs IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
- COMPLETE SITE MASS GRADING.
- COMPLETE ROAD CONSTRUCTION.
- CONSTRUCT HOMES. SEQUENCE AND/OR PHASE AS INDICATED OR AS DIRECTED BY OWNER. INSTALL SILT FENCE OR SILT SOCKS AROUND INDIVIDUAL WORK AREAS AS IS REQUIRED TO MINIMIZE SEDEMENT TRANSPORT TO ROADS.
- COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
- FLUSH AND/OR REPAIR DRAINAGE AREAS AS NEEDED.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

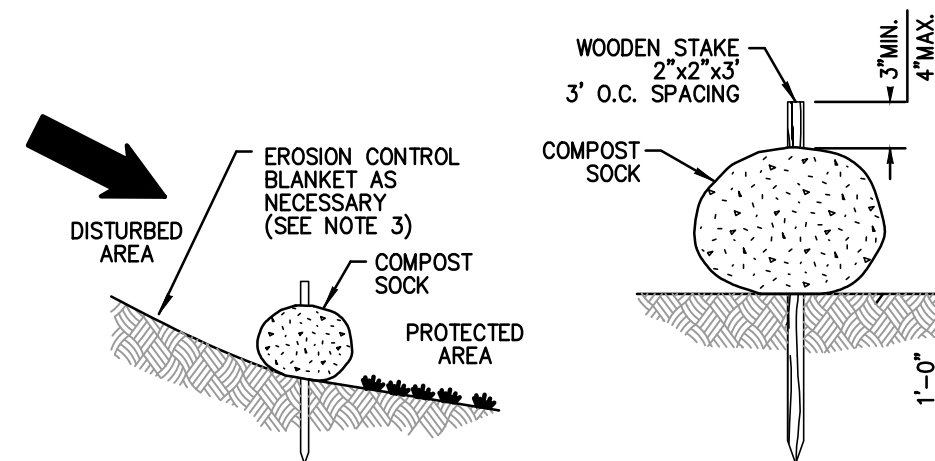


NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

REVISIONS		
NO.	BY	DATE

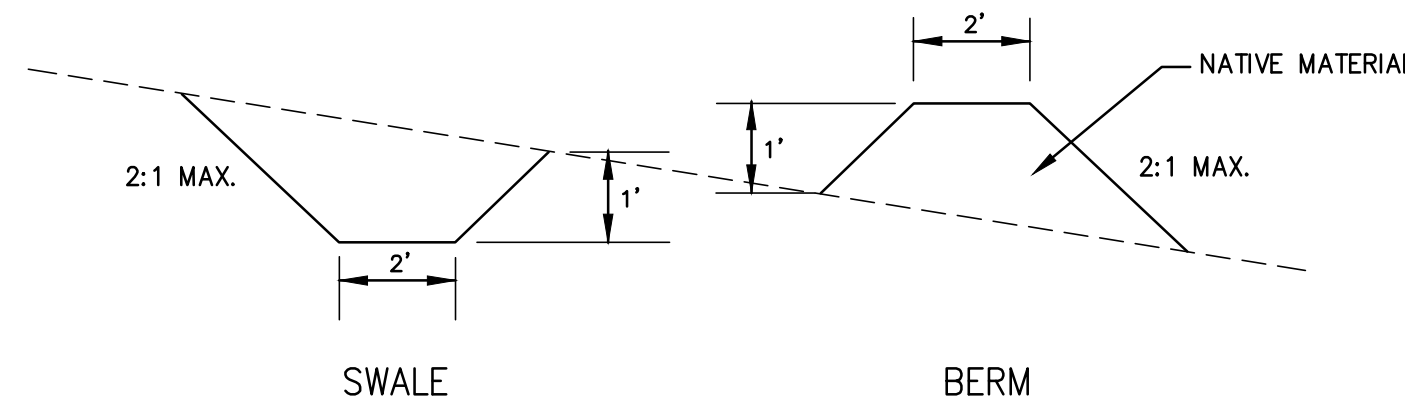
CONSTRUCTION ACCESS

R.I. STANDARD 9.9.0
JUNE 15, 1998
RHS: JHE



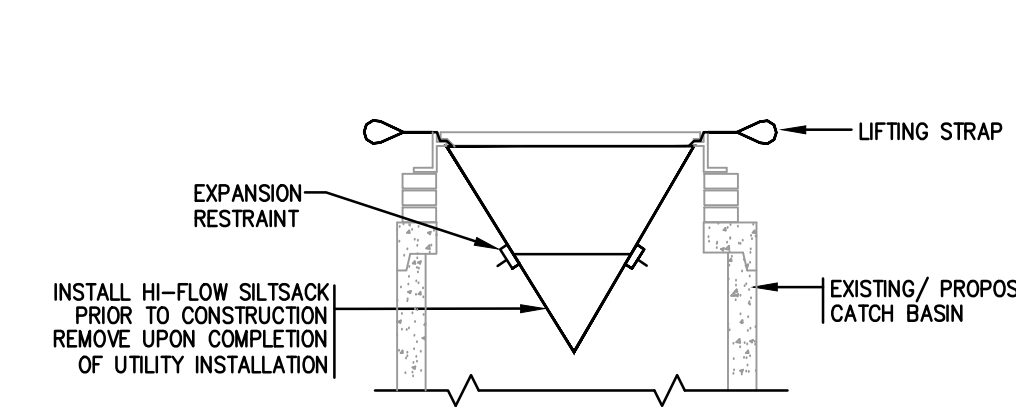
- NOTES:
- COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS INDICATED AND REQUIRED.
 - WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
 - ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 - REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.

COMPOST SILT SOCK
NOT TO SCALE

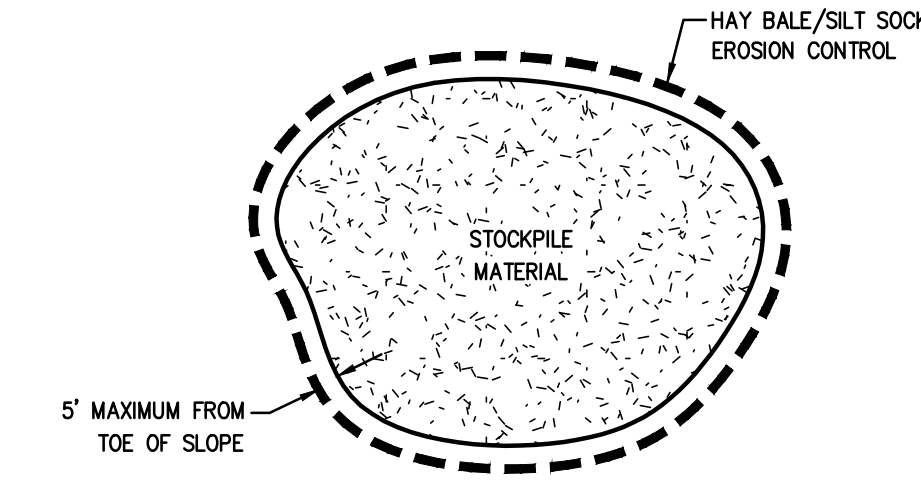


- NOTES:
- COMBINATION SWALE/BERM MAY BE SUBSTITUTED TO MEET THE MINIMUM DIMENSIONS SHOWN.

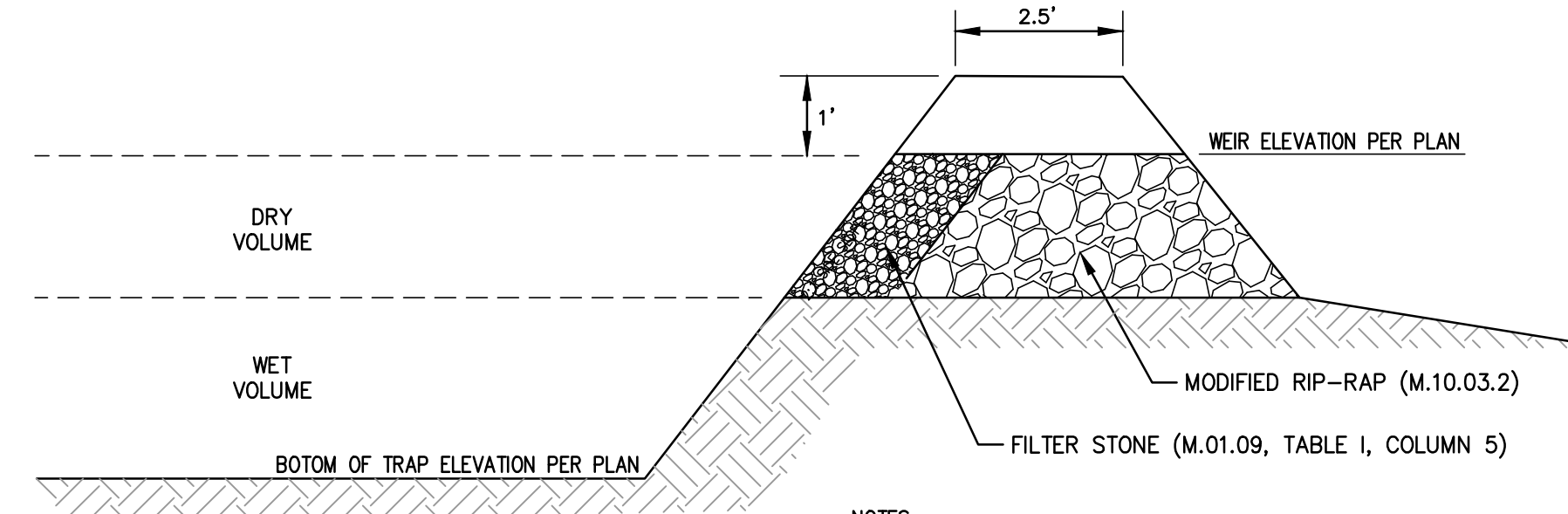
DIVERSION SWALE OR BERM
NOT TO SCALE



SILTSACK® AT CATCH BASIN
NOT TO SCALE



STOCKPILE EROSION CONTROL
NOT TO SCALE



- NOTES:
- LENGTH OF FILTER STONE WEIR SHALL BE 10' UNLESS OTHERWISE INDICATED.

TEMPORARY SEDIMENT TRAP AND OUTLET
NOT TO SCALE

SE&SC PLAN
NOTES AND DETAILS
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23

PROJECT ENGINEER
SAMUEL HEMENWAY

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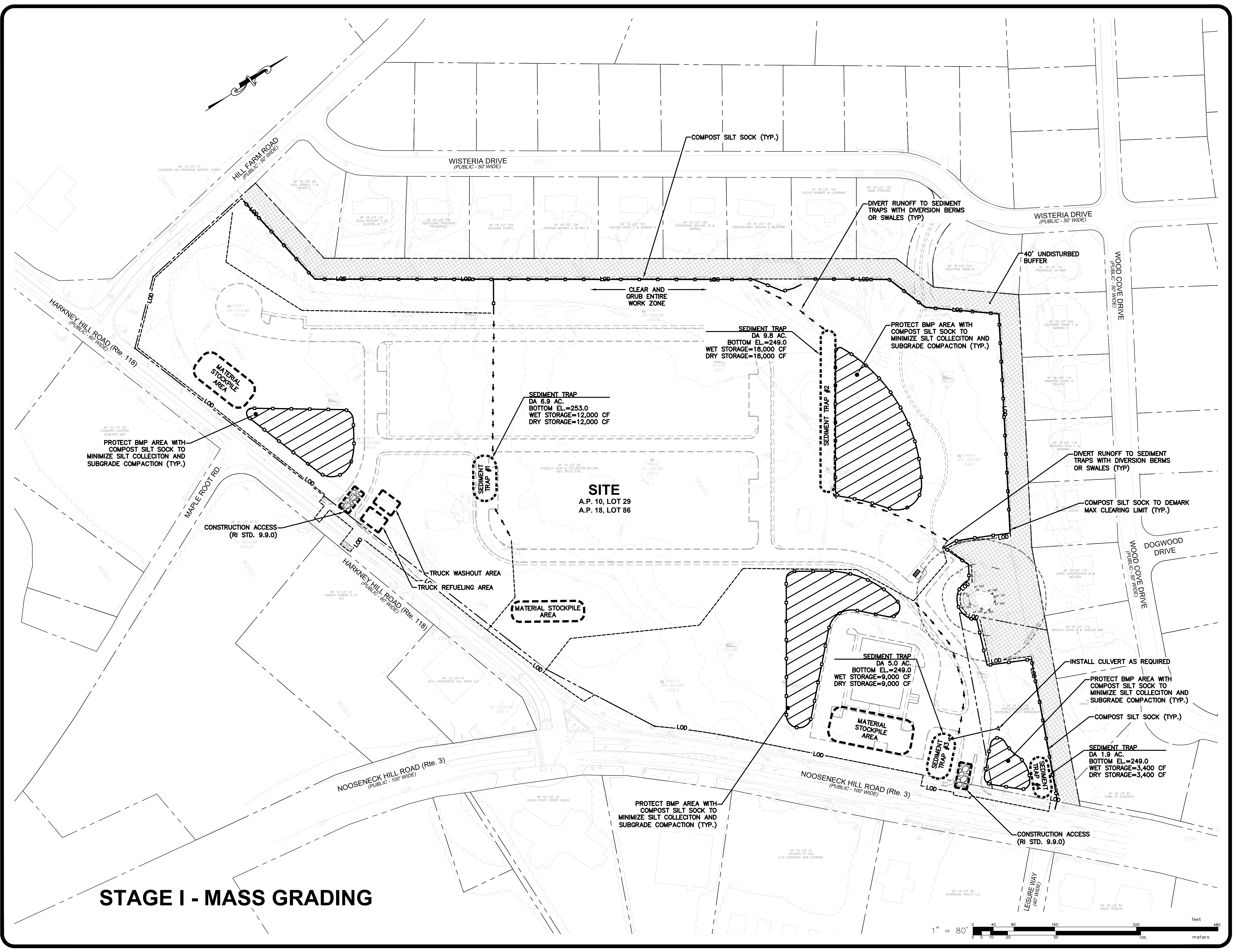
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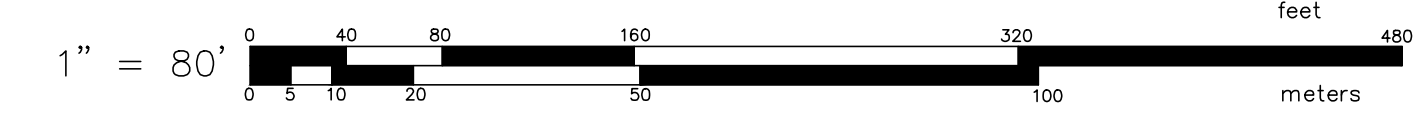
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DWG. NO. 7398-00_PERMIT_SESC	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: DECEMBER, 2023	

SHEET
C-6.0
25 OF 33 SHEETS

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STAGE I - MASS GRADING



**SE&SC PLAN
STAGE I**
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE
3	MASTER PLAN REVIEW COMMENTS	KJA	8/18/23

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

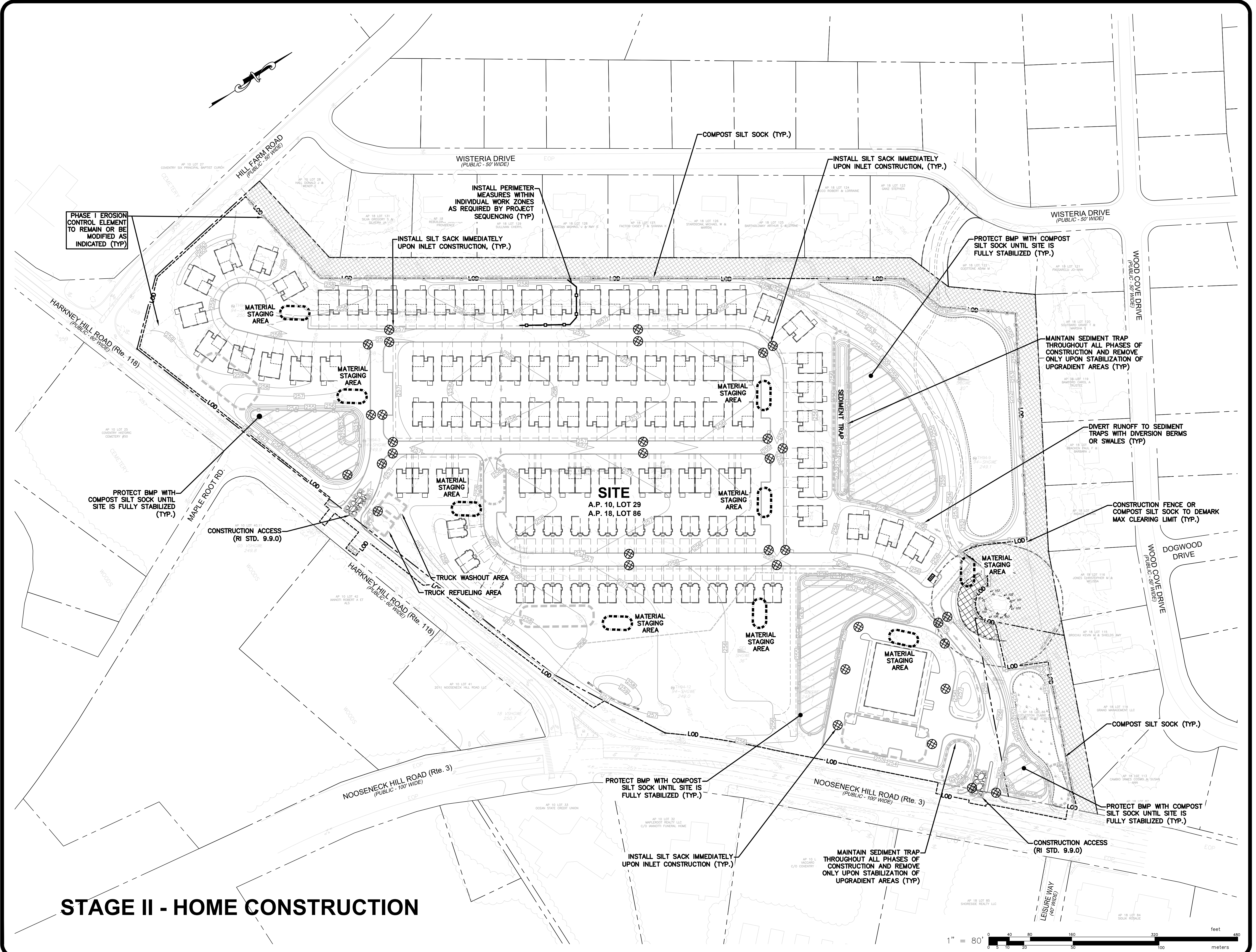
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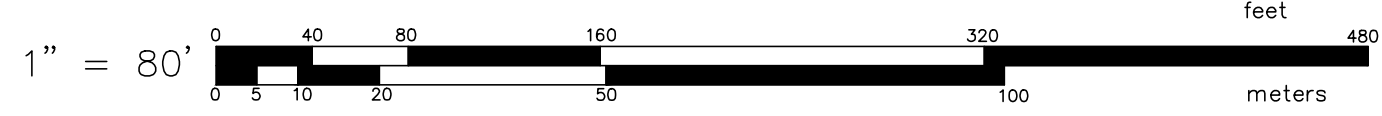
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DATE: DECEMBER, 2023	

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C-6.1
26 OF 33 SHEETS

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STAGE II - HOME CONSTRUCTION



**SE&SC PLAN
STAGE II**
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

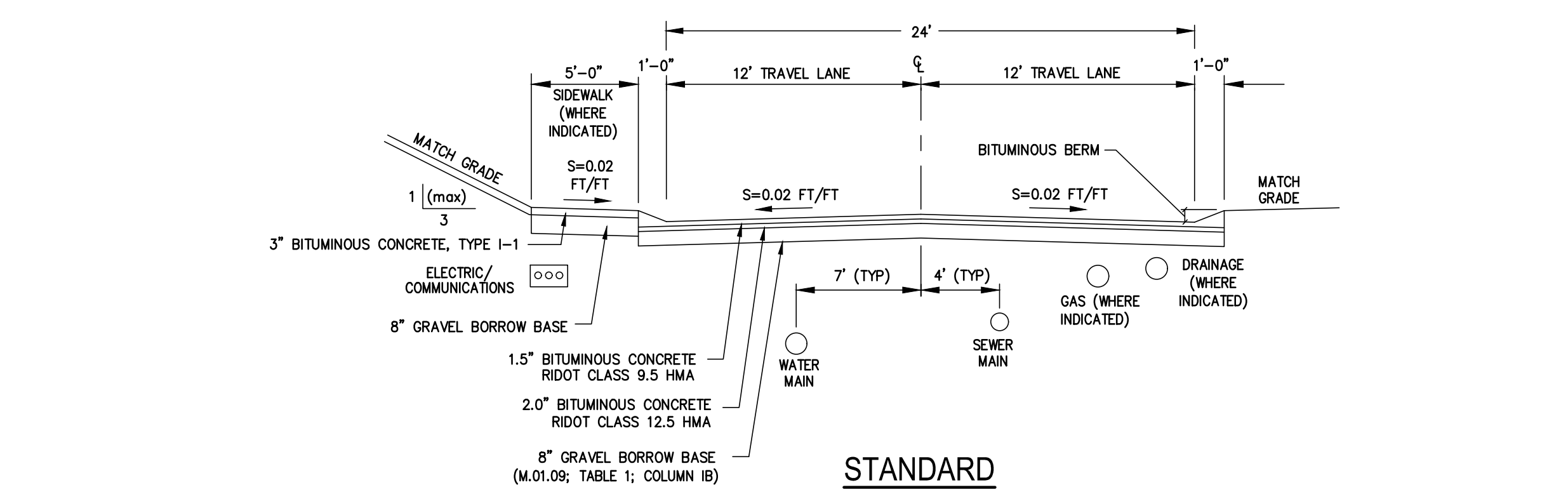
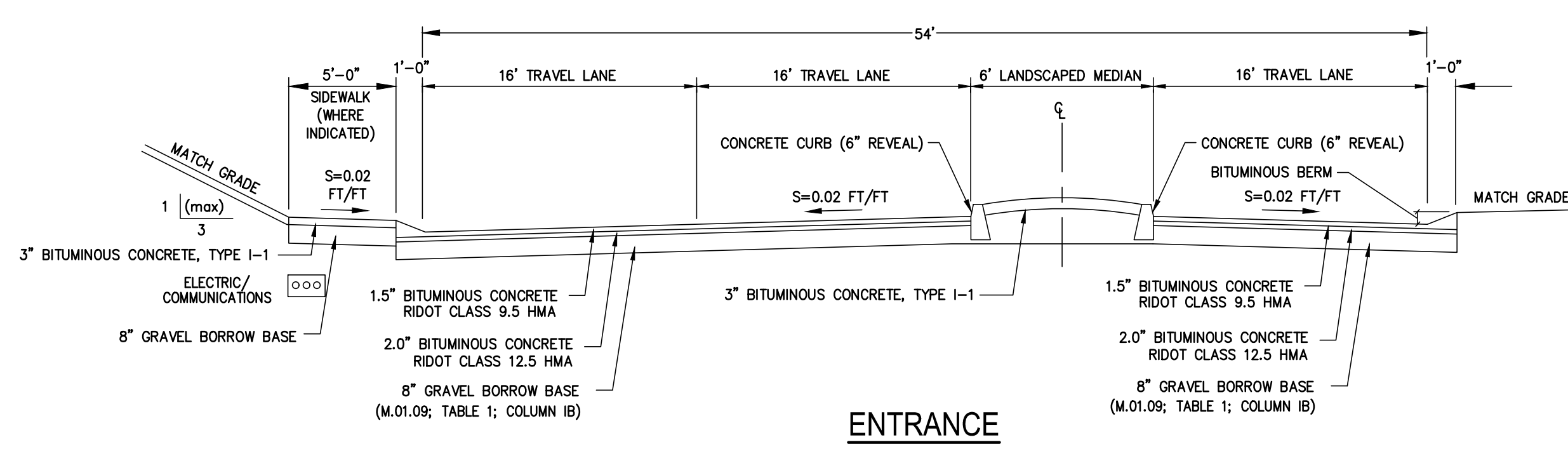
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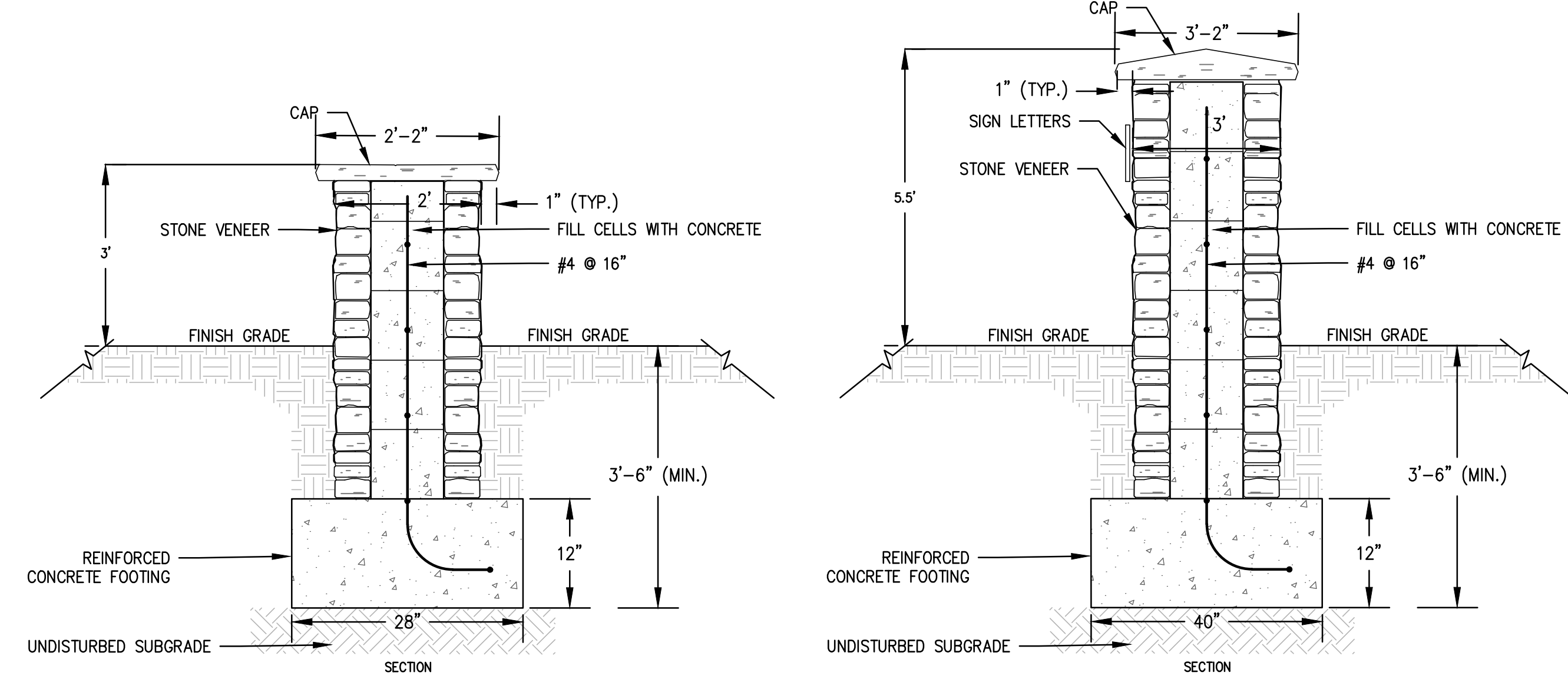
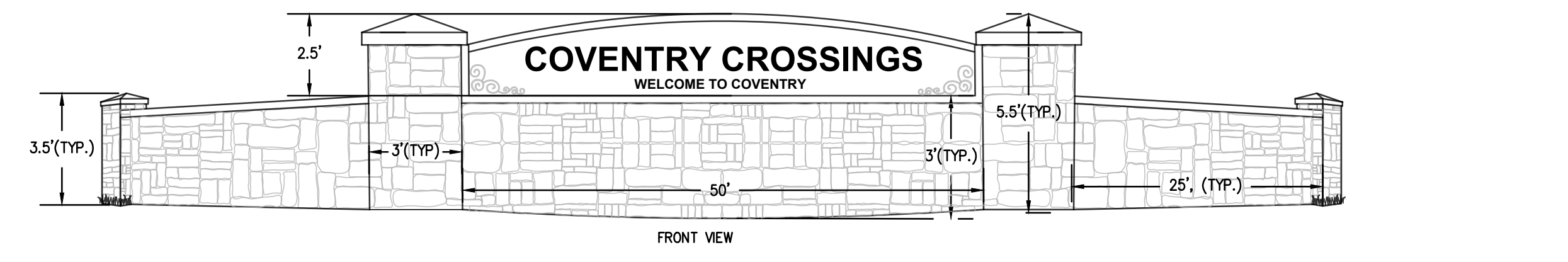
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DWG. NO. 7398-00_PERMIT_SESC	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: DECEMBER, 2023	

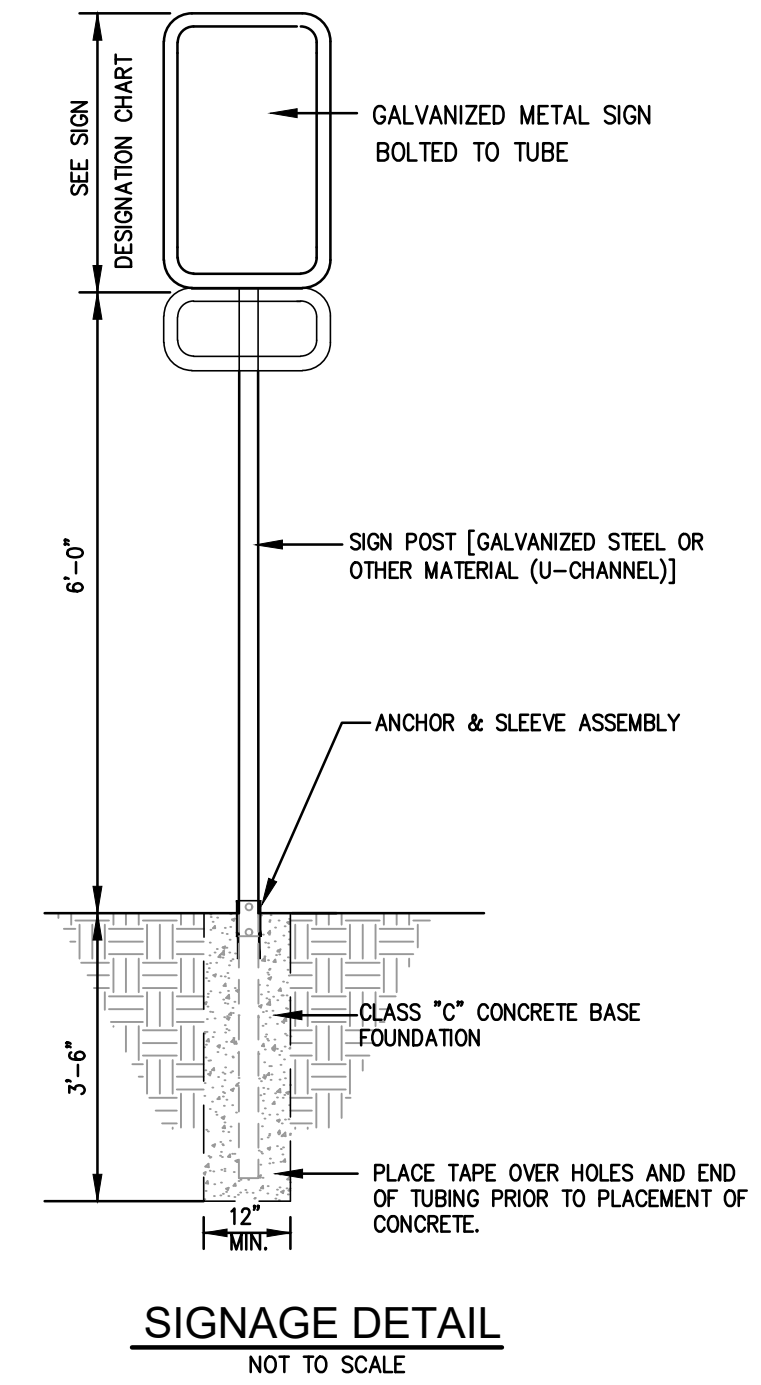
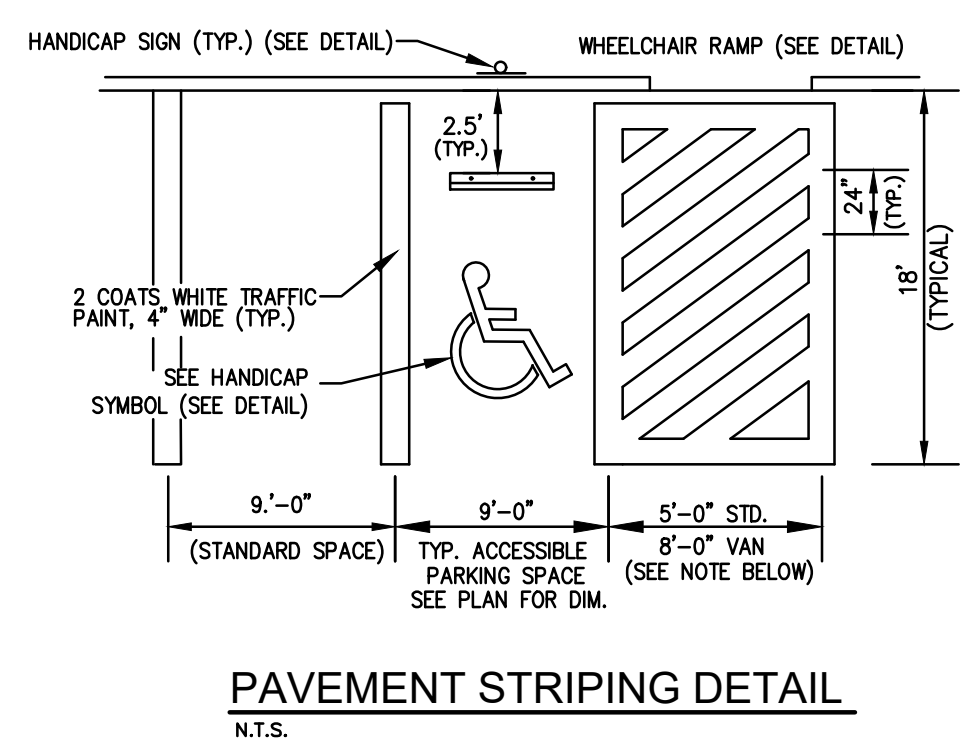
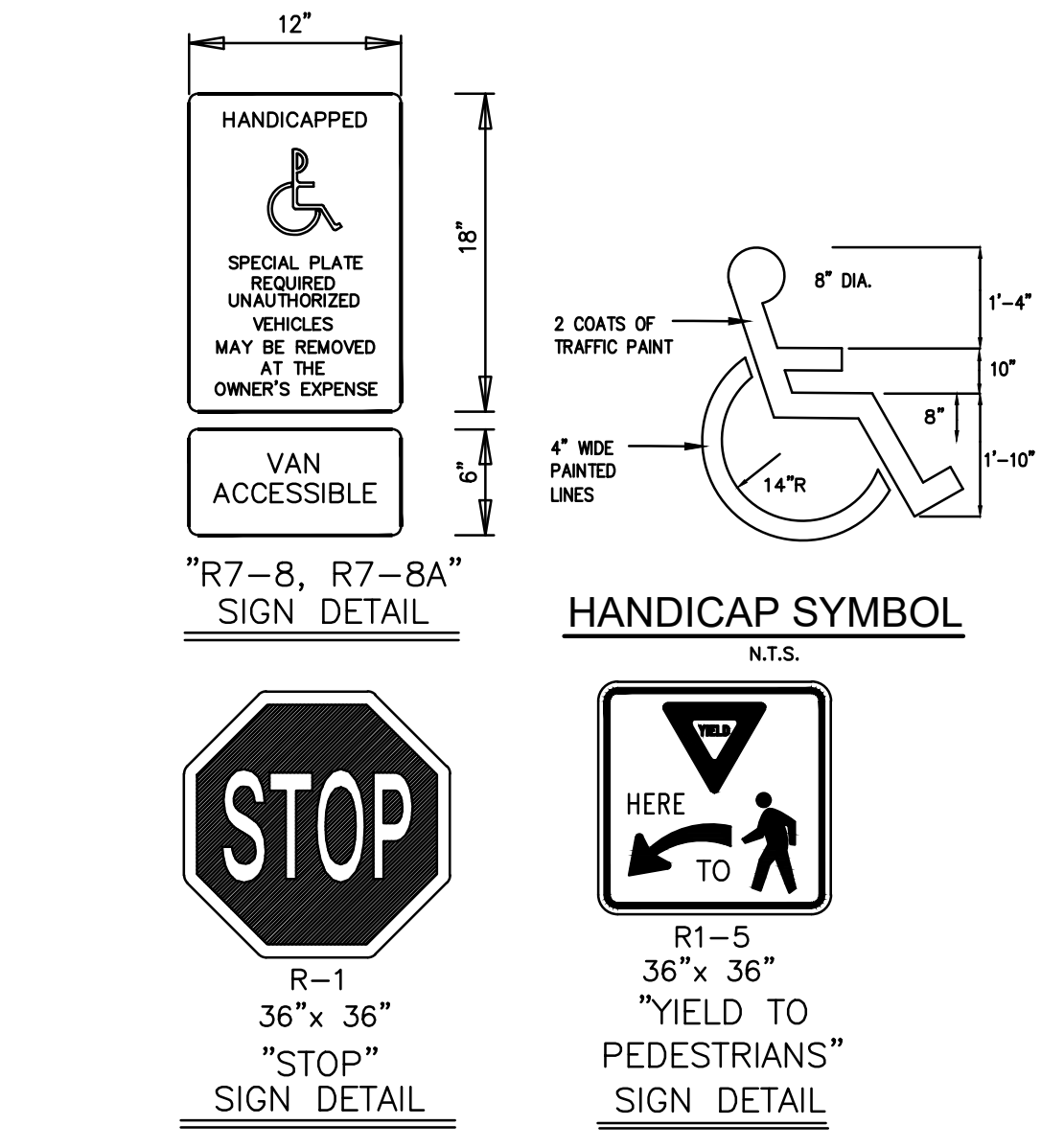
SHEET
C-6.2
27 OF 33 SHEETS



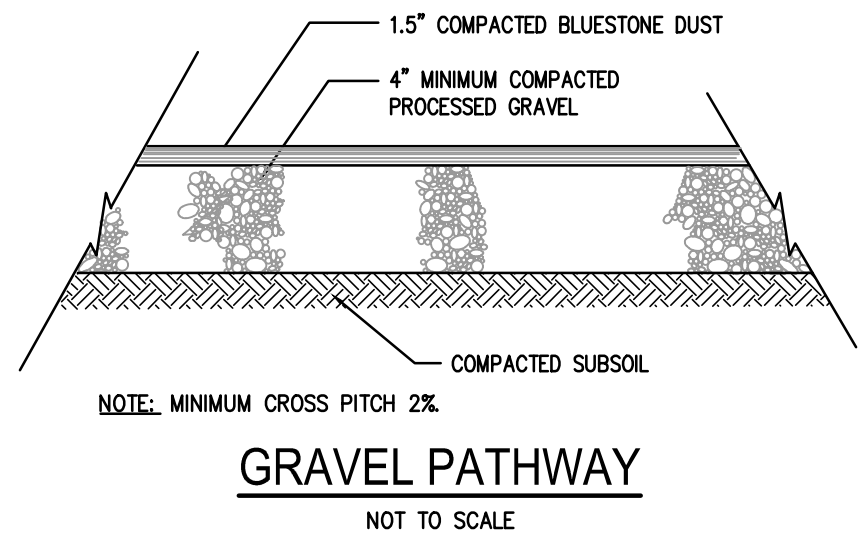
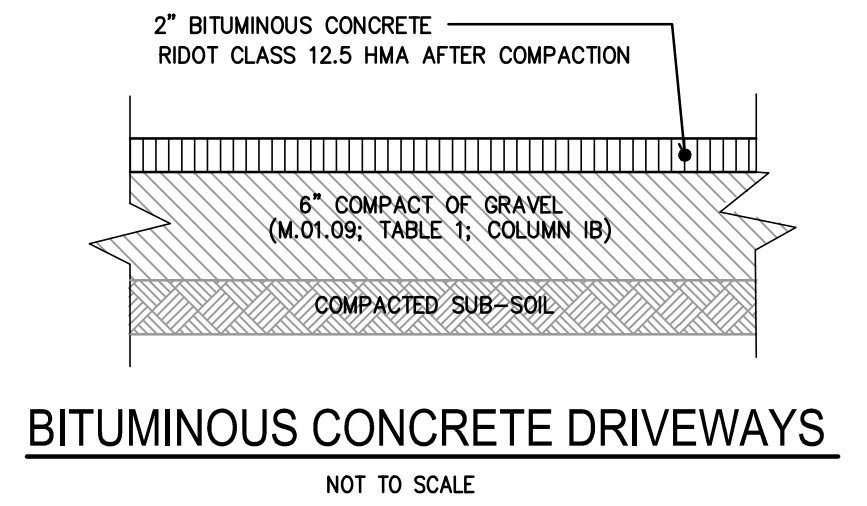
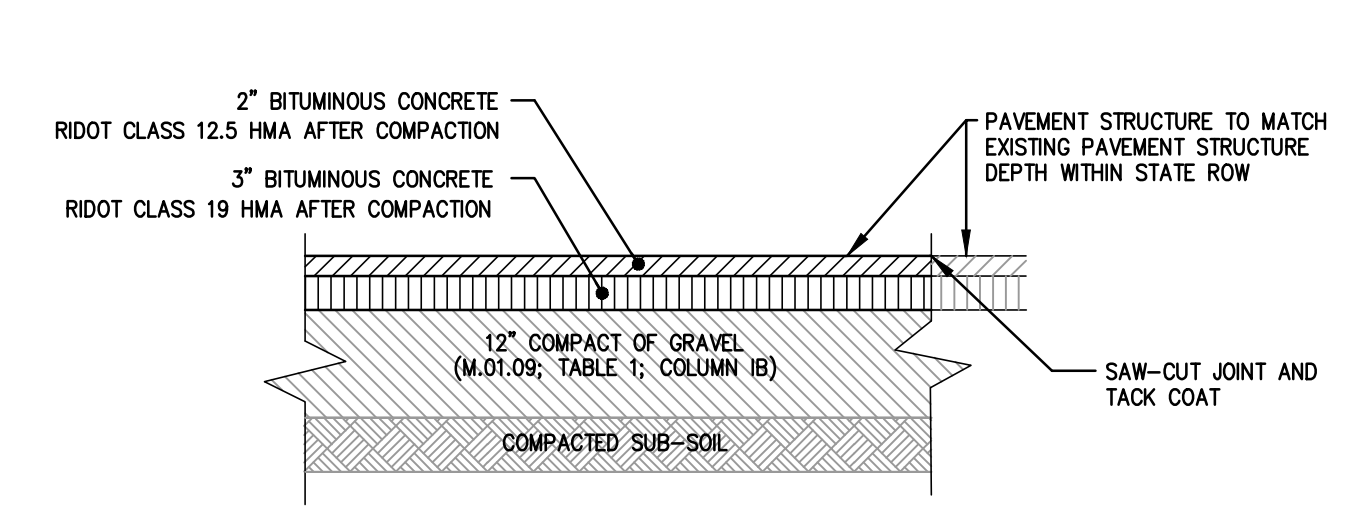
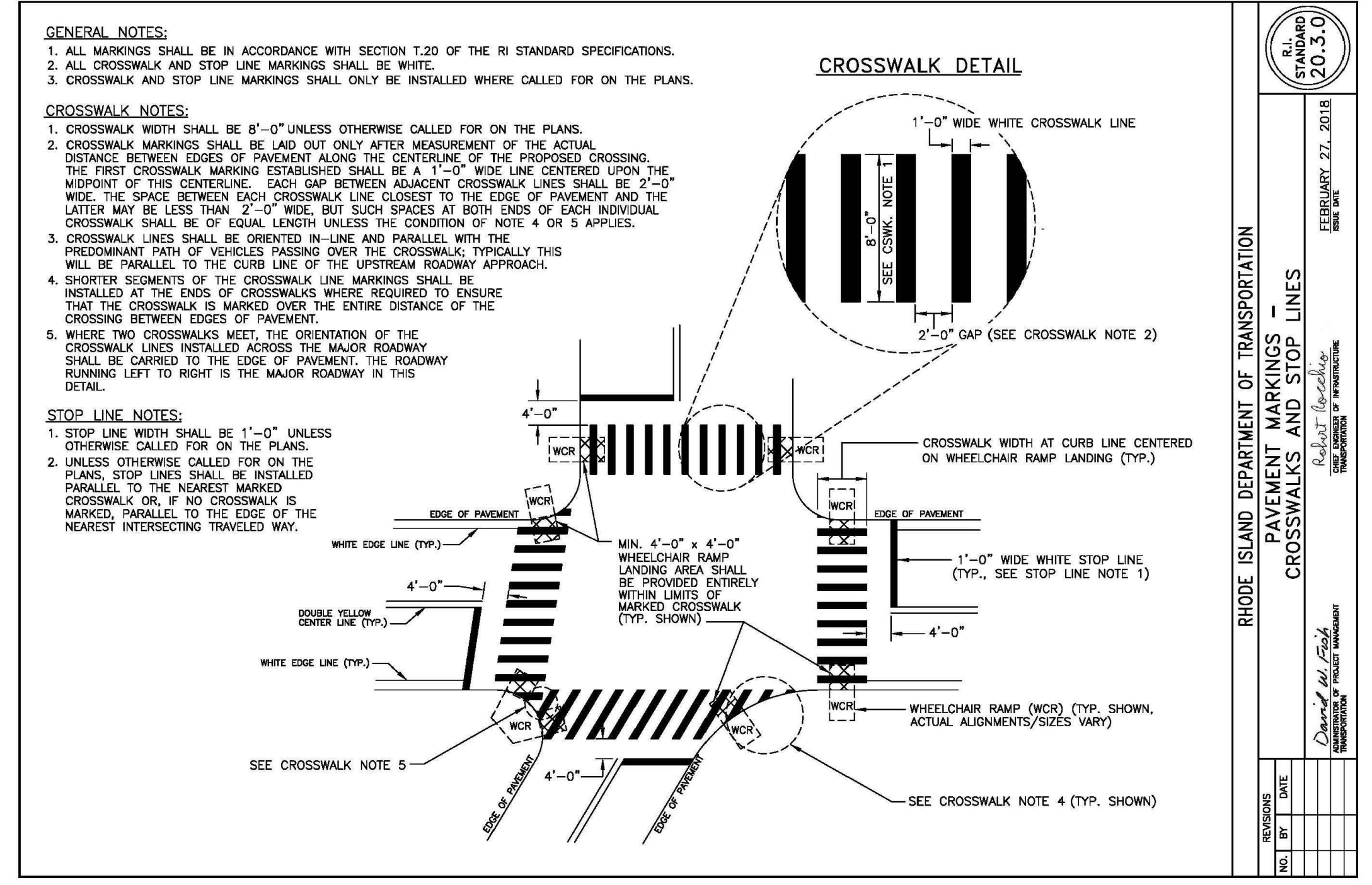
(ALL ROADS ARE PRIVATE)
TYPICAL ROADWAY SECTIONS
 NOT TO SCALE



NOTE:
 ENTRANCE WALL AND SIGNAGE DETAIL IS CONCEPTUAL ONLY. CONTRACTOR SHALL SUBMIT DESIGN FOR REVIEW AND APPROVAL BY THE OWNER.



SITE SIGNAGE
 NOT TO SCALE



- NOTES:
- SUB-SOIL FILLS SHALL BE COMPRISED OF SELECT GRANULAR MATERIALS, CLASSIFIED AS SM OR MORE GRANULAR BY ASTM D 2487 AND PLACED IN 12-INCH MAXIMUM LIFTS AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D689.
 - WITHIN SUBSOIL FILL AREAS, THE CONTRACTOR SHALL PROVIDE AT LEAST ONE COMPACTION TEST PER 100 LINEAR FEET, OR FRACTION THEREOF, OF EACH LIFT OF BACKFILL FOR ROADS. COMPACTION TESTING SHALL BE PERFORMED BY A RIDOT VALIDATED COMMERCIAL TESTING LABORATORY.
 - TACK COAT SHALL BE APPLIED TO VERTICAL FACES OF EXISTING PAVEMENTS IN CONFORMANCE WITH SECTION 400 OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION

STATE ROW BITUMINOUS CONCRETE PAVEMENT SECTION (BCP)
 NOT TO SCALE

CONSTRUCTION DETAILS - 1

FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)

SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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85 CORLISS STREET
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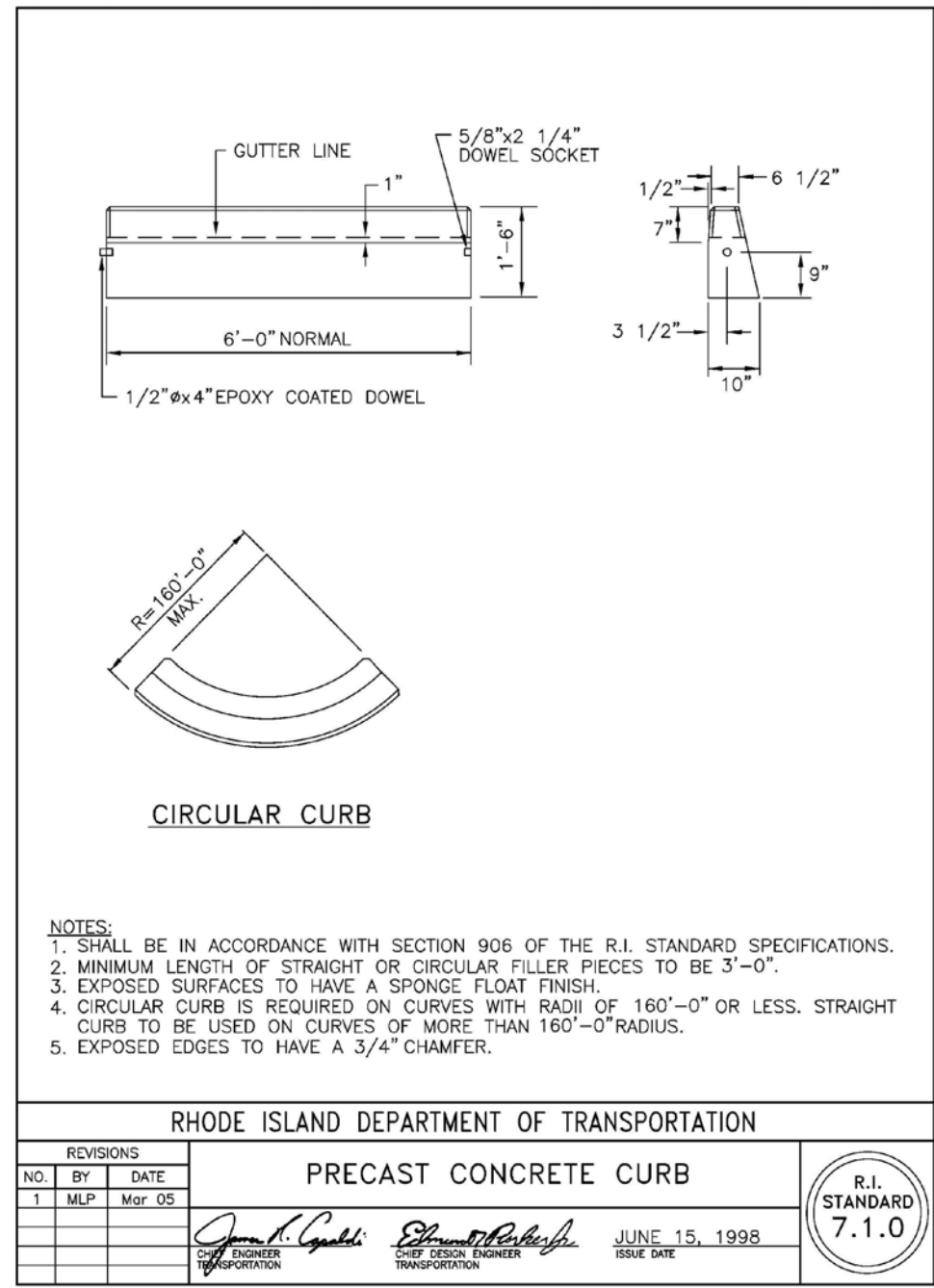
Garofalo & Associates
 These drawings are the property of the engineer/surveyor and have been prepared for the project at this site and are not to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

JOB NO. 7398-00	DRAWN BY K.J.A.
DWG. NO. 7398-00-PERMIT-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET

C-7.0

28 OF 33 SHEETS



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0\"/>

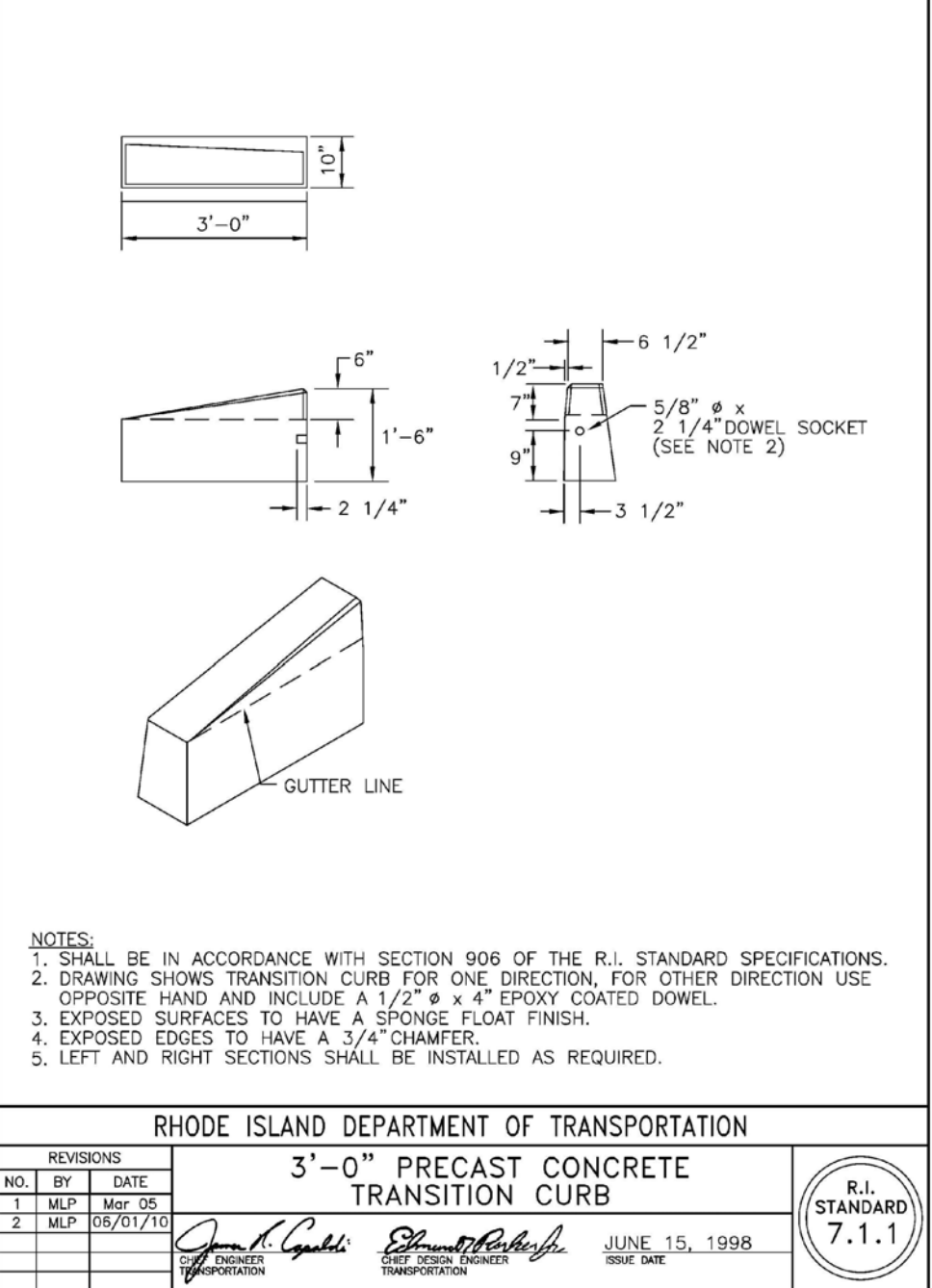
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	MPJ	06/07/10	ISSUE FOR PERMIT
2	MPJ	06/07/10	ISSUE FOR PERMIT

PRECAST CONCRETE CURB

R.I. STANDARD 7.1.0



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2\"/>

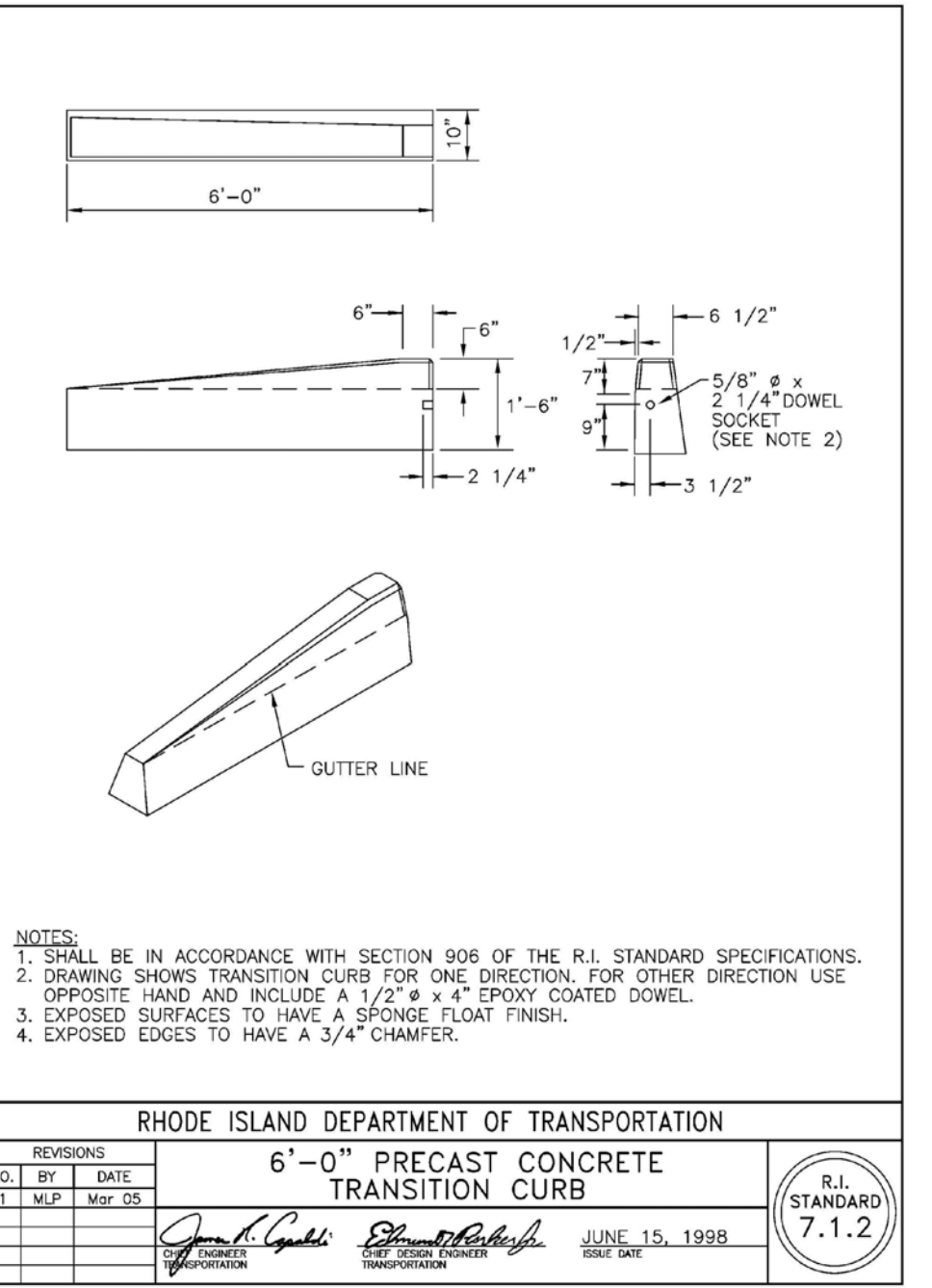
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

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NO.	BY	DATE	DESCRIPTION
1	MPJ	06/07/10	ISSUE FOR PERMIT
2	MPJ	06/07/10	ISSUE FOR PERMIT

3'-0" PRECAST CONCRETE TRANSITION CURB

R.I. STANDARD 7.1.1



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2\"/>

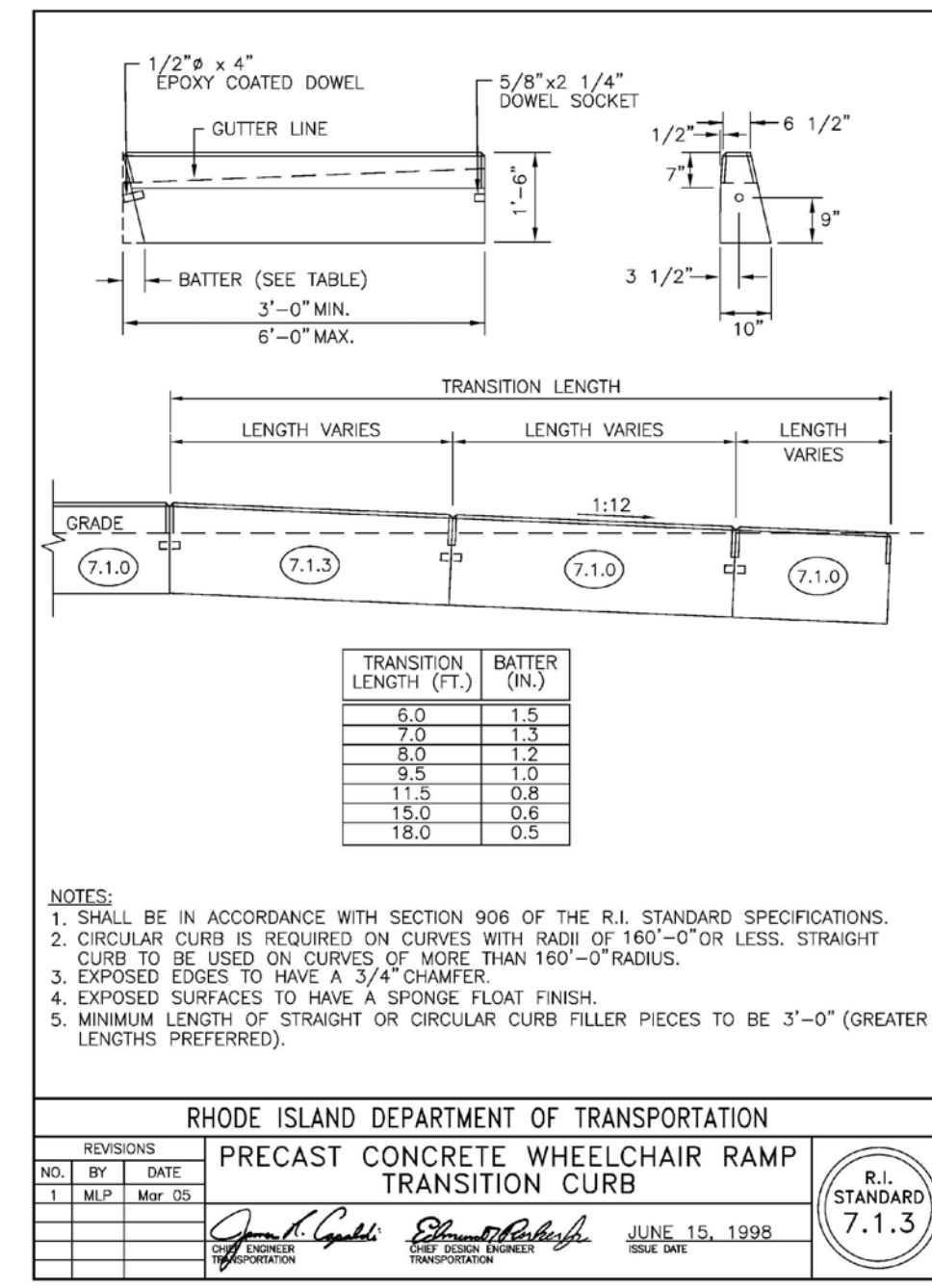
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NO.	BY	DATE	DESCRIPTION
1	MPJ	06/07/10	ISSUE FOR PERMIT
2	MPJ	06/07/10	ISSUE FOR PERMIT

6'-0" PRECAST CONCRETE TRANSITION CURB

R.I. STANDARD 7.1.2



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 3. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 4. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 5. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR CURB FILLER PIECES TO BE 3'-0" (GREATER EDGES PREFERRED).

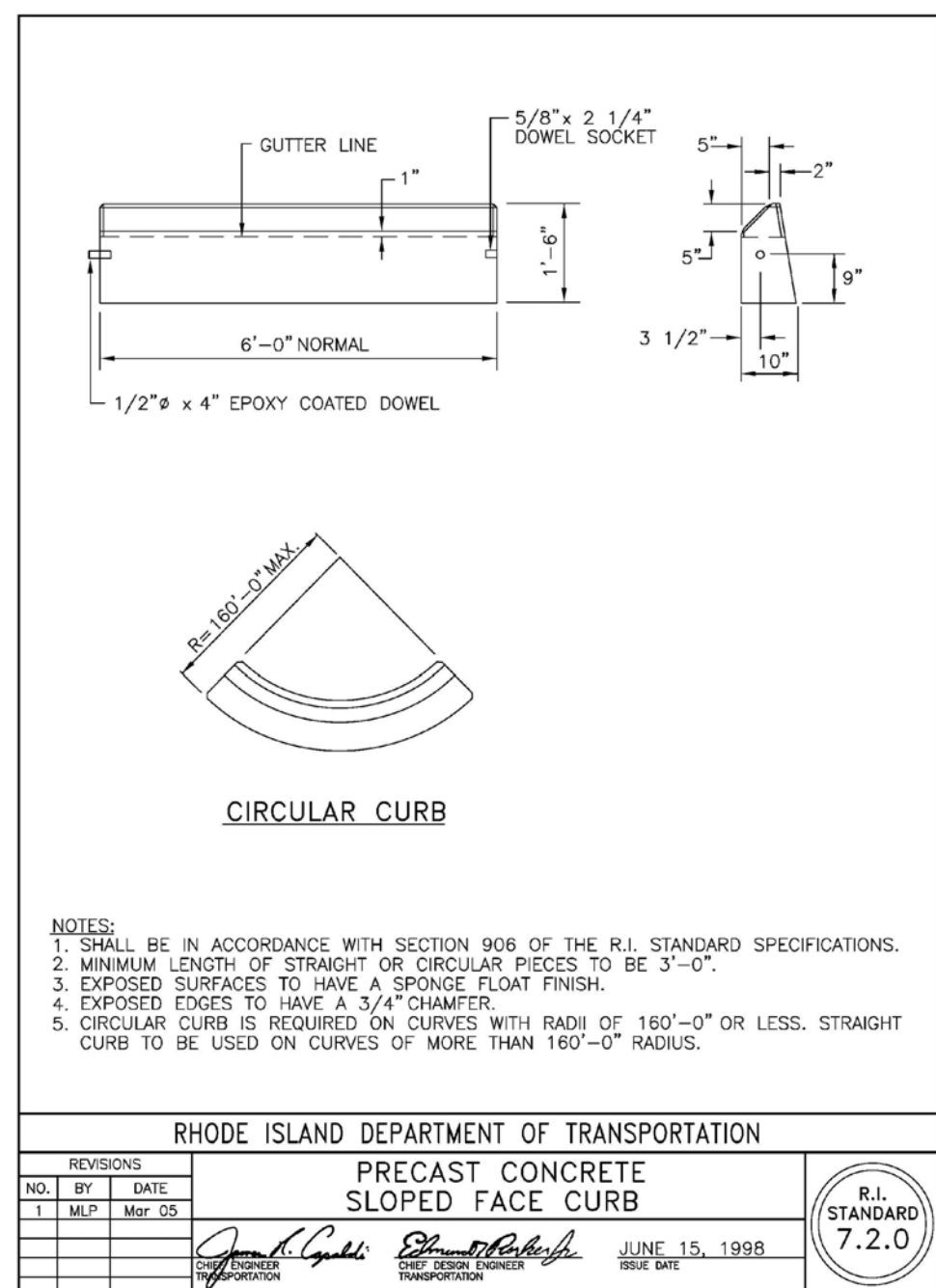
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REVISIONS

NO.	BY	DATE	DESCRIPTION
1	MPJ	06/07/10	ISSUE FOR PERMIT
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PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB

R.I. STANDARD 7.1.3



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0\"/>

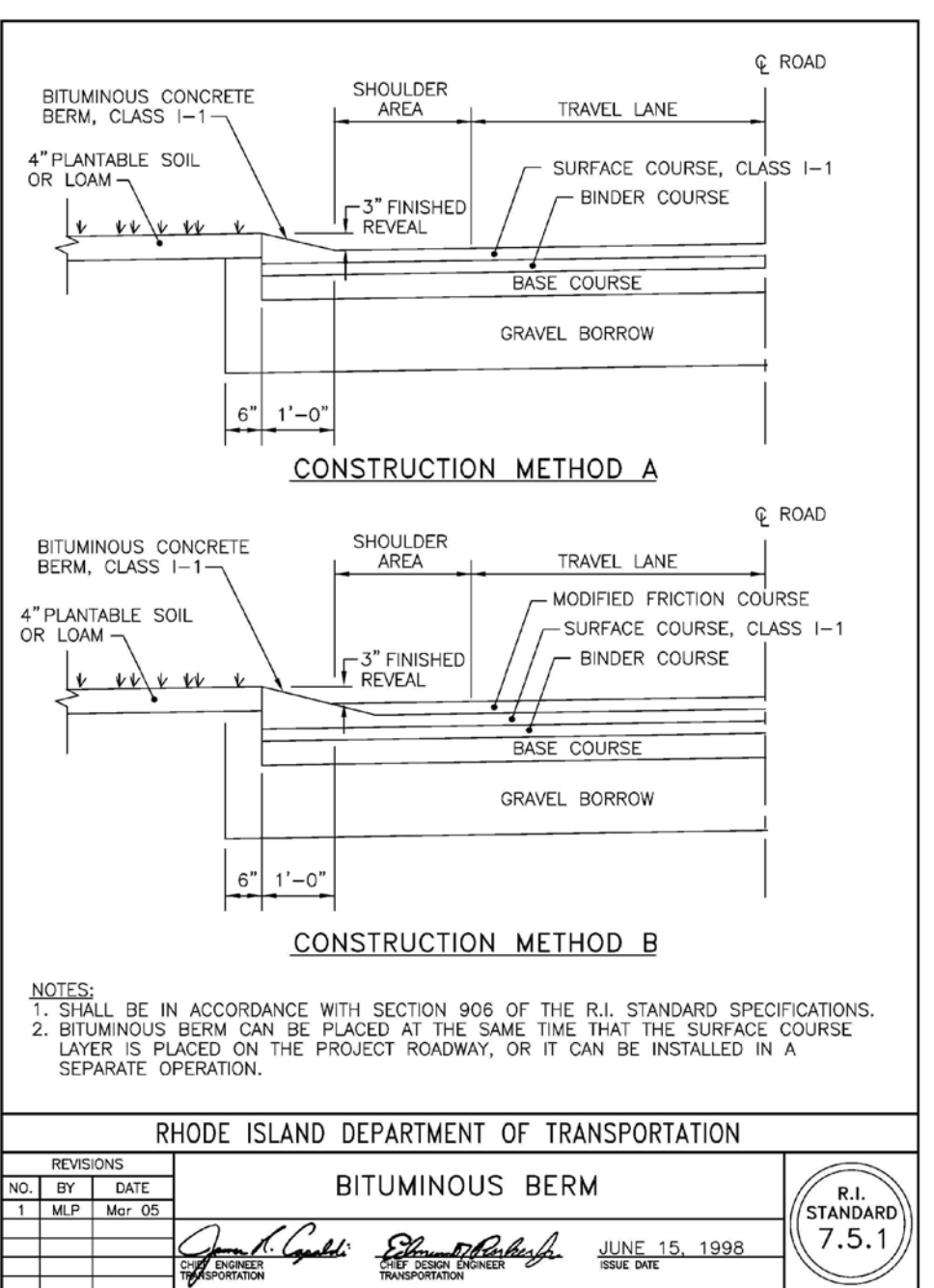
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REVISIONS

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1	MPJ	06/07/10	ISSUE FOR PERMIT
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PRECAST CONCRETE SLOPED FACE CURB

R.I. STANDARD 7.2.0



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.

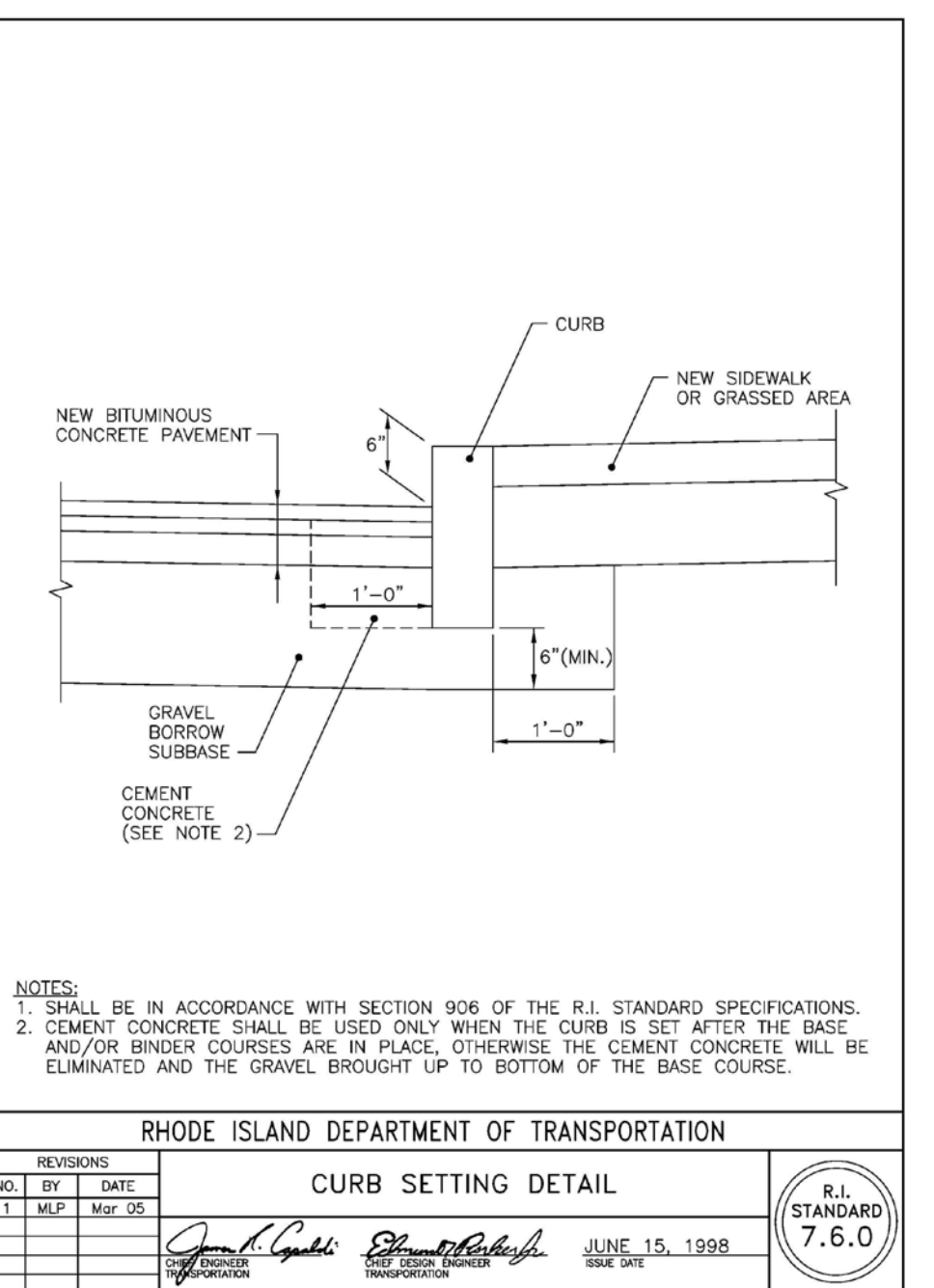
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS

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1	MPJ	06/07/10	ISSUE FOR PERMIT
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BITUMINOUS BERM

R.I. STANDARD 7.5.1



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

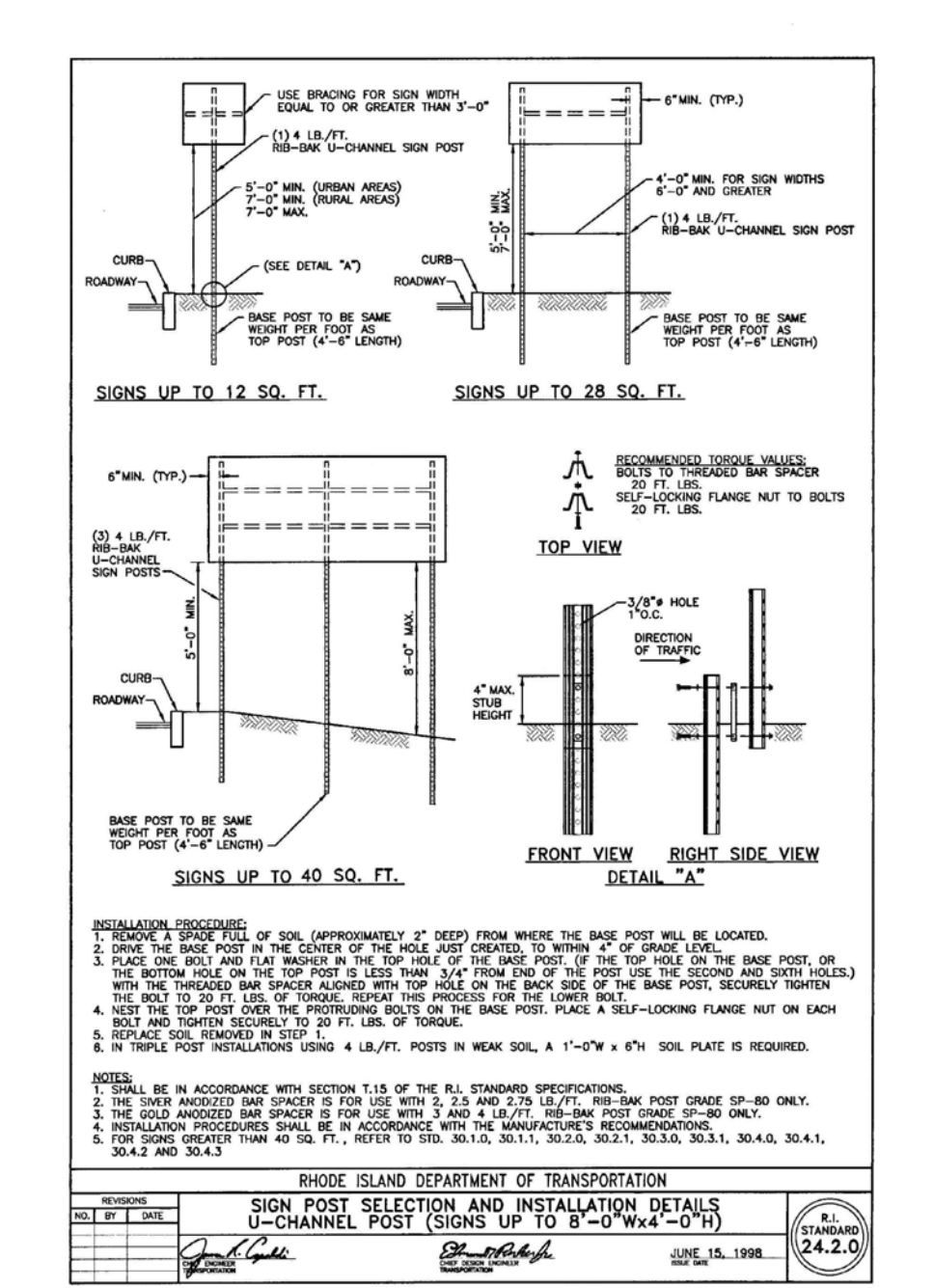
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1	MPJ	06/07/10	ISSUE FOR PERMIT
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CURB SETTING DETAIL

R.I. STANDARD 7.6.0



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 1.15 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THE SIGN POST SHALL BE SET IN THE CENTER OF THE HOLE JUST CEMENTED TO WITHIN 2" OF GRAVEL LAYER.
 3. THE SIGN POST SHALL BE SET IN THE CENTER OF THE HOLE JUST CEMENTED TO WITHIN 2" OF GRAVEL LAYER.
 4. THE SIGN POST SHALL BE SET IN THE CENTER OF THE HOLE JUST CEMENTED TO WITHIN 2" OF GRAVEL LAYER.

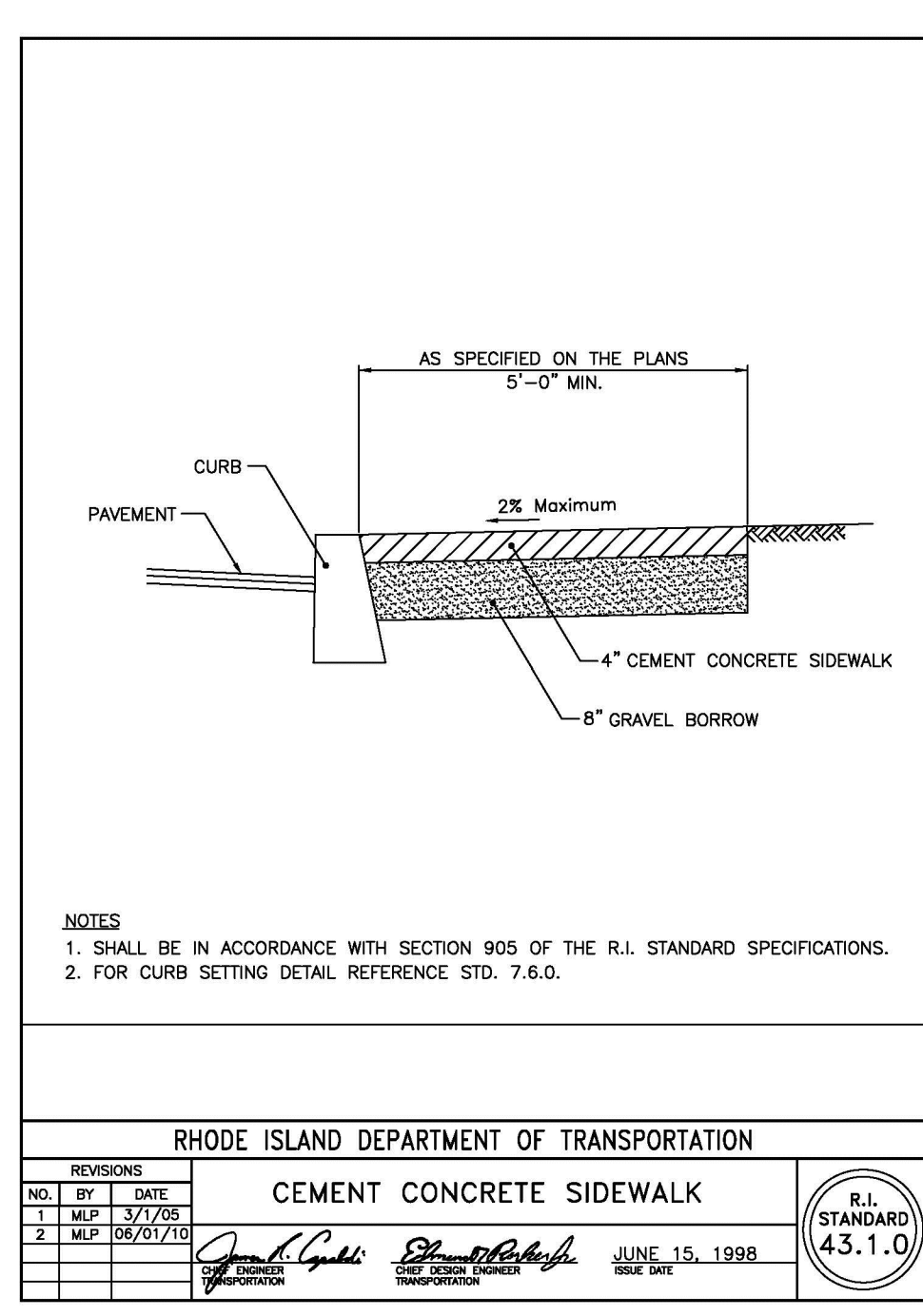
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

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SIGN POST SELECTION AND INSTALLATION DETAILS U-CHANNEL POST (SIGNS UP TO 8'-0" Wx4'-0" H)

R.I. STANDARD 7.4.2.0



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

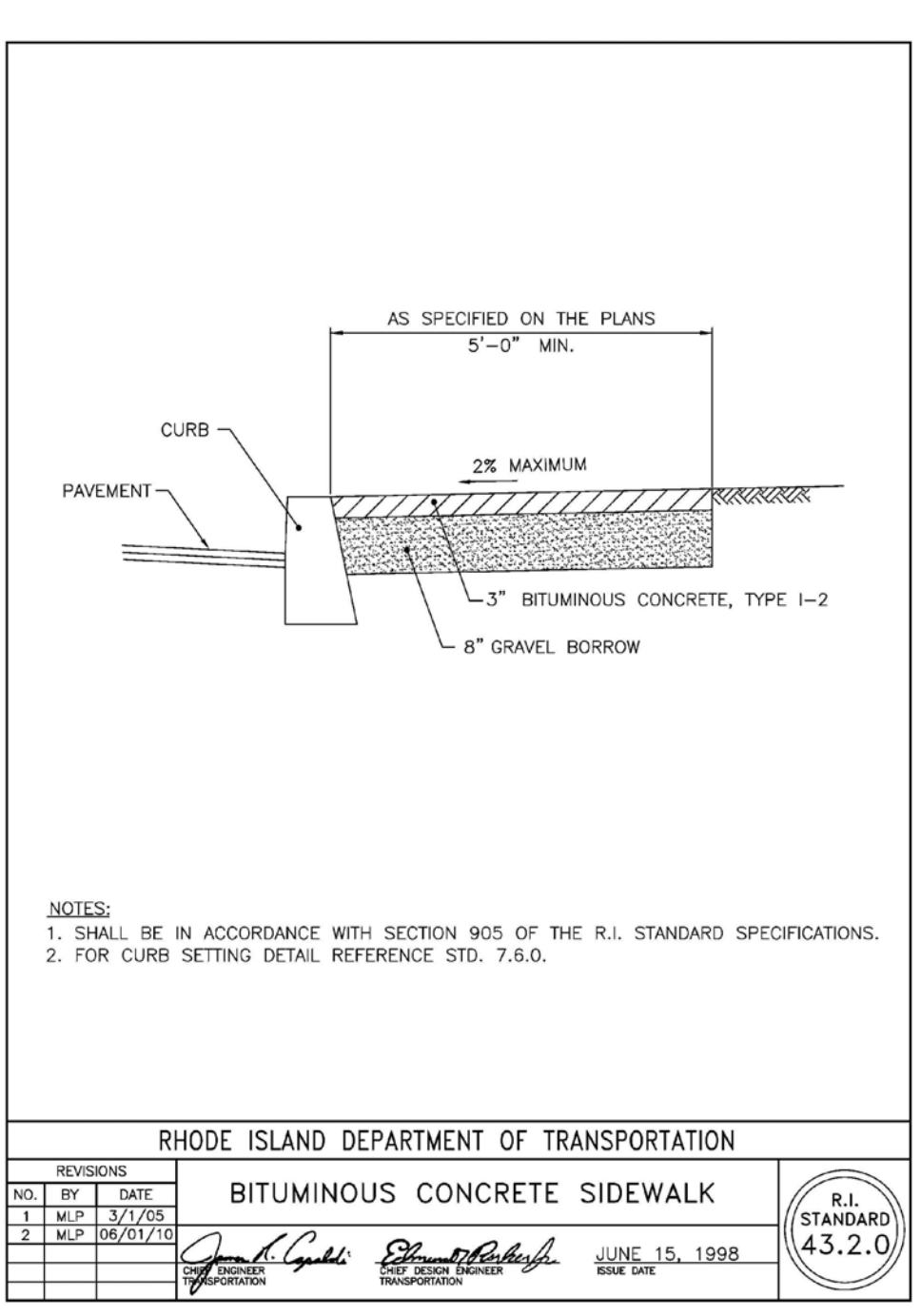
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

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CEMENT CONCRETE SIDEWALK

R.I. STANDARD 4.5.1.0



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

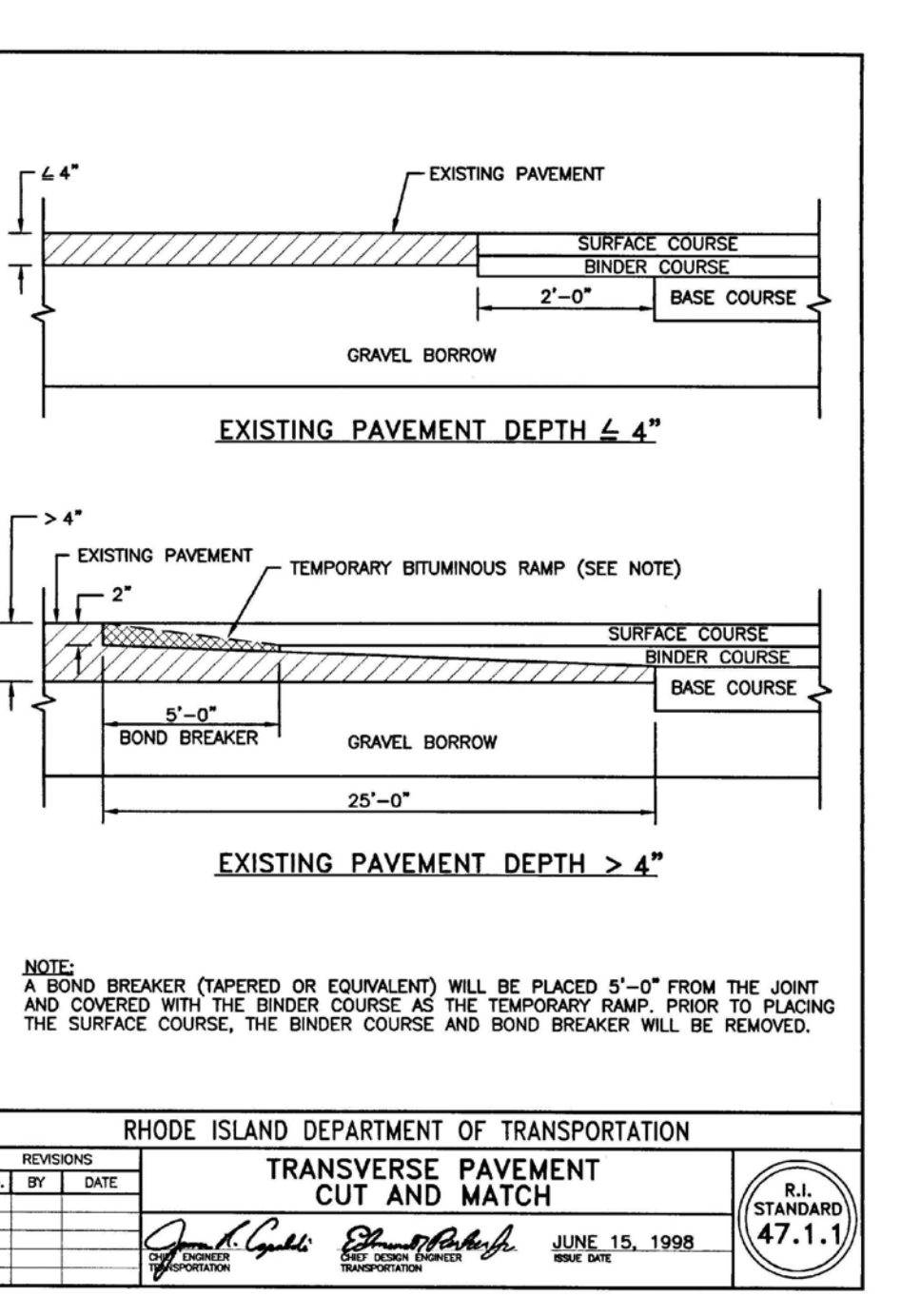
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BITUMINOUS CONCRETE SIDEWALK

R.I. STANDARD 4.5.2.0



NOTE:
 A BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED 5'-0" FROM THE JOINT AND COVERED WITH THE BINDER COURSE AS THE TEMPORARY RAMP PRIOR TO PLACING THE SURFACE COURSE, THE BINDER COURSE AND BOND BREAKER WILL BE REMOVED.

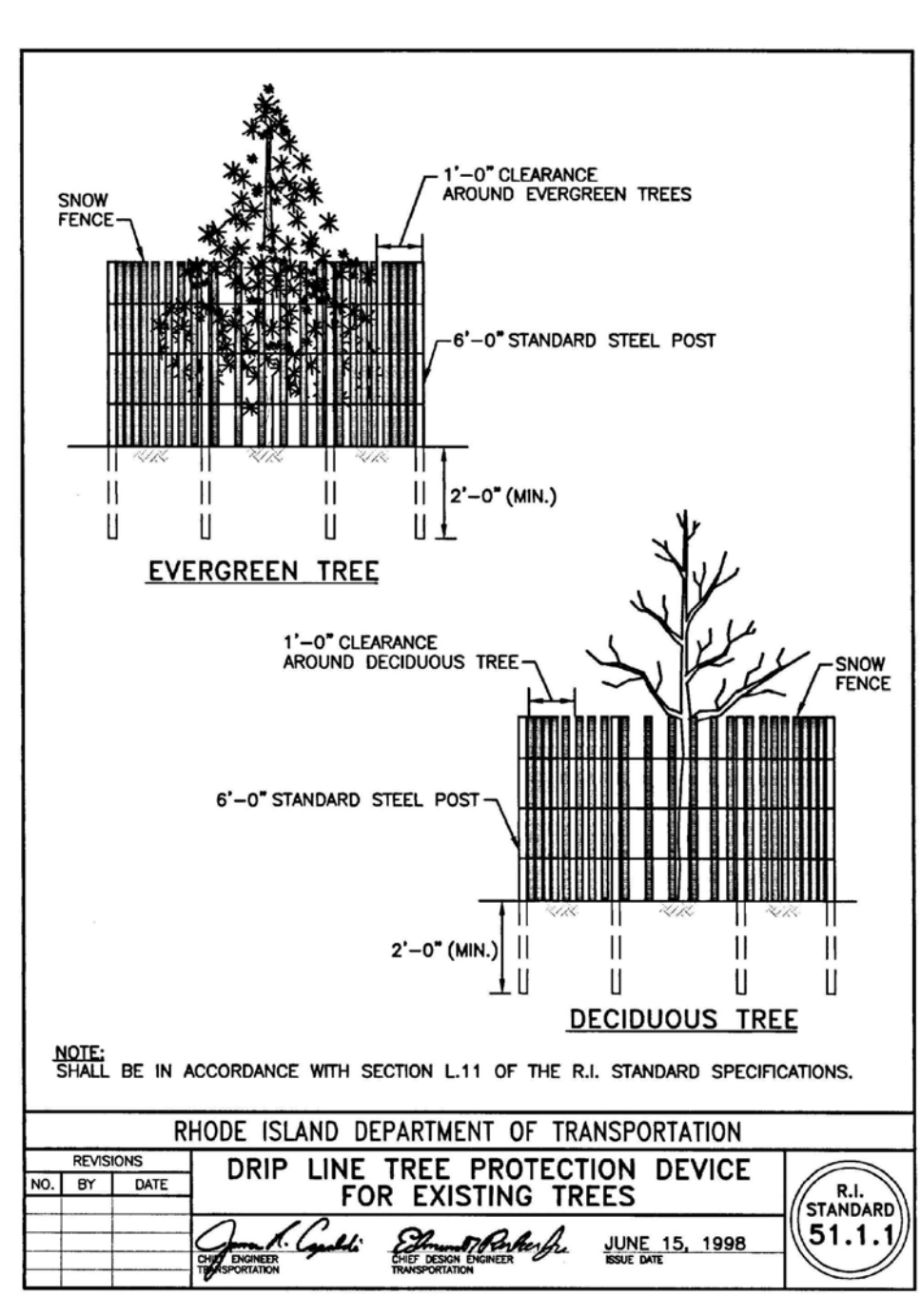
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1	MPJ	06/07/10	ISSUE FOR PERMIT
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TRANSVERSE PAVEMENT CUT AND MATCH

R.I. STANDARD 47.1.1



NOTE:
 SHALL BE IN ACCORDANCE WITH SECTION L11 OF THE R.I. STANDARD SPECIFICATIONS.

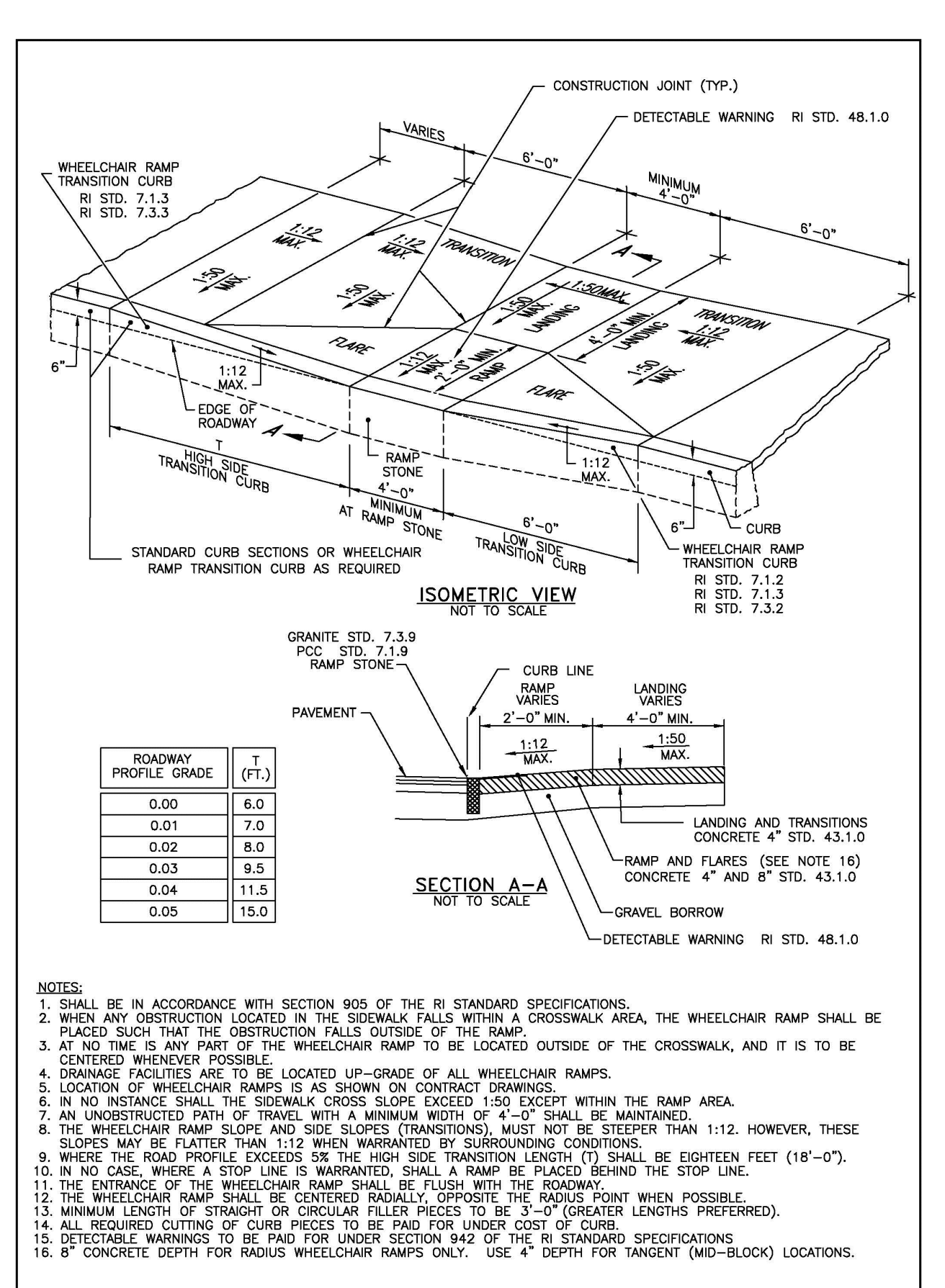
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DRIP LINE TREE PROTECTION DEVICE FOR EXISTING TREES

R.I. STANDARD 51.1.1



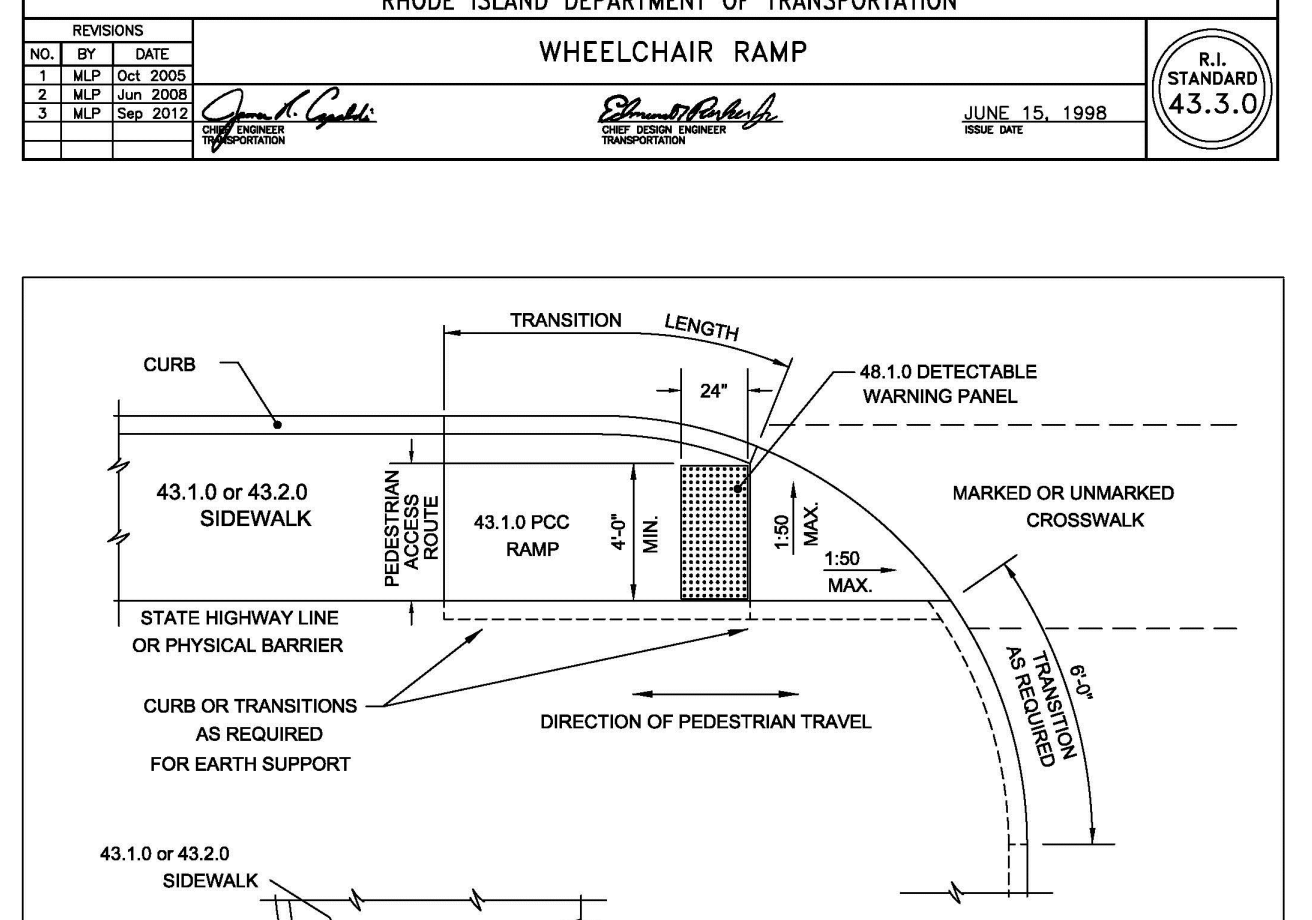
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS

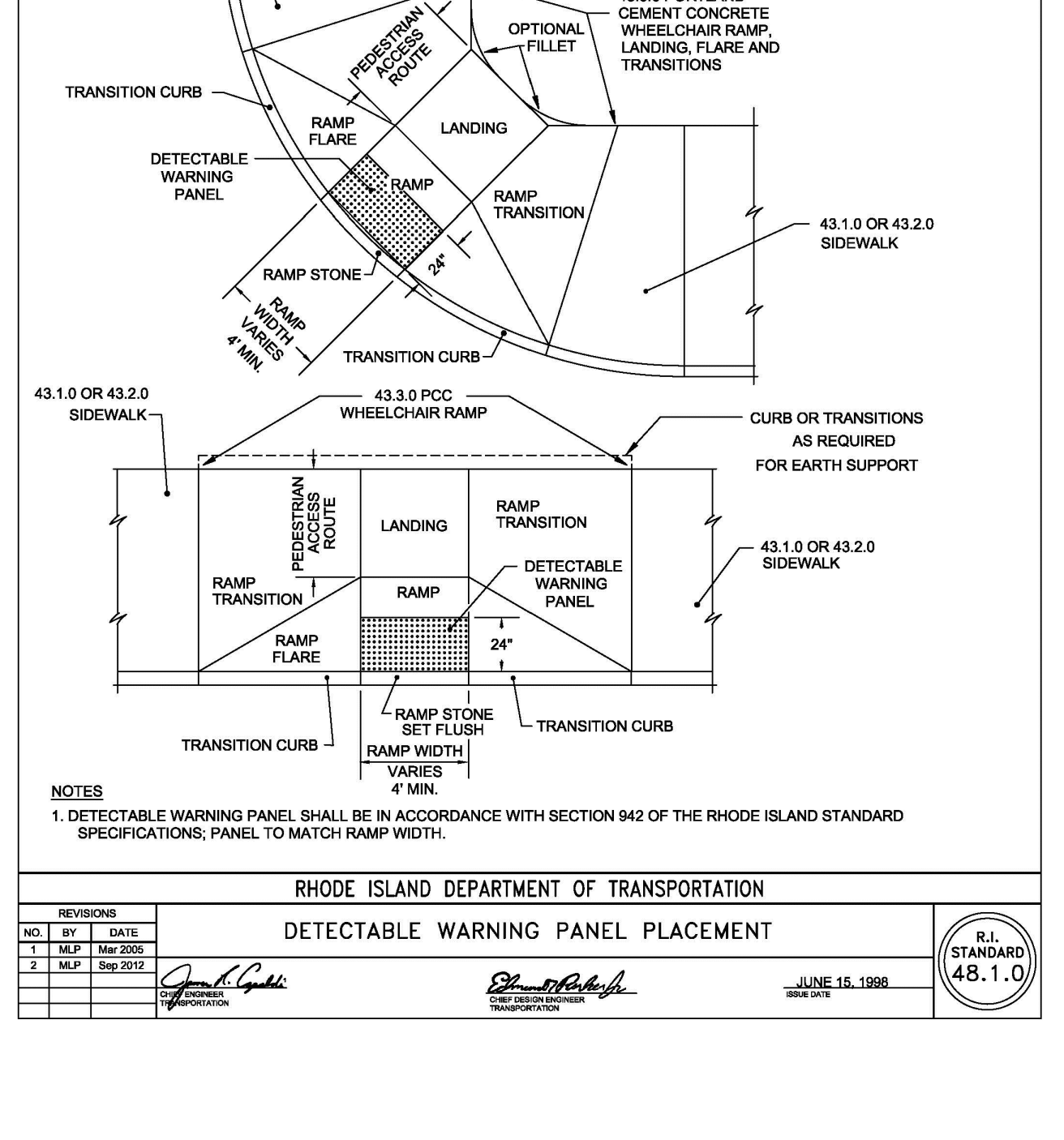
NO.	BY	DATE	DESCRIPTION
1	MPJ	06/07/10	ISSUE FOR PERMIT
2	MPJ	06/07/10	ISSUE FOR PERMIT
3	MPJ	06/07/10	ISSUE FOR PERMIT
4	MPJ	06/07/10	ISSUE FOR PERMIT
5	MPJ	06/07/10	ISSUE FOR PERMIT

WHEELCHAIR RAMP

R.I. STANDARD 43.3.0



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP SHALL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 7. AN UNRESTRICTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
 8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS) MUST NOT BE STEEPER THAN 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 9. WHERE THE ROAD PROFILE EXCEEDS THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE SIDEWALK.
 12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
 13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 15. DETECTABLE WARNING TO BE PAID FOR UNDER SECTION 942 OF THE R.I. STANDARD SPECIFICATIONS.
 16. 6" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

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DETECTABLE WARNING PANEL PLACEMENT

R.I. STANDARD 48.1.0

CONSTRUCTION DETAILS - 2

FOR

COVENTRY CROSSINGS

(A.P.10, LOT 29 & A.P.18 LOT 86)

SITUATED AT

HARKNEY HILL ROAD

COVENTRY, RI

PREPARED FOR

KREG NEW HOMES, LLC

39 NOOSENECK HILL ROAD

WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

NO.	BY	DATE	DESCRIPTION
1	MPJ	06/07/10	ISSUE FOR PERMIT
2	MPJ	06/07/10	ISSUE FOR PERMIT

PROJECT ENGINEER

SAMUEL HEMENWAY

GAROFALO

GAROFALO & ASSOCIATES, INC.

CIVIL & STRUCTURAL ENGINEERS/SURVEYORS

LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET

P.O. BOX 6145

PROVIDENCE, RI 02940

TEL. 401-273-6000

JOB NO. 7398-00

DWG. NO. 7398-00-PERMIT-DETAILS

SCALE: AS SHOWN

DRAWN BY K.J.A.

CHECK BY S.S.H.

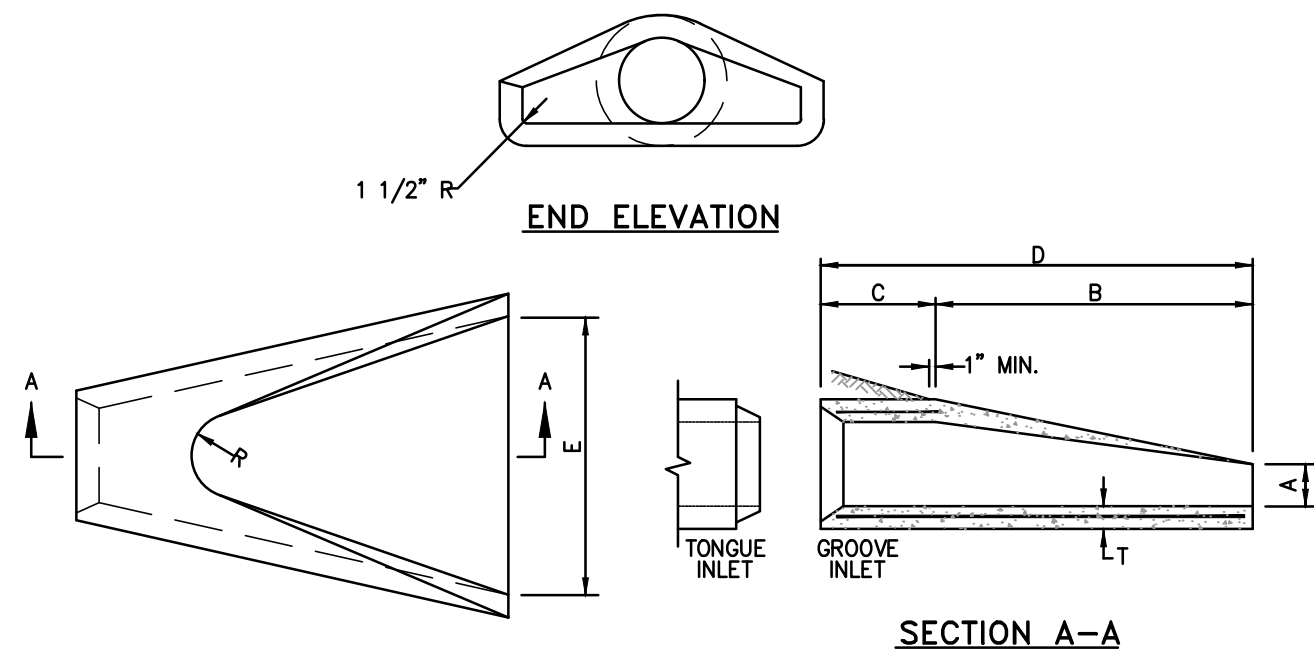
APPROVED S.B.G.

DATE: DECEMBER, 2023

SHEET

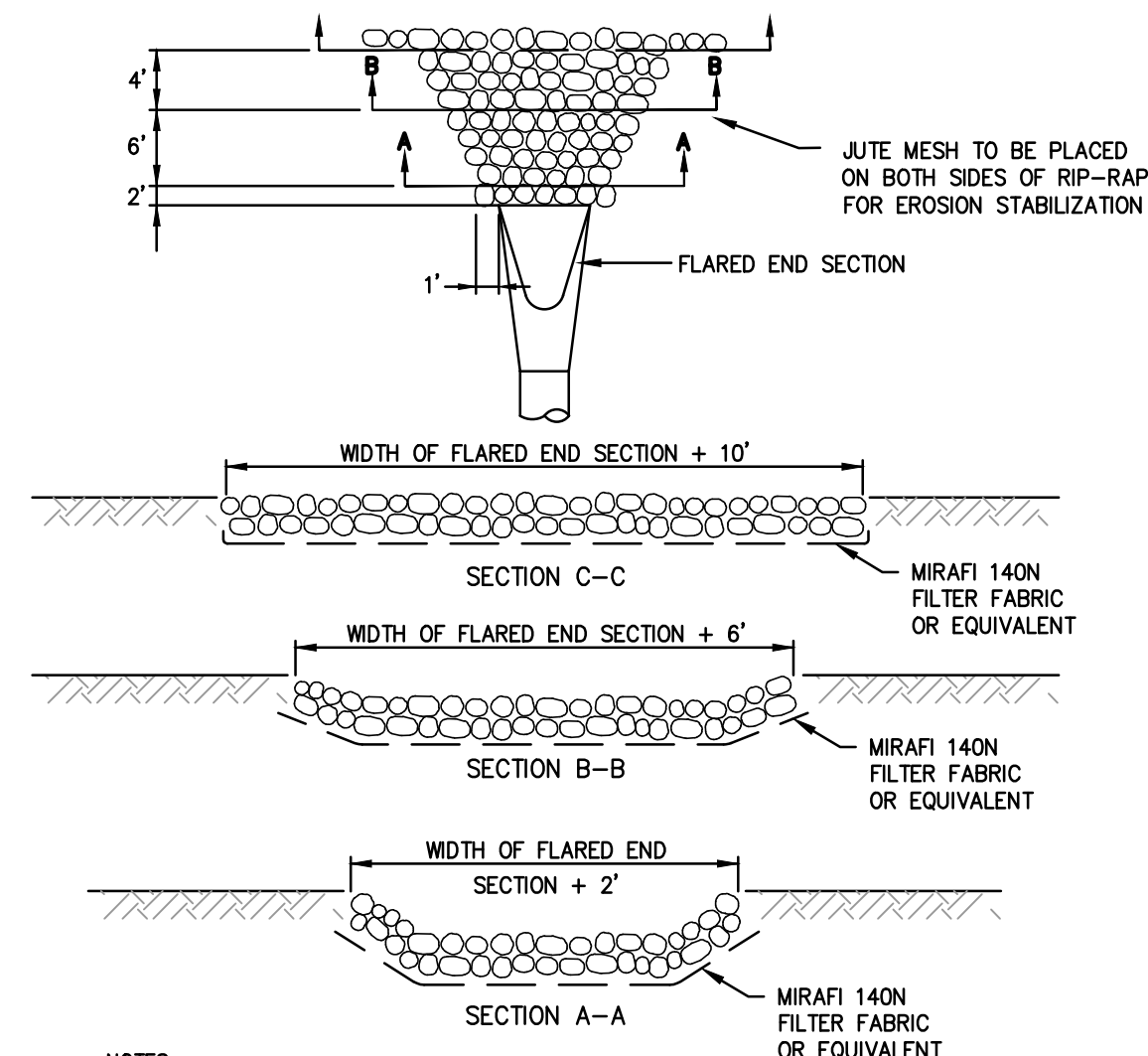
C-7.1

90 OF 33 SHEETS



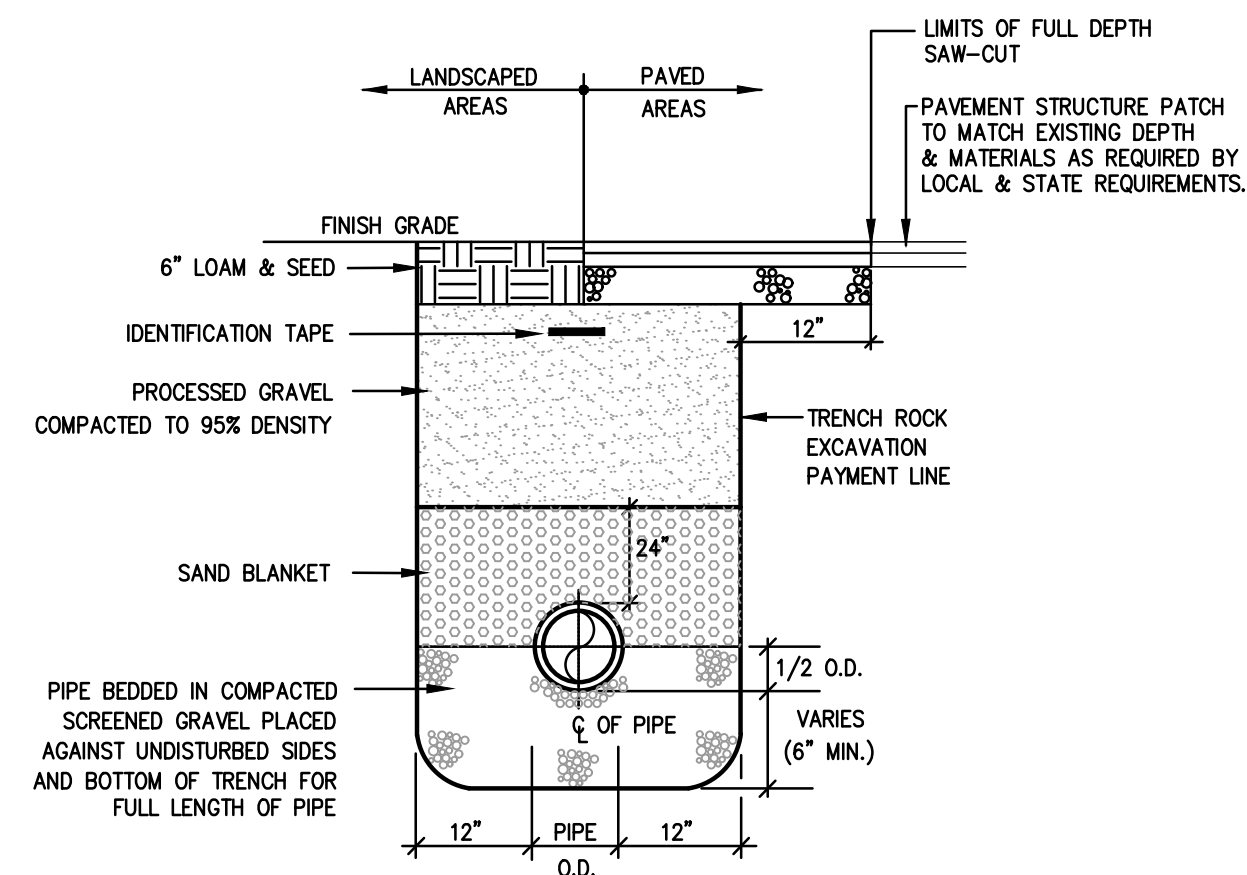
DIMENSIONS								REINFORCEMENT
DIA.	A	B	C	D	E	R	T	ONE LAYER REINFORCEMENT IN CENTER OF EACH WAY (SQ. IN./FT.)
1'-0"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	2"	0.048
1'-3"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	2 1/4"	0.054
1'-6"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	2 1/2"	0.060
2'-0"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	1'-2"	3"	0.072
2'-6"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	1'-3"	3 1/2"	0.084
3'-0"	1'-3"	5'-3"	2'-10 3/4"	6'-1 3/4"	6'-0"	1'-8"	4"	0.096
3'-6"	1'-9"	5'-3"	2'-11"	8'-2"	6'-0"	1'-10"	4 1/2"	0.108
4'-0"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	1'-10"	5"	0.120
4'-6"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	2'-0"	5 1/2"	0.132
5'-0"	2'-6"	5'-0"	3'-3"	8'-3"	8'-0"	2'-0"	6"	0.144

NOTE: SHALL BE IN ACCORDANCE WITH SECTION 701 OF THE R.I. STANDARD SPECIFICATIONS.
PRECAST CONCRETE FLARED END SECTION
 NOT TO SCALE (RIDOT STD. 2.3.0)



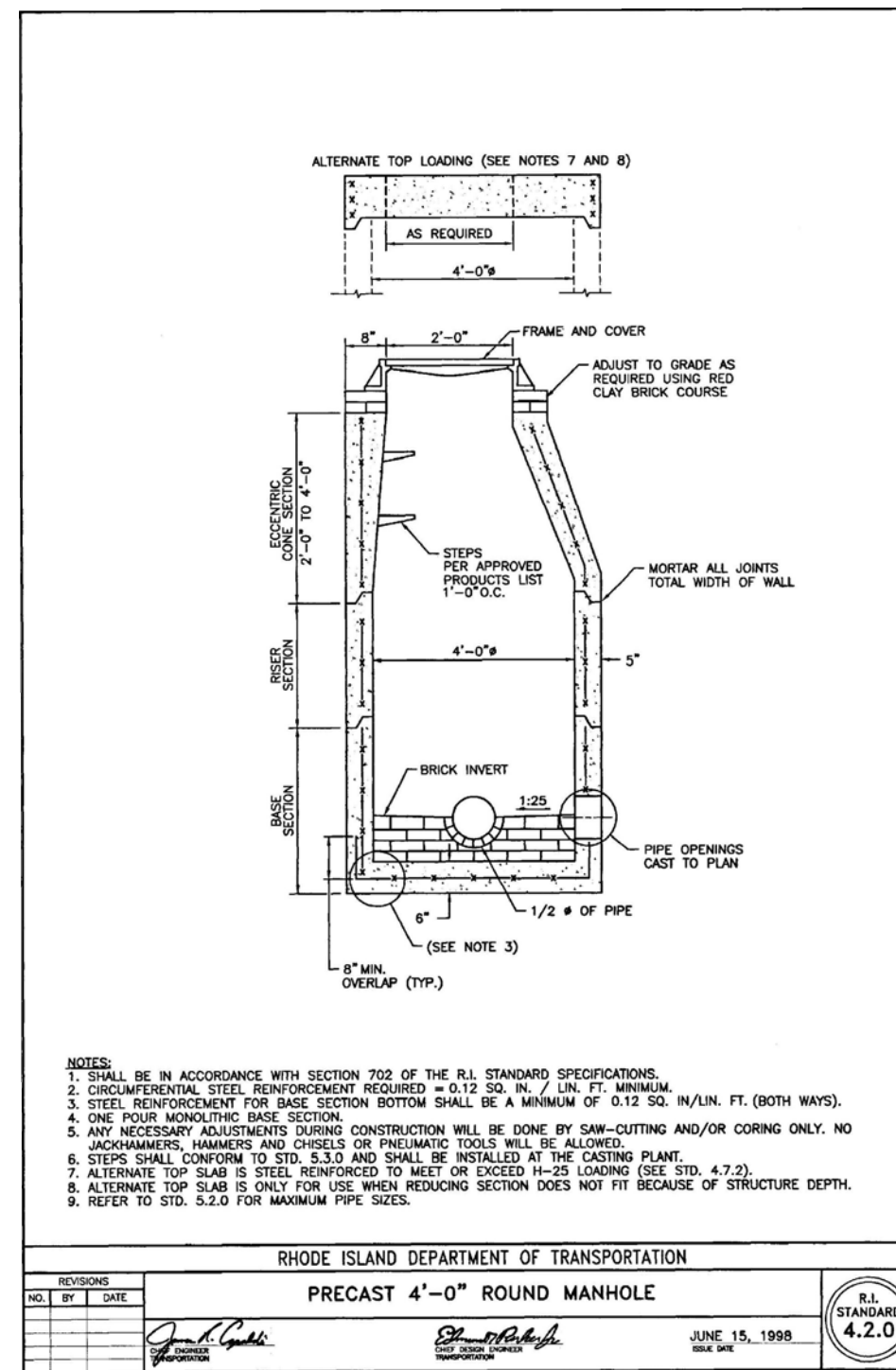
- NOTES:
- UNLESS OTHERWISE SPECIFIED, CLASS "C" RIP-RAP IS TO BE USED FOR ALL FLARED ENDS.
 - DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
 - UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.
 - USE ONLY SECTION A-A FOR ROOF DRAINS.

RIP RAP AT FLARED END SECTION
 NOT TO SCALE

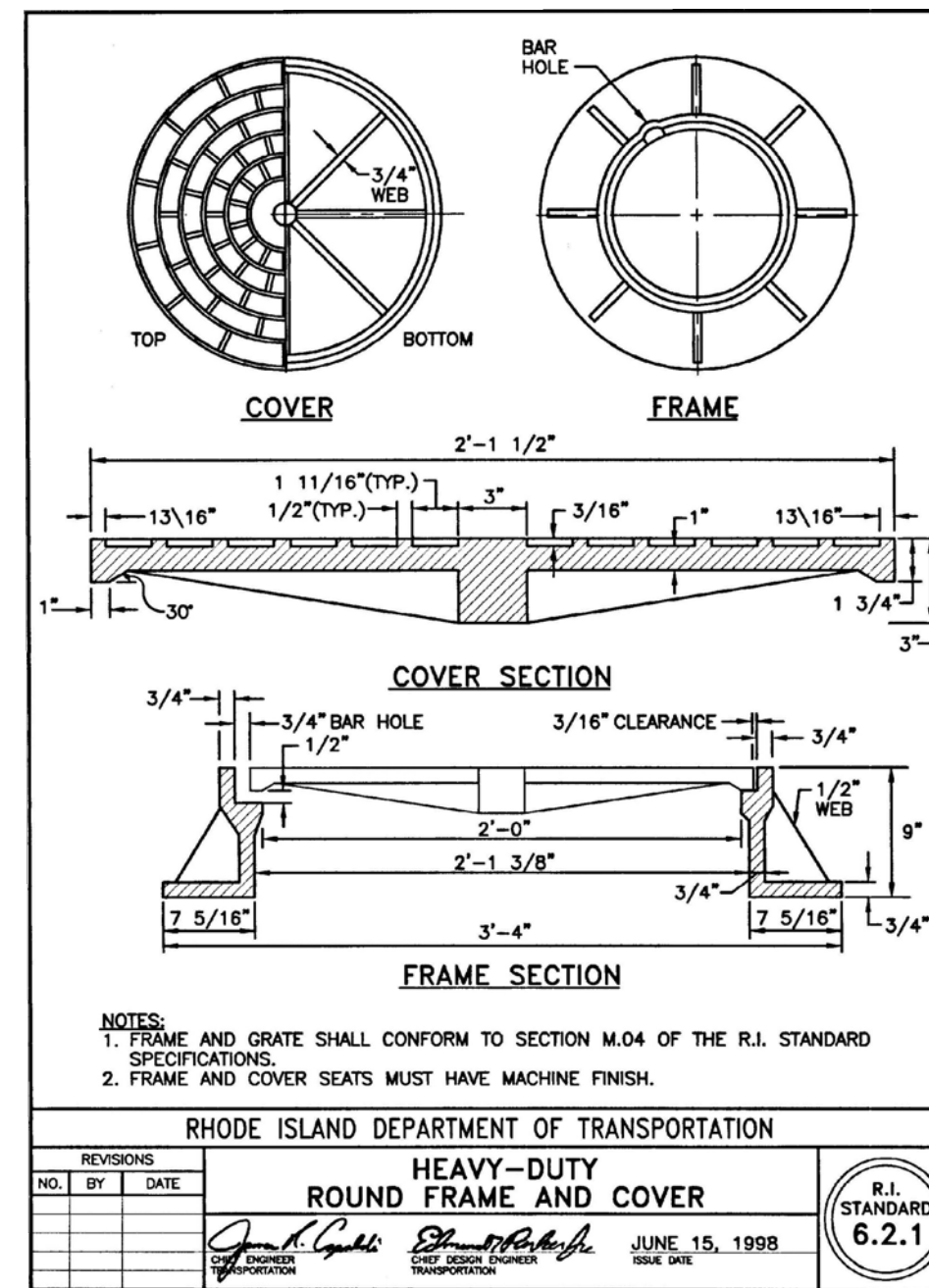


- NOTES:
- METALLIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER SEWER LINES 12" BELOW FINISH GRADE.
 - MINIMUM DEPTH OF COVER SHALL BE 5'-0"

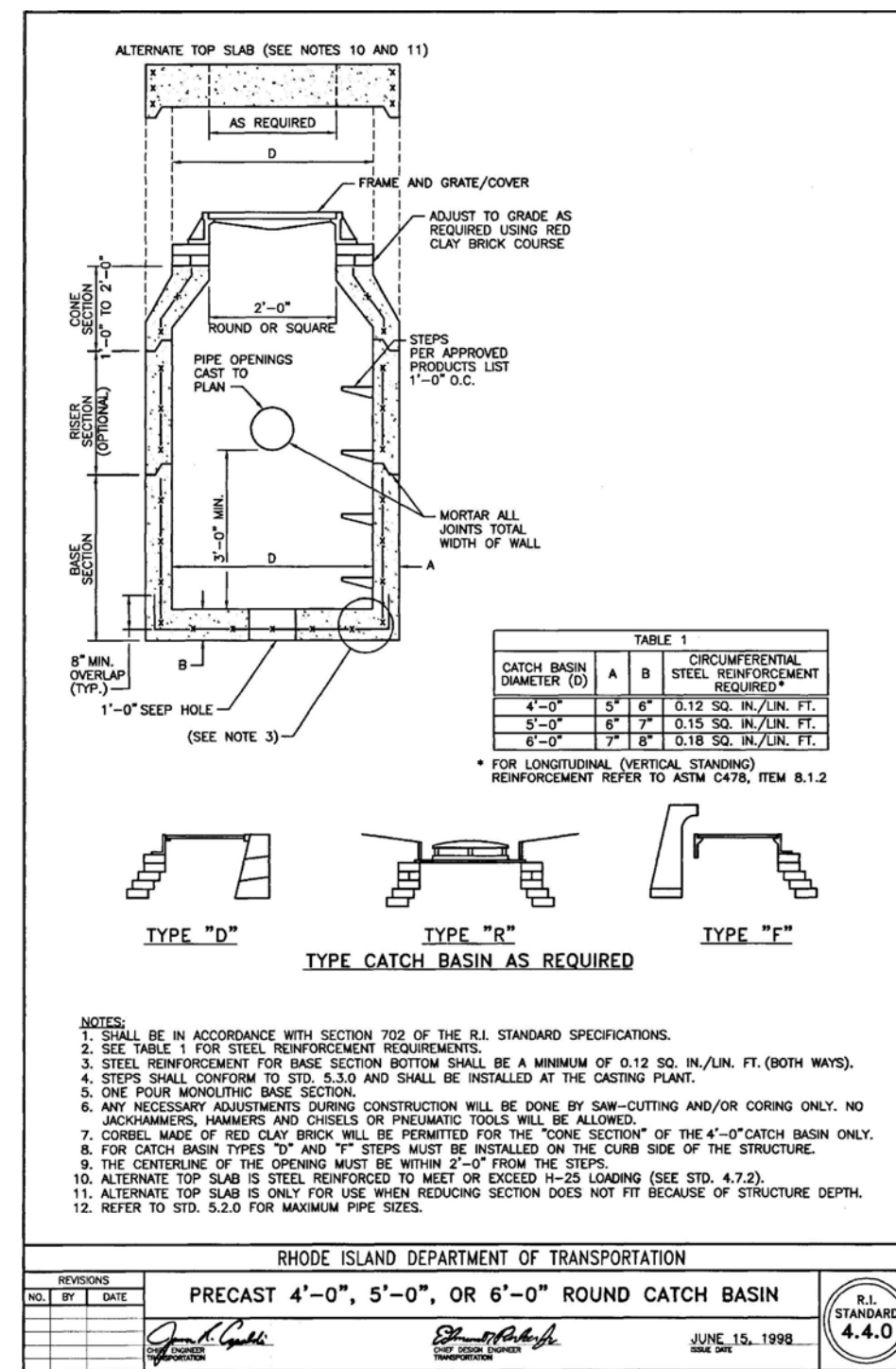
TRENCH SECTION (SEWER)
 NOT TO SCALE



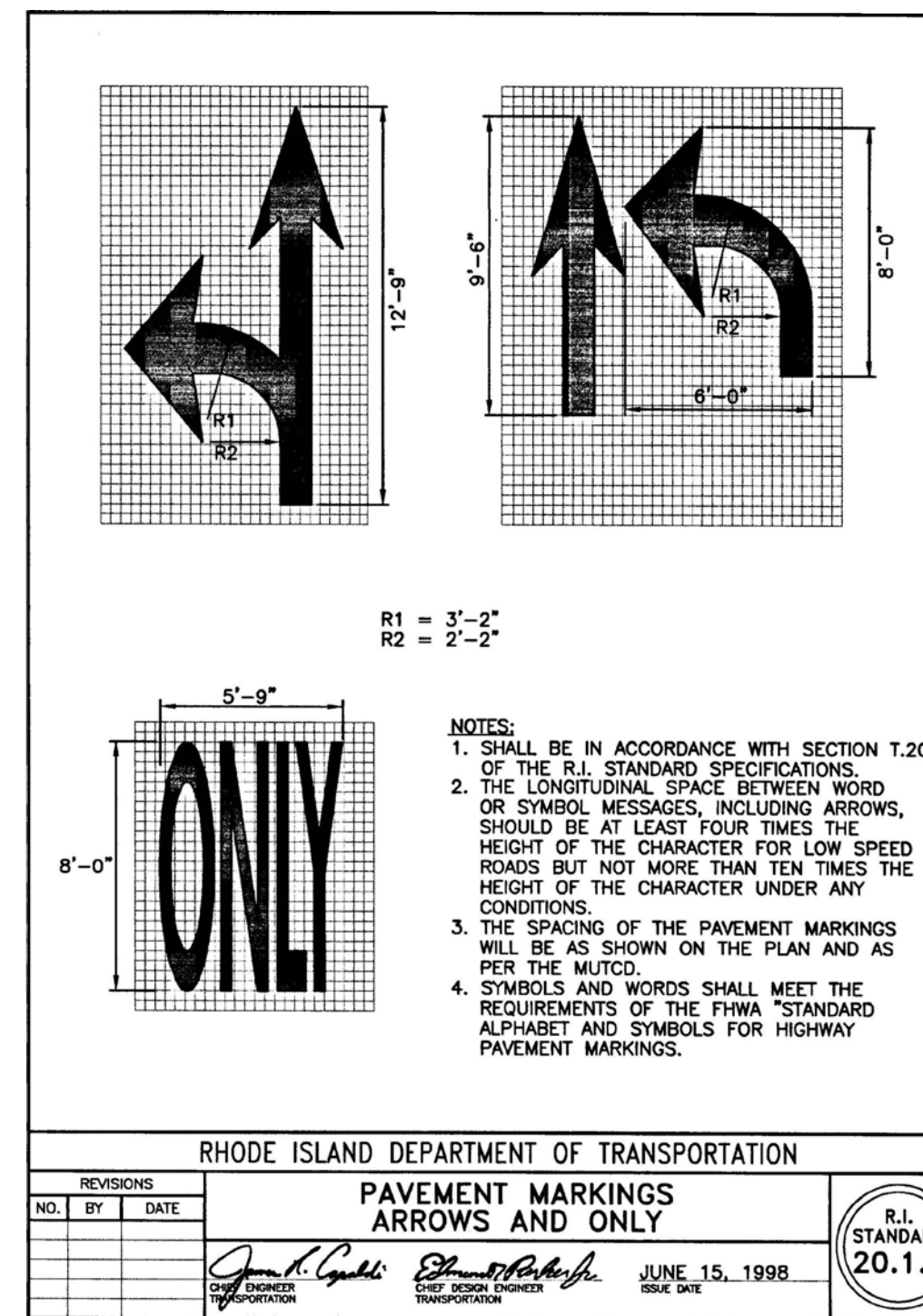
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST 4'-0" ROUND MANHOLE
 R.I. STANDARD 4.2.0
 DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
HEAVY-DUTY ROUND FRAME AND COVER
 R.I. STANDARD 6.2.1
 DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
SQUARE FRAME AND GRATE (BICYCLE SAFE)
 R.I. STANDARD 6.3.2
 DATE: JUNE 15, 1998



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PAVEMENT MARKINGS ARROWS AND ONLY
 R.I. STANDARD 20.1.0
 DATE: JUNE 15, 1998

CONSTRUCTION DETAILS - 3

FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

Garofalo & Associates, Inc.
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JOB NO. 7398-00	DRAWN BY K.J.A.
DWG. NO. 7398-00_PERMIT-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: DECEMBER, 2023	

SHEET
C-7.2
 30 OF 33 SHEETS

WATER ENCLOSURE NOTES:

- 1. ALL WATER EQUIPMENT TO BE INSTALLED WITH 12" MINIMUM CLEARANCE ON ALL SIDES.
- 2. ELECTRICAL SERVICE TO BE DESIGNED BY OTHERS.
- 3. CONTRACTOR SHALL INSTALL ALL FITTINGS, METERS, BACKFLOW PREVENTORS, PIPES AND APPURTENANCES IN ACCORDANCE WITH THE KENT COUNTY WATER AUTHORITY REQUIREMENTS. THE THE KENT COUNTY WATER AUTHORITY SHALL BE NOTIFIED PRIOR TO ORDERING FOR CONFIRMATION SUITABILITY OF ALL EQUIPMENT MANUFACTURERS/MODELS UTILIZED.
- 4. ENCLOSURE STRUCTURE SHALL BE HEATED AND CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE OF 40 DEGREES AT ALL TIMES. STRUCTURE SHALL BE PREFABRICATED INSULATED ALUMINUM STRUCTURE AS MANUFACTURED BY "HOT-BOX", OR APPROVED EQUAL, INSTALLED ON A CONCRETE PAD IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALTERNATE STRUCTURE MAY BE SUBSTITUTED BY OWNER WITH APPROVAL OF THE KENT COUNTY WATER AUTHORITY.
- 5. FACILITY SHALL BE PADLOCKED AND TWO (2) KEY COPIES SHALL BE PROVIDED TO THE KENT COUNTY WATER AUTHORITY.
- 6. STEEL PIPE SUPPORTS SHALL BE PROVIDED AS WARRANTED BY FINAL PIPING ARRANGEMENT. SUPPORTS SHALL BE 1" O.D. STEEL PIPE WITH A SADDLE TO SUPPORT THE PIPE AND A FLOOR FLANGE FOR MOUNTING. PIPE SUPPORTS SHALL BE PAINTED WITH ONE PRIME COAT BENJAMIN MOORE IRON CLAD RETARDO RUST INHIBITIVE PAINT AND TWO FINISH COATS OF BENJAMIN MOORE IRON CLAD RETARDO RUST INHIBITIVE PAINT. COLOR SHALL BE BLACK OR AS DIRECTED BY THE KENT COUNTY WATER AUTHORITY.
- 7. CONTRACTOR SHALL SUBMIT COMPLETE SHOP AND FABRICATION DRAWINGS (INCLUDING EQUIPMENT AND ENCLOSURE) TO ENSURE ALL REQUIRED ACCESSORIES CAN FIT IN ENCLOSURE WITH ADEQUATE ROOM FOR ACCESS AND MAINTENANCE.

GENERAL WATER NOTES:

- 1. THE LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE ONLY AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- 2. CONTRACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO START CONSTRUCTION.
- 3. KENT COUNTY WATER AUTHORITY TO BE NOTIFIED FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
- 5. A 24 HOURS NOTICE IS REQUIRED FOR ALL AFFECTED CUSTOMERS DUE TO THE SHUT DOWN AND INSTALLATION OF THE VALVE AT THE END OF THE EXISTING WATER LINE WELL IN ADVANCE.
- 6. CONTRACTOR MUST REFER TO THE KCWA RULES AND REGULATIONS FOR SERVICE INSTALLATION AND EXTENSIONS FOR PROPER REVIEW AND INSTALLATION REQUIREMENTS.
- 7. SHOP DRAWINGS/ CUT SHEETS FOR WATER WORKS MATERIAL TO BE UTILIZED SHALL BE SUBMITTED TO THE KENT COUNTY WATER AUTHORITY 72 HOURS IN ADVANCE OF CONSTRUCTION (EXCLUDING WEEKENDS & HOLIDAYS)

WATER LINE CONSTRUCTION NOTES:

- 1. INSTALLATION OF ALL WATER LINES SHALL BE IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION'S INSTALLATION MANUAL AND ANSI/AWWA C600.
- 2. TRENCH SHALL BE IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION TYPE 5 TRENCH.
- 3. PIPING SHALL BE LAID STRAIGHT TRUE TO LINE AND IN ALL CASES HIGH POINT SHALL BE EQUIPPED WITH AUTOMATIC AIR RELEASE VALVE IN A PRE-CAST CONCRETE CHAMBER WITH CAST IRON MANHOLE FRAME AND COVER DIAMOND CHECK PATTERN WITH "CAPS" CAST UPON IT. CHAMBER, FRAME & COVER SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOADING.
- 4. PIPE MAY BE DEFLECTED IN ORDER TO MAKE ADJUSTMENTS IN THE ALIGNMENT. ALL DEFLECTIONS SHALL BE A MAXIMUM OF 75% OF THE MANUFACTURERS SAFE ALLOWABLE DEFLECTION PER PIPE LENGTH.
- 5. METALIZED DETECTABLE IDENTIFICATION TAPE 2-1/2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATER LINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS SET TO A DEPTH OF FINISHED GRADE OF NO MORE THAN 1'-0".

WATER LINE PRESSURE TEST NOTES:

- 1. PRESSURE TEST SHALL BE DONE ON ALL COMPLETED WATER LINES PRIOR TO ACCEPTANCE. PRESSURE TEST SHALL BE DONE BY THE PROPOSER WITNESS BY THE KENT COUNTY WATER AUTHORITY.
- 2. TEST PRESSURES SHALL BE ONE AND ONE HALF TIMES THE MAXIMUM WORKING PRESSURE OF THE SYSTEM BUT NOT LESS THAN 150 PSI. TEST SHALL BE WITNESS BY AN EMPLOYEE OF THE KENT COUNTY WATER AUTHORITY.
- 3. PROPER THRUSTING OF ALL PIPE FITTINGS, CAPS, HYDRANTS AND APPURTENANCES SHALL BE DONE TO RESIST THE IMPOSED TEST PRESSURE.

NOTIFICATION:

- 1. KENT COUNTY WATER AUTHORITY SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO CONSTRUCTION COMMENCEMENT OF ANY ITEM BEING INSTALLED WITHIN THEIR SYSTEM.
- 2. PRIOR TO PRESSURE TESTING AND/OR CHLORINATION KENT COUNTY WATER AUTHORITY SHALL BE NOTIFIED TWO DAYS PRIOR TO THE DATE OF THE TEST.
- 3. IF KENT COUNTY WATER AUTHORITY IS UNAVAILABLE TO WITNESS THE TEST DUE TO TIME CONSTRAINTS ON OTHER PROJECTS, THE PROPOSER SHALL DELAY TEST PROCEDURES UNTIL SUCH TIME THAT THE KENT COUNTY WATER AUTHORITY EMPLOYEES ARE AVAILABLE.

INSPECTION:

- 1. KENT COUNTY WATER AUTHORITY EMPLOYEES SHALL BE GIVEN FULL ACCESS TO THE PROJECT AT ALL TIMES FOR INSPECTION ON AN AS NEED BASIS.
- 2. DESIGN DRAWINGS AND RECORD DRAWINGS OF THE PROGRESS OF THE WORK SHALL BE MAINTAINED AT THE JOB SITE AND SHALL BE AVAILABLE FOR THE INSPECTOR OF THE KENT COUNTY WATER AUTHORITY TO VIEW AT ANY TIME.

CHLORINATION:

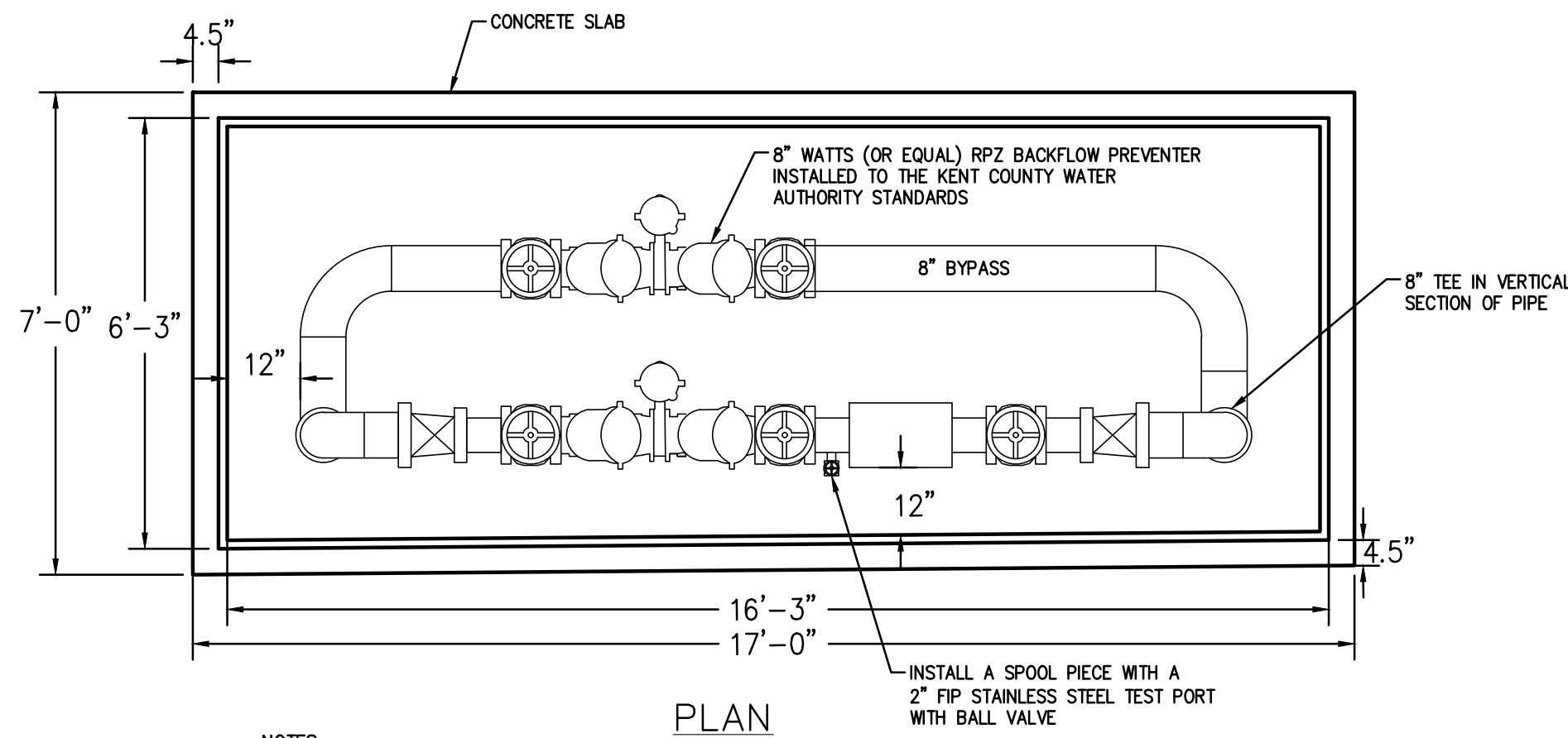
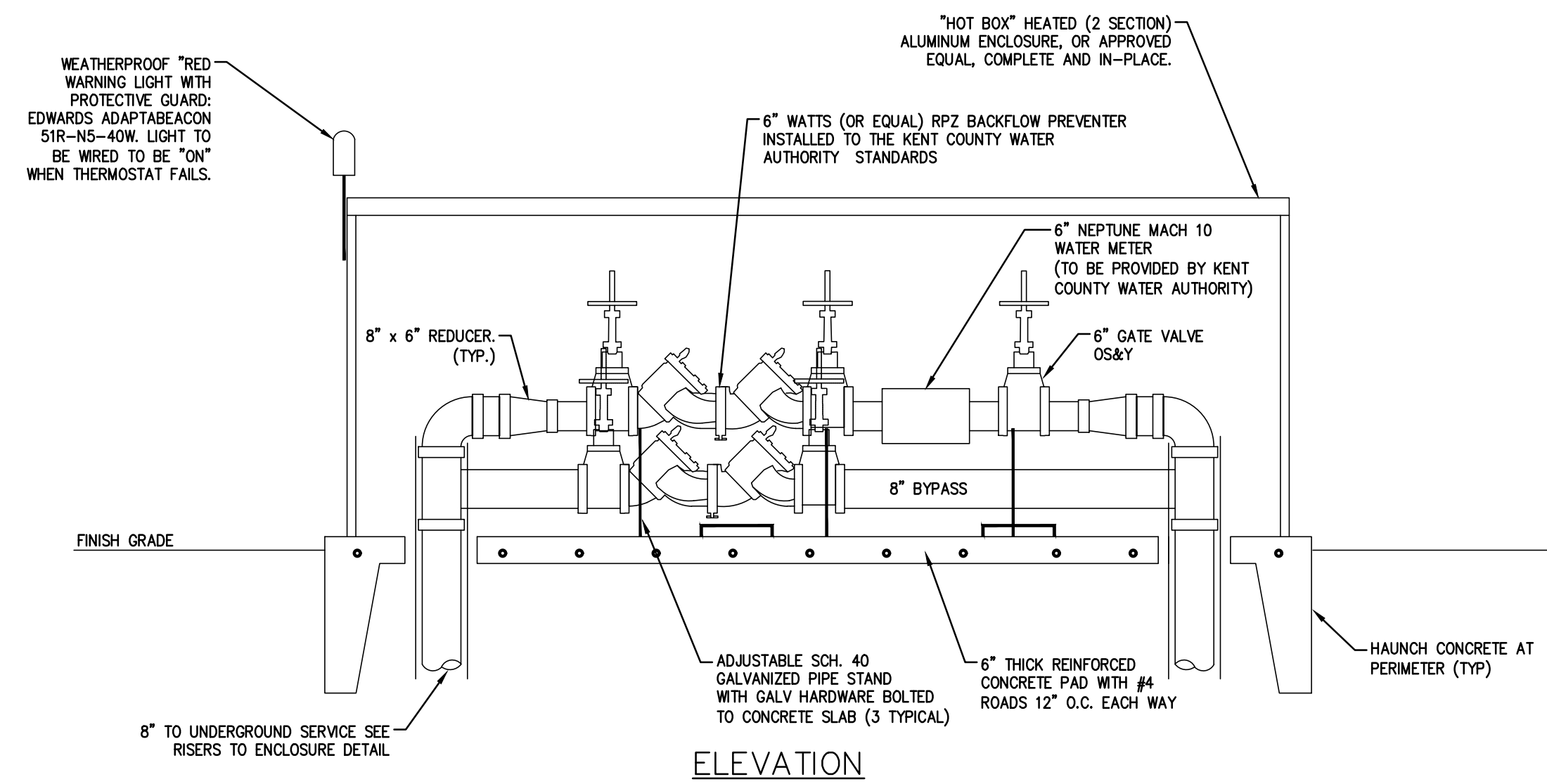
ALL NEW WATER MAINS SHALL BE FLUSHED, CLEANED AND CHLORINATED. CHLORINATION SHALL BE PERFORMED BY THE PROPOSER OR THE CONTRACTOR FOR THE PROPOSER IN ACCORDANCE WITH CHAPTER 5, DISTRIBUTION SYSTEM CHLORINATION, AMERICAN WATER WORKS ASSOCIATION MANUAL #20 EXCEPT TABLET CHLORINATION SHALL NOT BE ALLOWED. SAMPLES SHALL BE TAKEN BY KENT COUNTY WATER AUTHORITY EMPLOYEES AND TESTED BY KENT COUNTY WATER AUTHORITY LABORATORY. THE WATER SAMPLES SHALL BE CONSISTENT IN QUALITY WITH THE KENT COUNTY WATER AUTHORITY'S WATER IN ITS SYSTEM PRIOR TO CONNECTION. ALL WATER UTILIZED IN THE FLUSHING AND CHLORINATION MUST BE DONE THROUGH AN ISOLATED CONNECTION TO THE KENT COUNTY WATER SYSTEM THROUGH A BACKFLOW PREVENTOR. ALL WATER UTILIZED WILL BE PAID FOR IN ADVANCE FOR FLUSHING AND CHLORINATION OPERATION BY THE PROPOSER. METERING OF THIS WATER MAY BE REQUIRED. THE PROPOSER SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR THIS OPERATION AT NO COST TO THE KENT COUNTY WATER AUTHORITY.

- 1. ALL METERS SHALL BE COMPARABLE WITH "NEPTUNE" ARB SYSTEM MACH 10 METER EMPLOYED BY KENT COUNTY WATER AUTHORITY. THE PROPOSED METER SHALL UTILIZE THE NEPTUNE E-CODER R900 RADIO FREQUENCY SYSTEM.
- 2. ALL METERS TO READ IN CUBIC FEET.

- 3. INFLUENT AND EFFLUENT VALVES SHALL BE PROVIDED INSIDE THE "HOT BOX" ENCLOSURE BEFORE AND AFTER THE METER COUPLINGS. BALL VALVES ON EITHER SIDE OR BALL VALVE, CHECK VALVE COMBINATION WILL BE ACCEPTABLE.
- 4. ARB READING BOX SHALL BE MOUNTED ON A PRESSURE TREATED 4" X 4" POST OR DIRECTLY TO THE "HOT BOX" ENCLOSURE. THE PROPOSED METER SHALL UTILIZE THE NEPTUNE E-CODER R900 RADIO FREQUENCY SYSTEM.

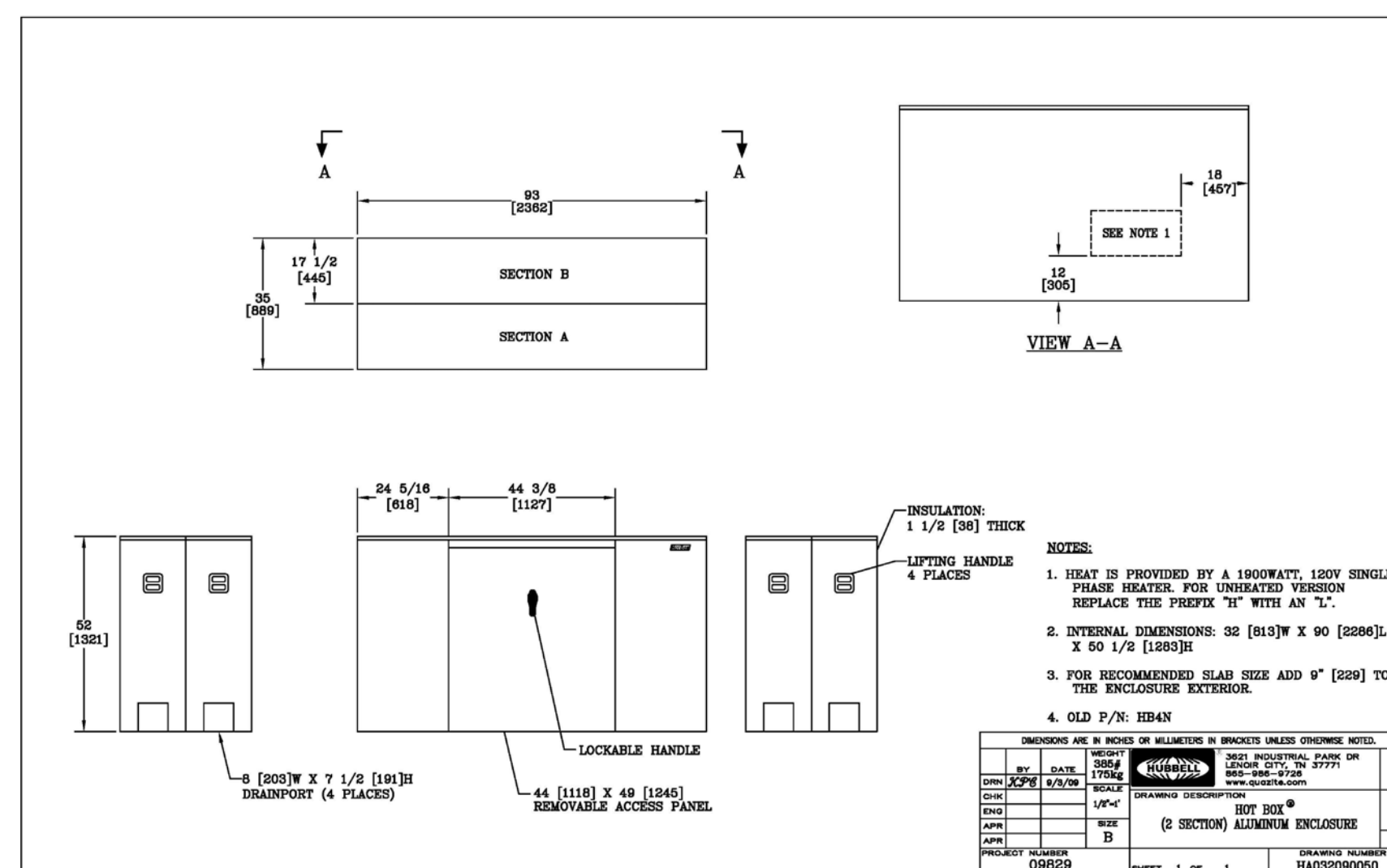
BACKFLOW PREVENTION:

- 1. BACKFLOW PREVENTERS MUST BE INSTALLED AND OPERATIONAL PRIOR TO CONNECTION TO KENT COUNTY WATER AUTHORITY SYSTEM. VALVES SHALL BE LOCATED ON BOTH SIDES OF THE BACKFLOW PREVENTER WITH OR TEST PLUGS ON THE INFLUENT SIDE VALVE.
- 2. RESIDENTIAL UNITS MUST BE EQUIPPED WITH NON-REMOVABLE VACUUM BREAKERS ON ALL OUTSIDE HOSE BIBBS PRIOR TO SERVICE CONNECTION AND METER INSTALLATION. STYLE SHALL BE NON-REMOVABLE SELF DRAINING TYPE WATTS NO. 80 OR EQUAL.
- 3. ALL RESIDENTIAL LAWN SPRINKLER SYSTEM MUST BE PROVIDED WITH A POSITIVE VACUUM BREAKER ASSEMBLY WHERE THE SYSTEM CONNECTS TO WATER SUPPLY. IT SHALL BE IN LOCATION THAT IS ALWAYS FREE DRAINING AND WILL NOT BE SUBMERGED.



- NOTES:
- 1. CONTRACTOR SHALL INSTALL ALL FITTINGS, METERS, BACKFLOW PREVENTORS, PIPES AND APPURTENANCES IN ACCORDANCE WITH THE KENT COUNTY WATER AUTHORITY REQUIREMENTS. THE THE KENT COUNTY WATER AUTHORITY SHALL BE NOTIFIED PRIOR TO ORDERING FOR CONFIRMATION SUITABILITY OF ALL EQUIPMENT MANUFACTURERS/MODELS UTILIZED.
 - 2. CONTRACTOR SHALL INSTALL A STRAINER PRIOR TO THE BACKFLOW PREVENTERS IF RECOMMENDED BY SELECTED MANUFACTURER.
 - 3. SEE SHEET C-1 FOR ADDITIONAL WATER ENCLOSURE NOTES.

WATER SERVICE ENCLOSURE
NOT TO SCALE



- NOTES:
- 1. HEAT IS PROVIDED BY A LOCKWATE, EASY BUNDLE PLEASE HEATER, FOR UNDATED VERSION REPLACE THIS PREFIX "E" WITH AN "L".
 - 2. INTERNAL DIMENSIONS: 52 [1819] X 90 [2898], X 50 1/2 [1588].
 - 3. FOR RECOMMENDED SLAB SIZE ADD 6\"/>
 - 4. GLED 9/76: 1828X
- | | | | |
|-------------|----------|-------------|----------|
| DATE | 12/20/24 | SCALE | AS SHOWN |
| DRAWN BY | SM | CHECKED BY | SM |
| DESIGNED BY | SM | APPROVED BY | SM |

L:\7398-00_Harkney Hill (RREG) - Coventry, RI\dwg\01-Current\7398-00_Permi-Details.dwg, 08/28/2024, kjyngang, 10:04

CONSTRUCTION DETAILS - 4
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

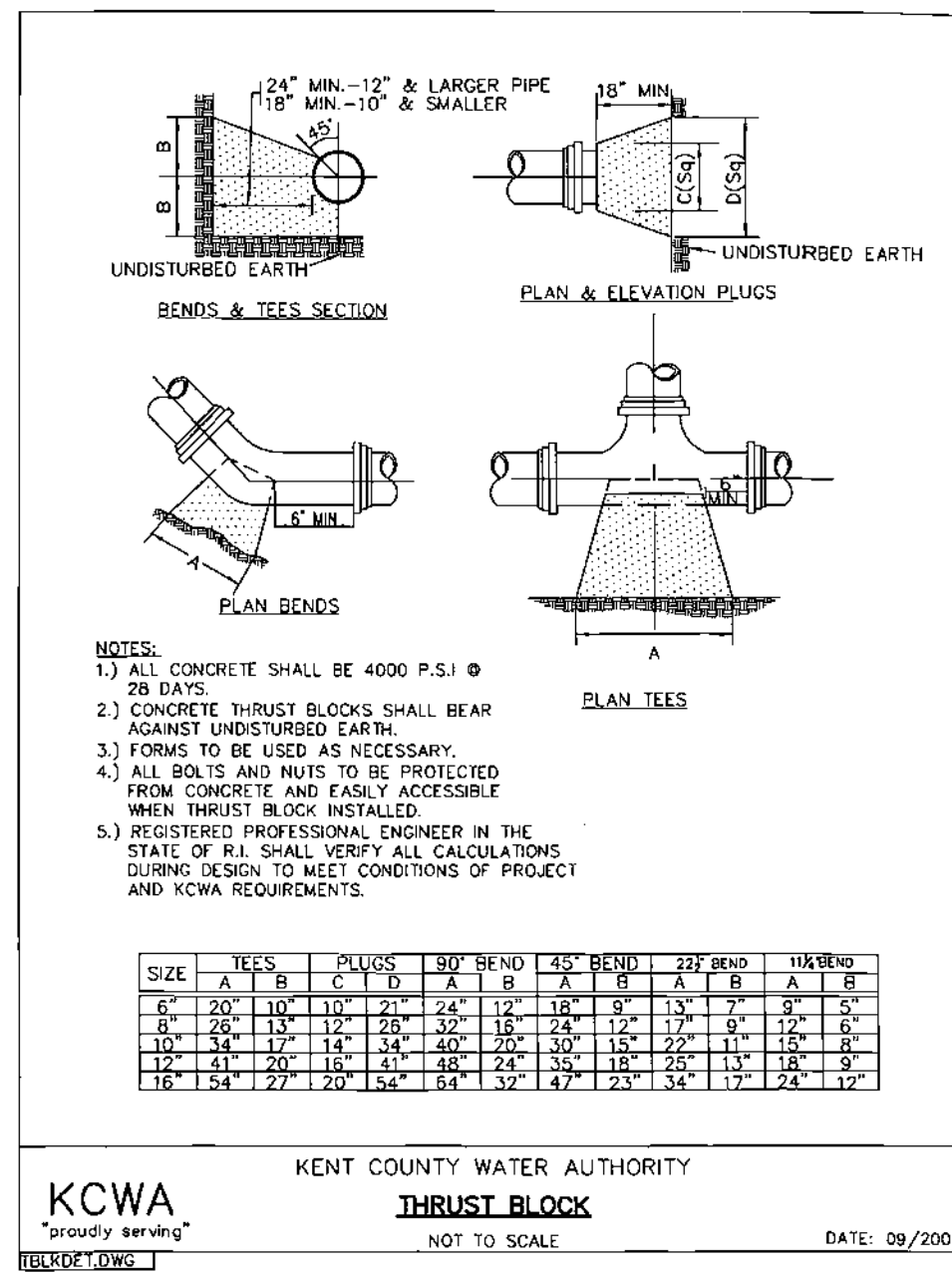
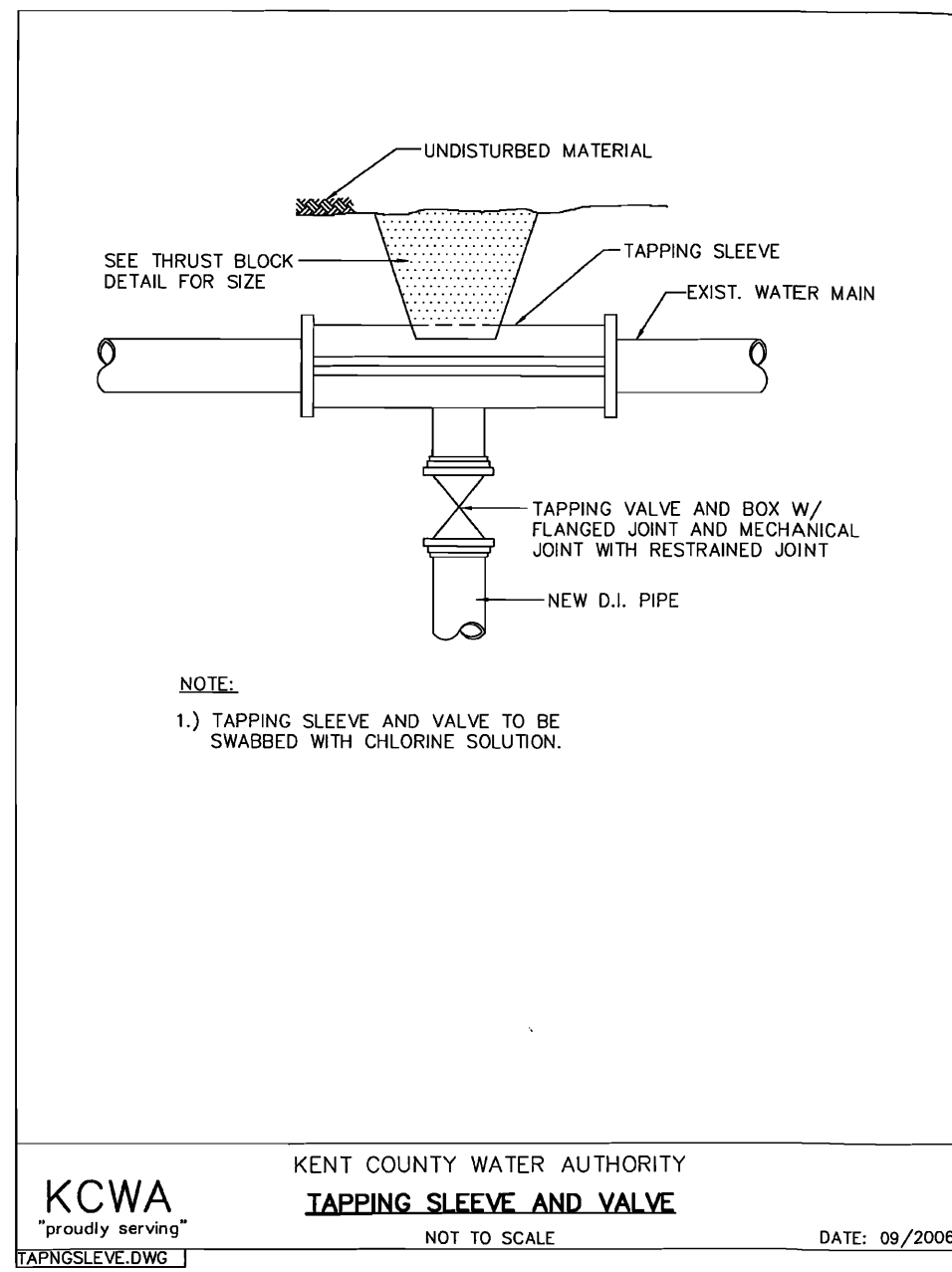
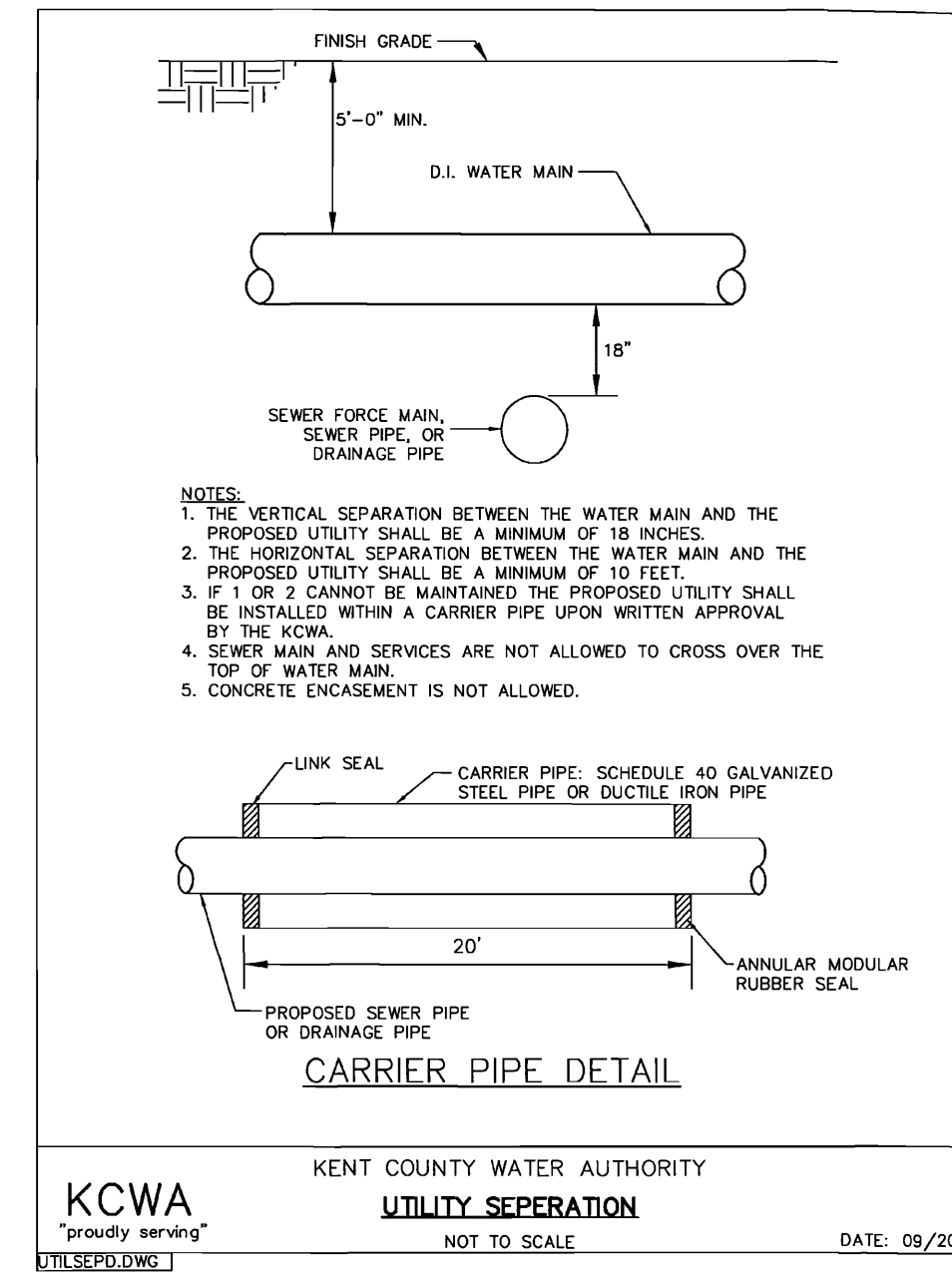
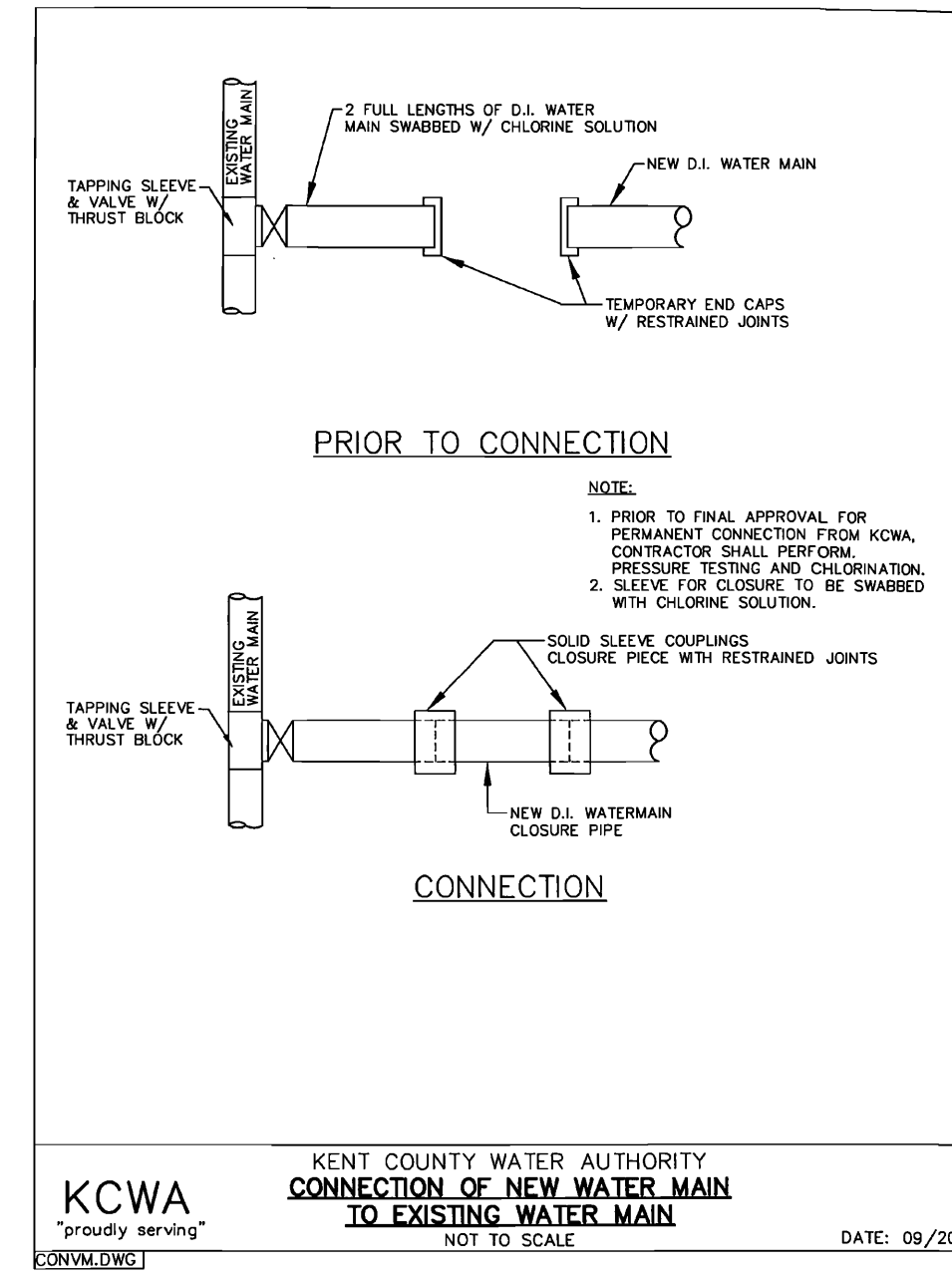
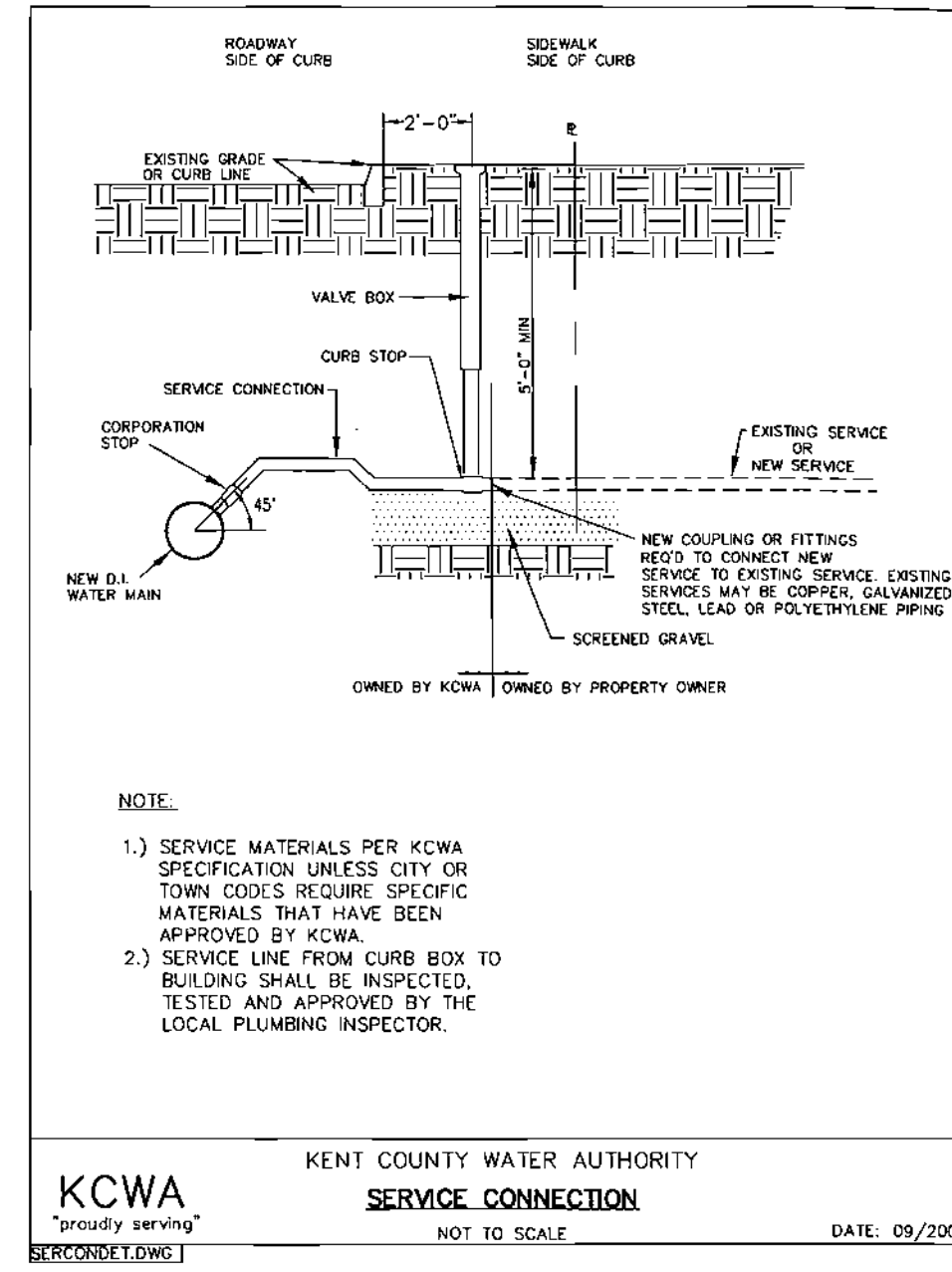
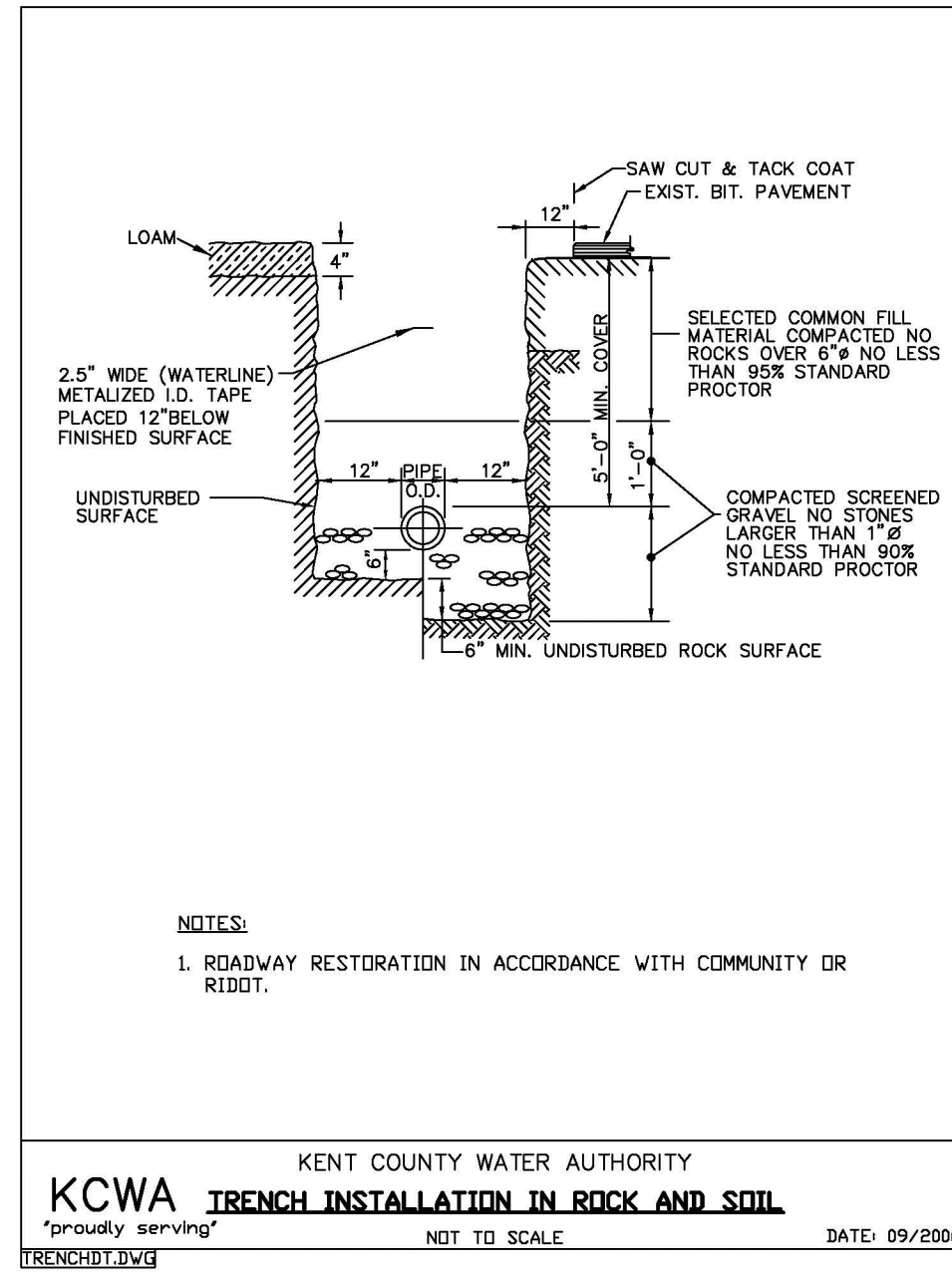
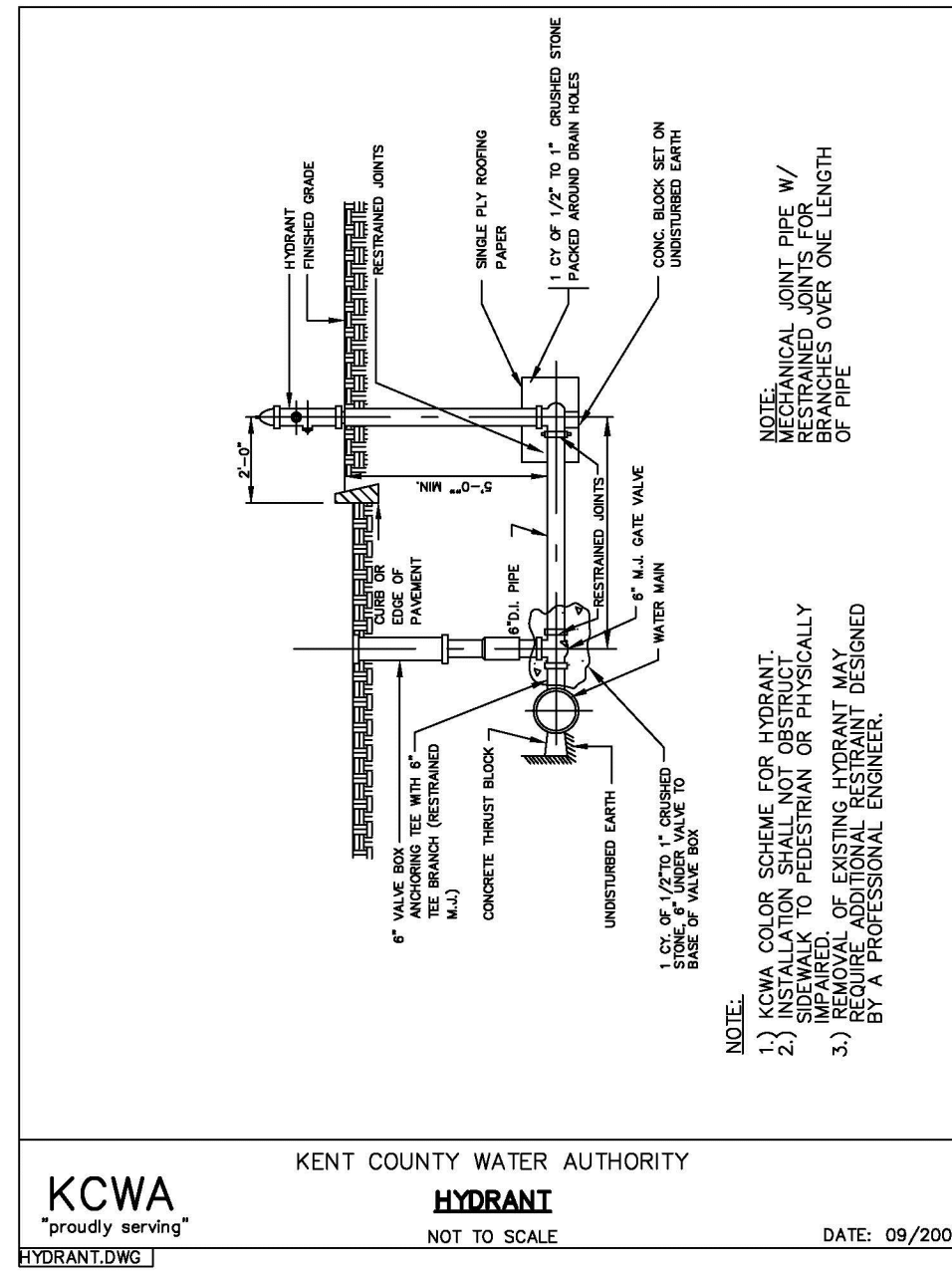
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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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PROVIDENCE, RI 02940
TEL. 401-273-6000

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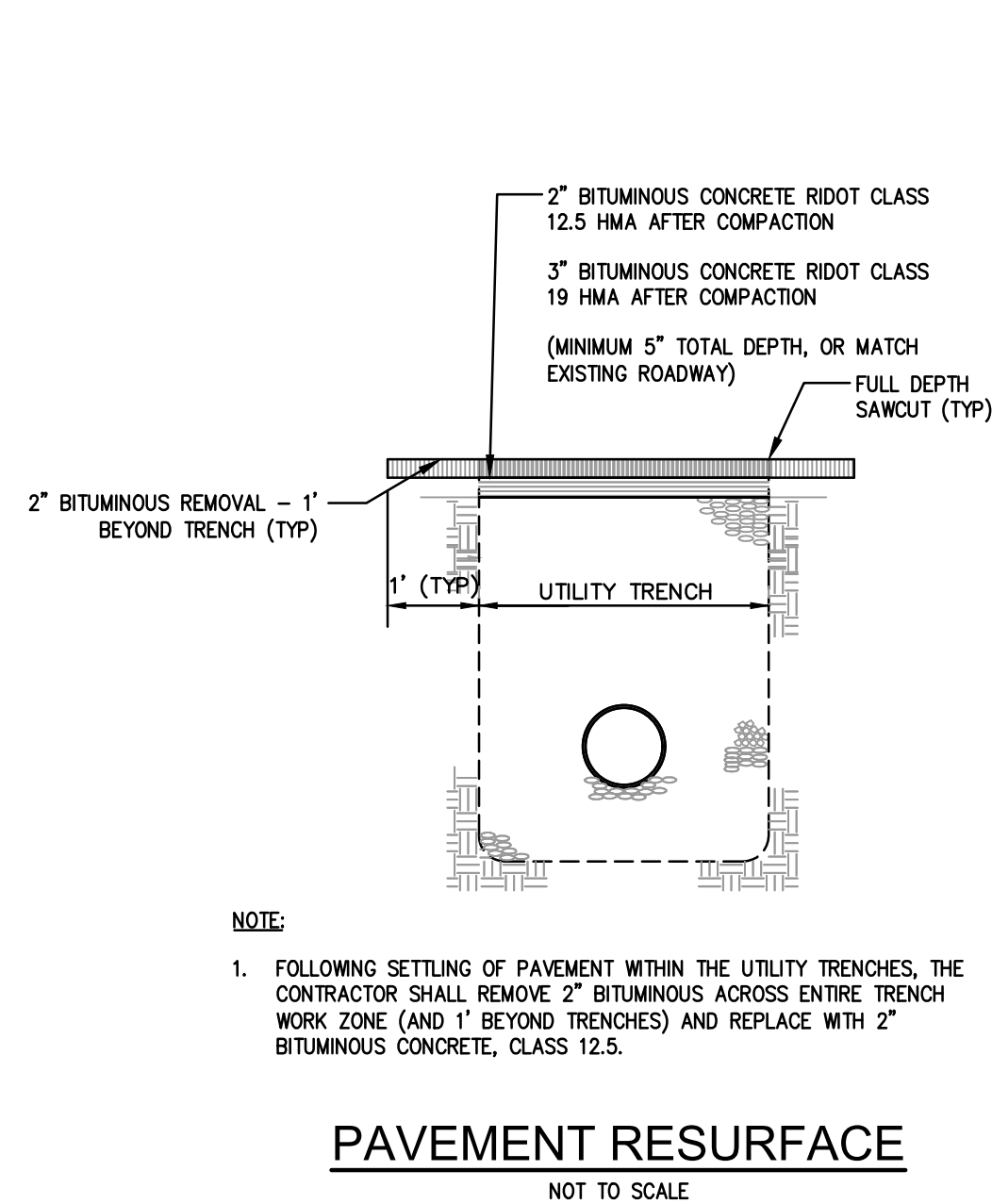
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DWG. NO. 7398-00_PERMITS-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-7.3
31 OF 33 SHEETS



KCWA
"proudly serving"
KENT COUNTY WATER AUTHORITY
RESTRAINED PIPE LENGTHS
NOT TO SCALE
DATE: 09/2006

FITTING	RESTRAINED LENGTH
12" PLUG	94"
12" TEE	44"
12" 90°	56"
12" 45°	44"
12" 22 1/2°	22"
12" 11 1/4°	22"
8" PLUG	56"
8" TEE	44"
8" 90°	44"
8" 45°	22"
8" 22 1/2°	22"
8" 11 1/4°	22"
8" 1" 8"	44"
6" PLUG	44"
6" TEE	22"
6" 90°	22"
6" 45°	22"
6" 22 1/2°	22"
6" 11 1/4°	22"



CONSTRUCTION DETAILS - 5
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

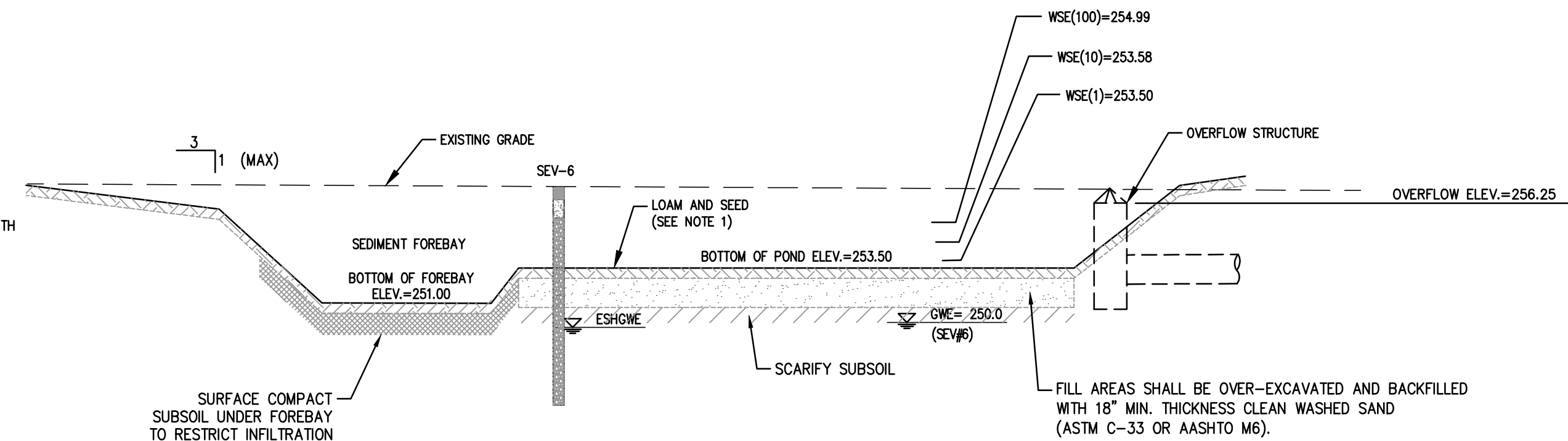
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JOB NO. 7398-00
DWG. NO. 7398-00_PERMIT-DETAILS
SCALE: AS SHOWN
DRAWN BY K.Y.Y.
CHECK BY S.S.H.
APPROVED S.B.G.
DATE: DECEMBER, 2023

SHEET
C-7.4
32 OF 33 SHEETS

L:\7398-00-Harkney Hill (RREG) - Coventry, RI\Drawings\01-Current\7398-00_Permit-Details.dwg, 08/28/2024, kjingyang, 10:04

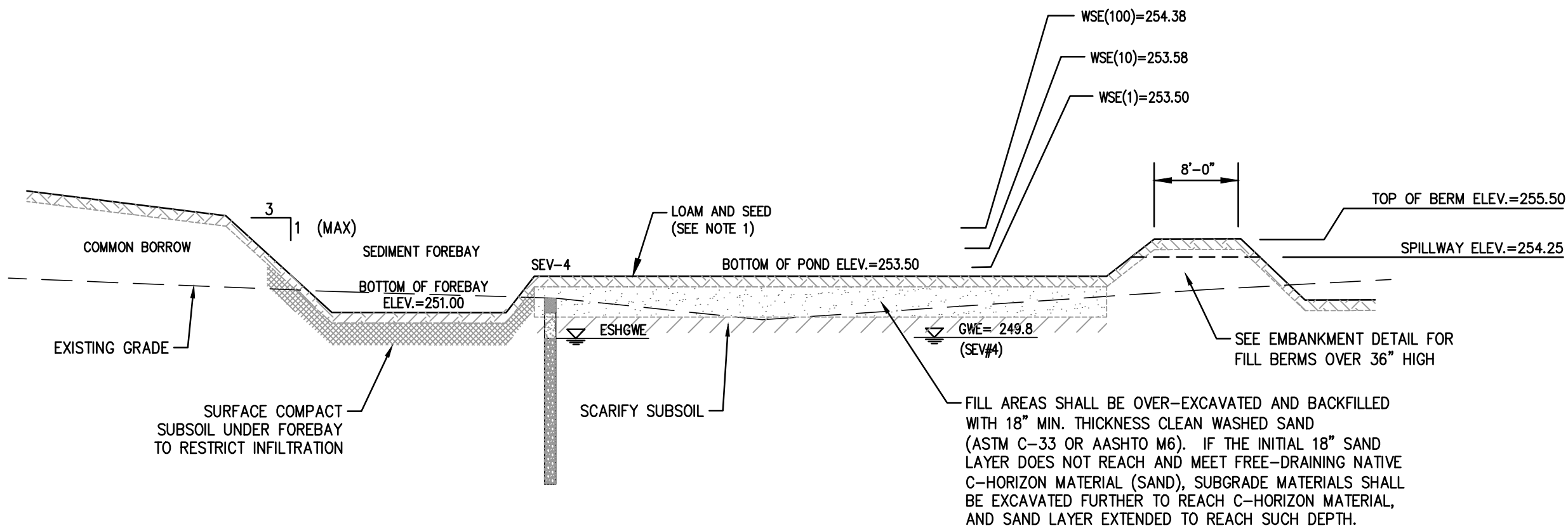
NOTES:
 1. THE ENTIRE BASIN SHALL BE LINED WITH 4" FREE DRAINING SANDY LOAM AND SEEDED WITH CONSERVATION SEED MIX FOR STABILIZATION
 2. SEE FULL MAINTENANCE SCHEDULE PROVIDED



BMP-1 INFILTRATION BASIN

NOT TO SCALE

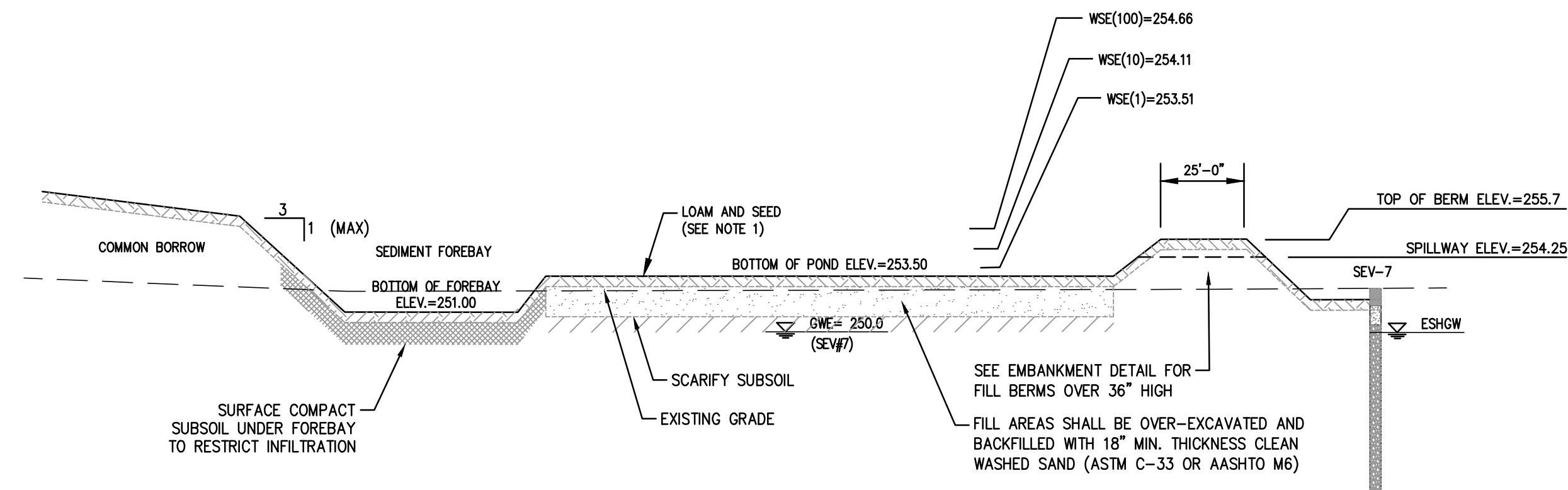
NOTES:
 1. THE ENTIRE BASIN SHALL BE LINED WITH 4" FREE DRAINING SANDY LOAM AND SEEDED WITH CONSERVATION SEED MIX FOR STABILIZATION
 2. SEE FULL MAINTENANCE SCHEDULE PROVIDED



BMP-2 INFILTRATION BASIN

NOT TO SCALE

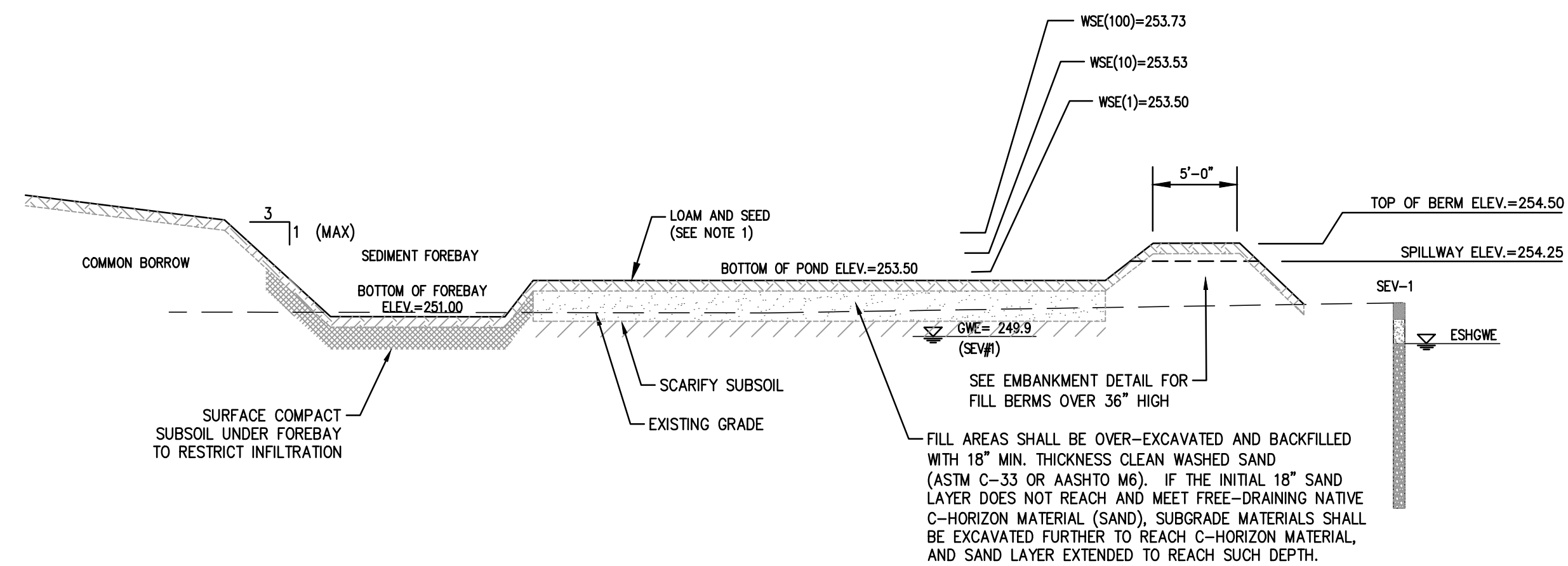
NOTES:
 1. THE ENTIRE BASIN SHALL BE LINED WITH 4" FREE DRAINING SANDY LOAM AND SEEDED WITH CONSERVATION SEED MIX FOR STABILIZATION
 2. SEE FULL MAINTENANCE SCHEDULE PROVIDED



BMP-3 INFILTRATION BASIN

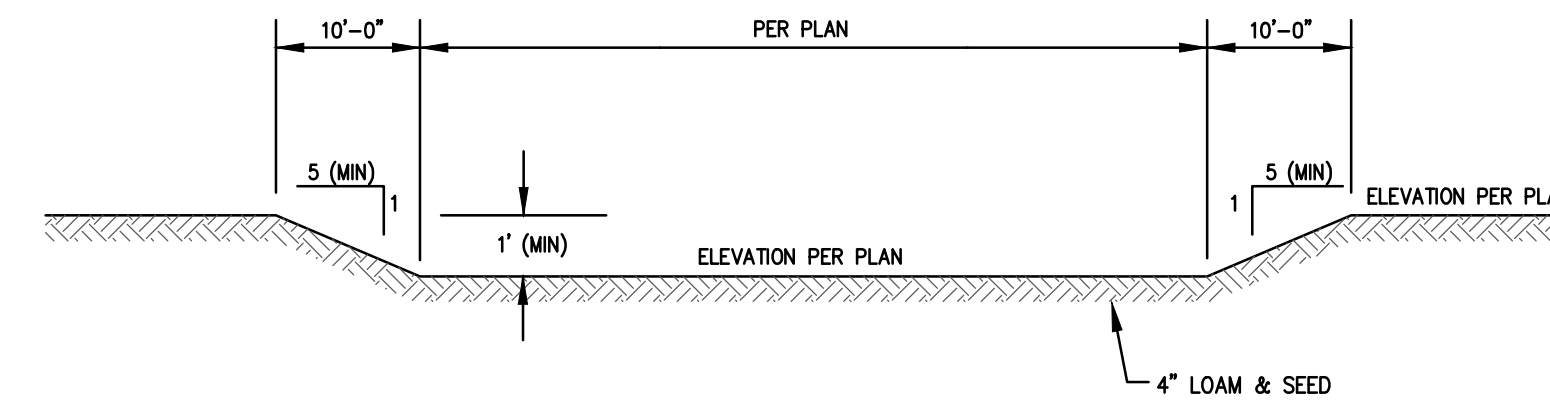
NOT TO SCALE

NOTES:
 1. THE ENTIRE BASIN SHALL BE LINED WITH 4" FREE DRAINING SANDY LOAM AND SEEDED WITH CONSERVATION SEED MIX FOR STABILIZATION
 2. SEE FULL MAINTENANCE SCHEDULE PROVIDED



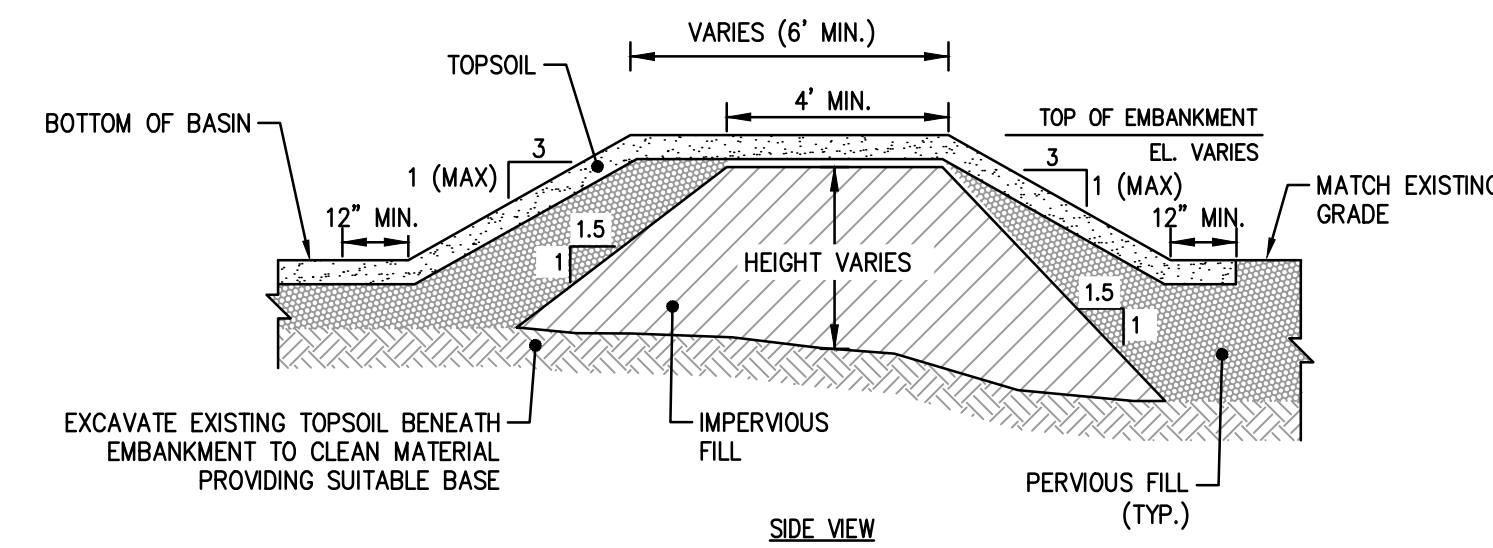
BMP-4 INFILTRATION BASIN

NOT TO SCALE



OVERFLOW SPILLWAY

NOT TO SCALE



NOTES:

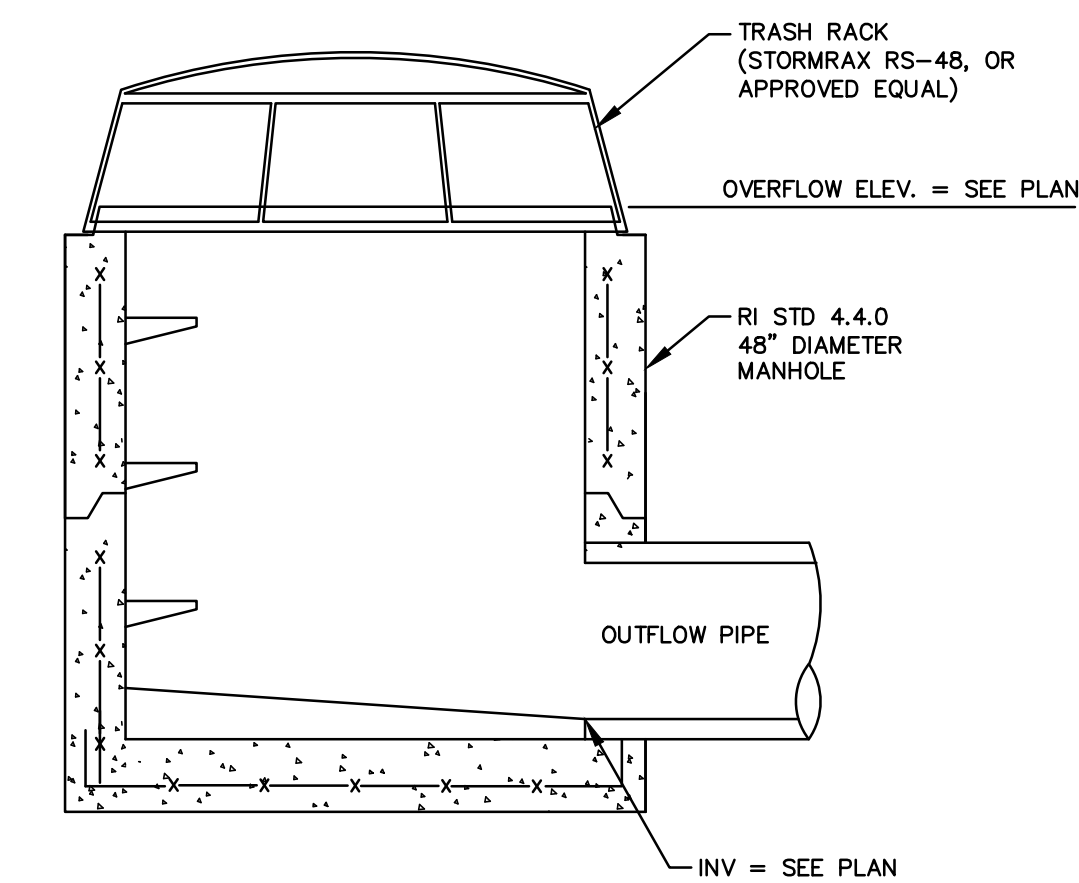
1. IMPERVIOUS MATERIAL FOR USE IN BASIN EMBANKMENT AREAS AND WHERE SHOWN ON THE PLANS SHALL BE COMPOSED OF CLAYS, SILTY CLAYS, OR CLAYEY SILTS. THE SOIL SHALL BE FREE OF RUBBISH, ICE, VEGETATIVE MATTER, LOAM, OR OTHER DEBRIS AND HAVE THE FOLLOWING GRADATION AS DEFINED BY A STANDARD SIEVE TEST (ASTM D422).

MIN PERCENT PASSING (BY WEIGHT)	SIEVE SIZE
100	3.5"
80-100	3/4"
40-90	NO. 4
30-85	NO. 40
25-75	NO. 200

2. PERVIOUS BACKFILL MATERIAL FOR USE IN FILL AREAS ASSOCIATED WITH BASIN SHALL BE COMPOSED OF SATISFACTORY ON-SITE MATERIAL OR BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS. SATISFACTORY ON-SITE MATERIAL SHALL HAVE SOIL CLASSIFICATION GROUPS OF GW, GP, GM, SW, SP, AND SM ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS AND SHALL BE FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES (75MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.

3. PIPE INSTALLED THROUGH EMBANKMENT SHALL INCLUDE WATER-TIGHT JOINTS.

BASIN EMBANKMENTS GREATER THAN 36"
N.T.S.



NOTE:

1. REFER RI STANDARD DETAILS FOR ADDITIONAL REQUIREMENTS.

OVERFLOW STRUCTURE

NOT TO SCALE

CONSTRUCTION DETAILS - 6

FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO
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 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

JOB NO. 7398-00	DRAWN BY K.J.A.
DWG. NO. 7398-00_PERMIT-DETAILS	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
C-7.5

SHEET L-1.1

SHEET L-1.3

SHEET L-1.2

SHEET L-1.4

SHEET PROVIDED FOR CONTEXT ONLY

OVERALL PLANTING PLAN

FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)

SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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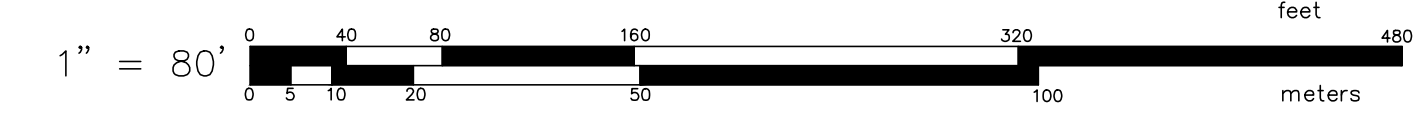
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JOB NO. 7398-00	DRAWN BY K.Y.Y.
DWG. NO. 7398-00_LAND	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET

L-1.0

1 OF 6 SHEETS



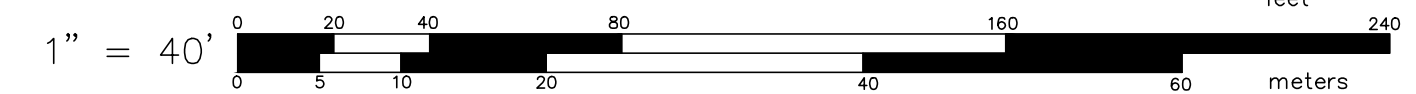
L:\7398-00_Harkney Hill (RREG) - Coventry, RI\dwg\01-Current\7398-00_Land.dwg, 08/28/2024, by:sgong, 10:44

L:\7398-00_Harkney Hill (REG) - Coventry, RI\dwg\01-Current\7398-00_Land.dwg, 08/28/2024, by: jgong, 10:44



SHEET NOTES:
 1. THIS PLAN IS SCHEMATIC ONLY AND TO PROVIDED SETBACK BUFFER AND STREET PLANTING. FINAL DESIGN/ LOCATION MAY VARIES AT FINAL STATE.

CONT. ON SEE SHEET L-1.2



PLANTING PLAN - 1
 FOR
COVENTRY CROSSINGS
 (A.P.10, LOT 29 & A.P.18 LOT 86)
 SITUATED AT
HARKNEY HILL ROAD
 COVENTRY, RI
 PREPARED FOR
KREG NEW HOMES, LLC
 39 NOOSENECK HILL ROAD
 WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
L-1.1
 2 OF 6 SHEETS

CONT. ON SEE SHEET L-1.3

L:\7398-00_Harkney Hill (RTE) - Coventry, RI\dwg\01-Current\7398-00_Land.dwg, 08/28/2024, by: jgong, 10:44

CONT. ON SEE SHEET L-1.1

CONT. ON SEE SHEET L-1.4



AP 10 LOT 25
COVENTRY HISTORIC
CEMETERY #50

AP 10 LOT 40.11
CESARIO DAVID A

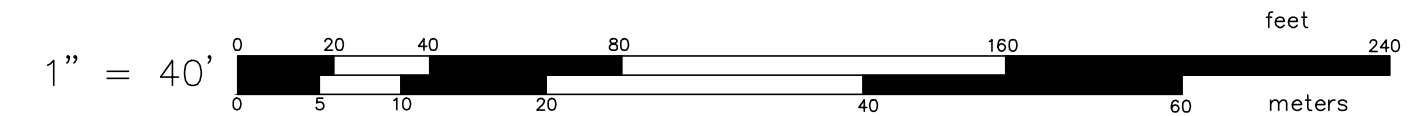
AP 10 LOT 42
IANNOTI ROBERT A ET
ALS

AP 10 LOT 41
2011 NOOSENECK HILL ROAD LLC

AP 10 LOT 33
OCEAN STATE CREDIT UNION

SHEET NOTES:

- THIS PLAN IS SCHEMATIC ONLY AND TO PROVIDED SETBACK BUFFER AND STREET PLANTING. FINAL DESIGN/ LOCATION MAY VARIES AT FINAL DESIGN.



PLANTING PLAN - 2
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO

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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

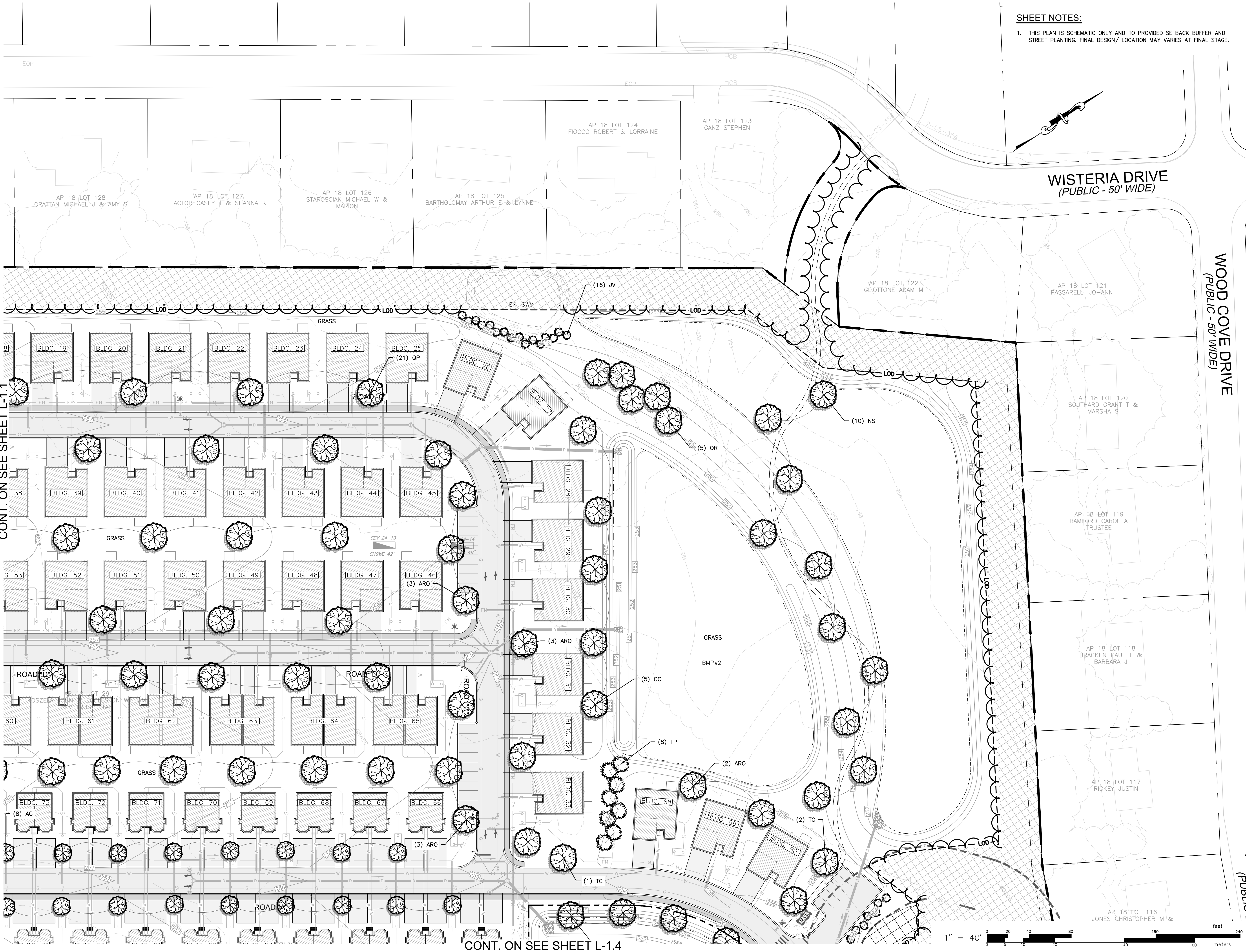
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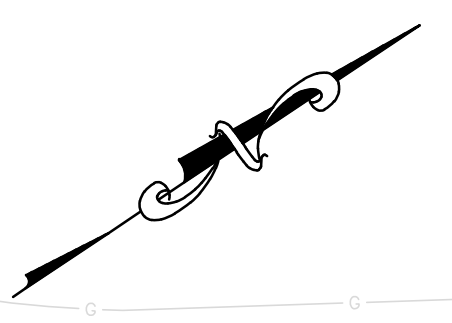
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DWG. NO. 7398-00_LAND	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: DECEMBER, 2023	

SHEET
L-1.2
3 OF 6 SHEETS

L:\398-00_Harkney Hill (REG) - Coventry, RI\dwg\01-Current\398-00_Land.dwg, 08/28/2024, by:gnagn 10:44



SHEET NOTES:
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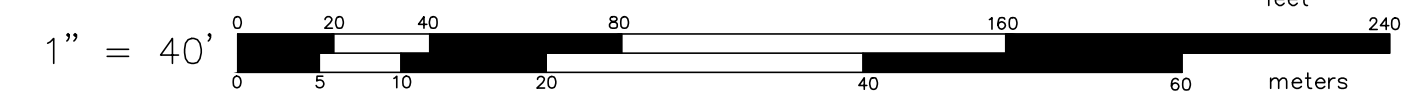


WOOD COVE DRIVE
(PUBLIC - 50' WIDE)

WISTERIA DRIVE
(PUBLIC - 50' WIDE)

CONT. ON SEE SHEET L-1.1

CONT. ON SEE SHEET L-1.4



PLANTING PLAN - 3
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

GAROFALO

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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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DWG. NO. 7398-00_LAND	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
L-1.3
4 OF 6 SHEETS

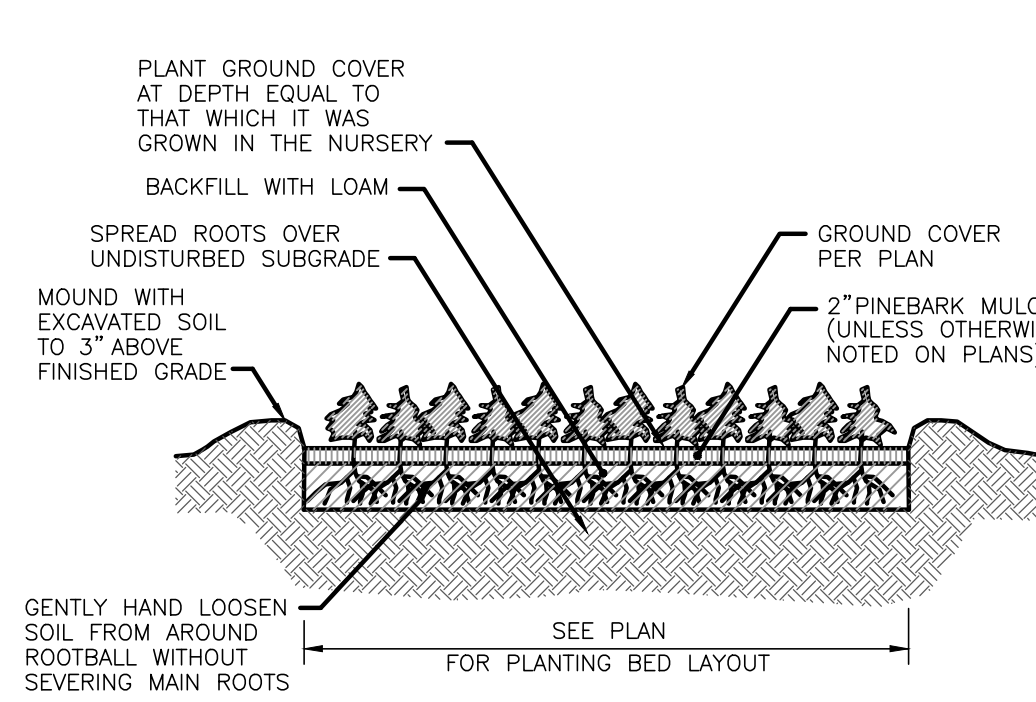
GENERAL LANDSCAPE NOTES:

- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
- INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
- STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFFSET LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
- PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
- PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
- UTILITIES: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL UTILITY DAMAGE INCLUDING DAMAGE THAT MAY OCCUR TO NEW UTILITIES. THE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE PRIOR TO COMMENCING ANY SITE CONSTRUCTION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.
- DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.

LOAM AND SEEDING

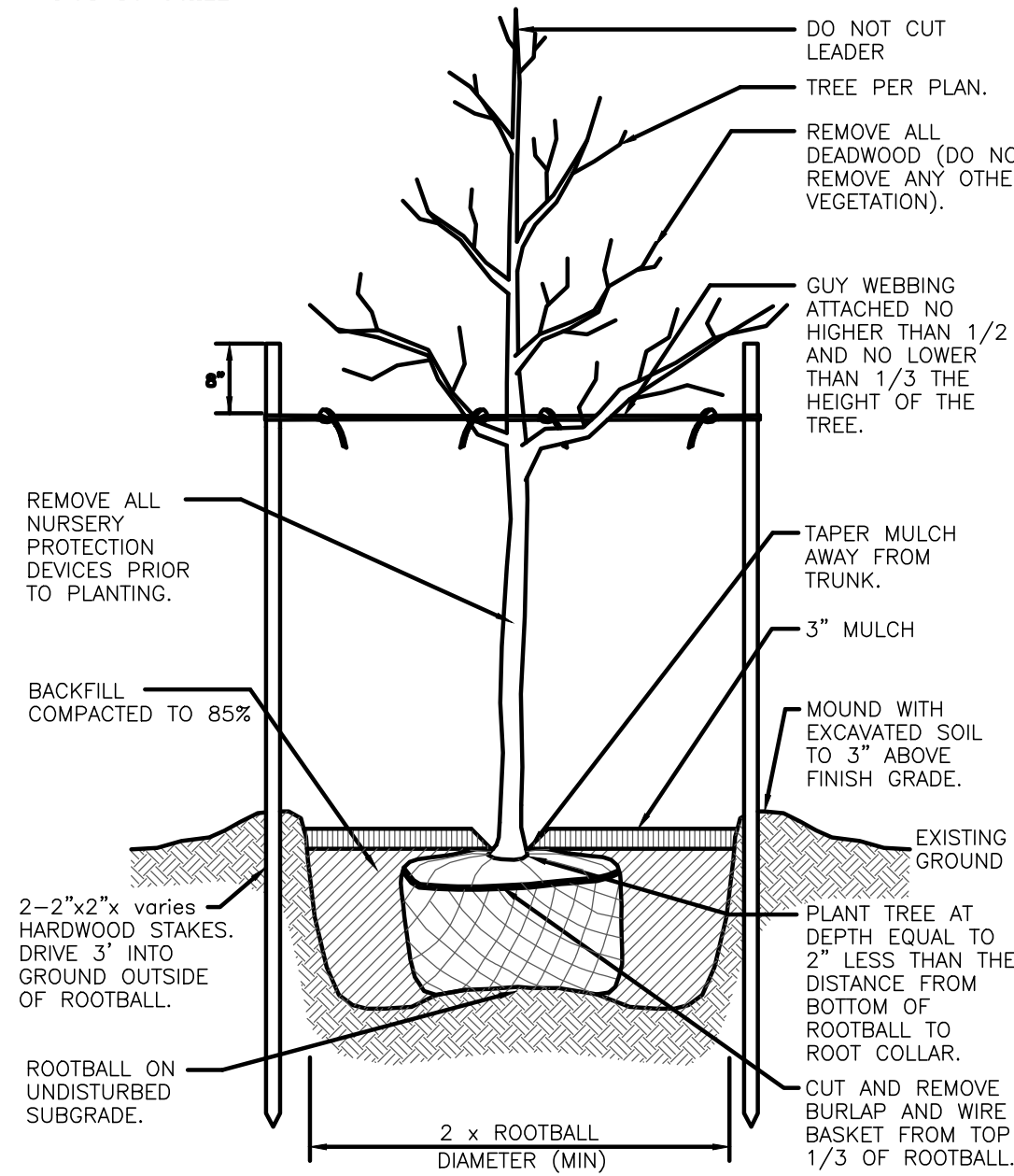
APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

- LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRIABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 2017 WITH ALL ADDENDA, FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
- LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIAL. ALL EXISTING LOAM REMAINS THE PROPERTY OF THE OWNER.
- LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
- THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
- LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEEDED. UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
- ALL SEED DELIVERED TO THE JOB SHALL BE IN CONTAINERS LABELED IN ACCORDANCE WITH PROVISIONS OF THE RHODE ISLAND SEED ACT OF 1956 (VOLUME 8, TITLE 2, CHAPTER 6) AND ITS AMENDMENTS AS PROVIDED FOR AGRICULTURAL SEED OFFERED FOR SALE. ONLY THE CURRENT YEARS SEED SHALL BE ACCEPTED.
- SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:
SPRING SEEDING: MARCH 15 TO MAY 31.
FALL SEEDING: AUGUST 15 TO OCTOBER 15.
- THE CONTRACTOR SHALL WATER ALL SEEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.



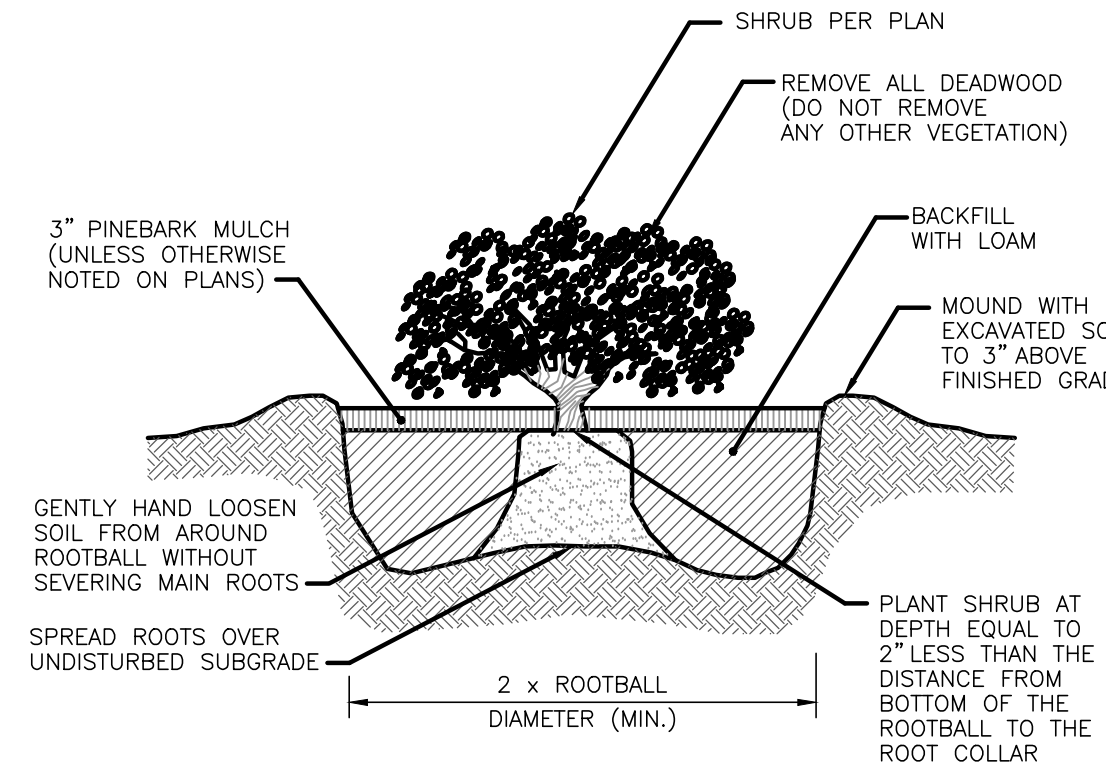
Ground Cover Planting Detail

NOT TO SCALE



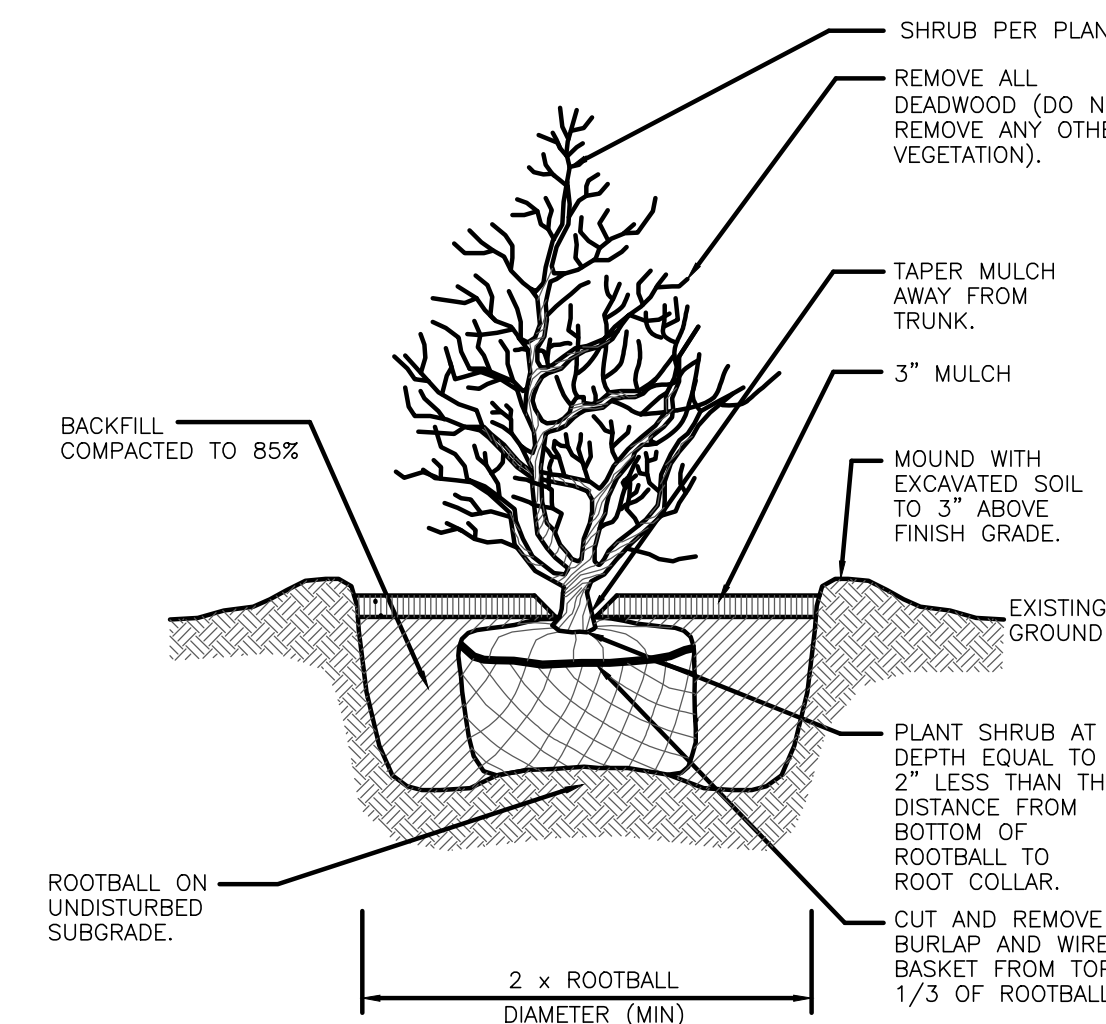
Canopy Tree Planting Detail

NOT TO SCALE



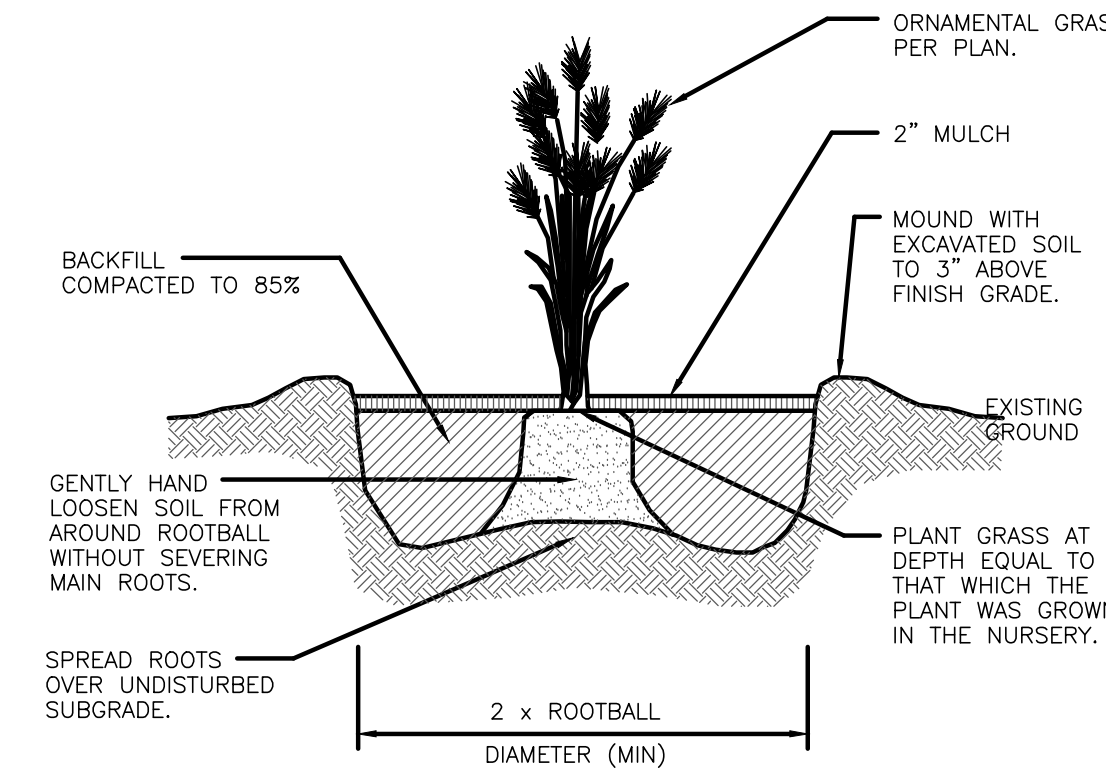
Container Grown Shrub and Perennial Planting Detail

NOT TO SCALE



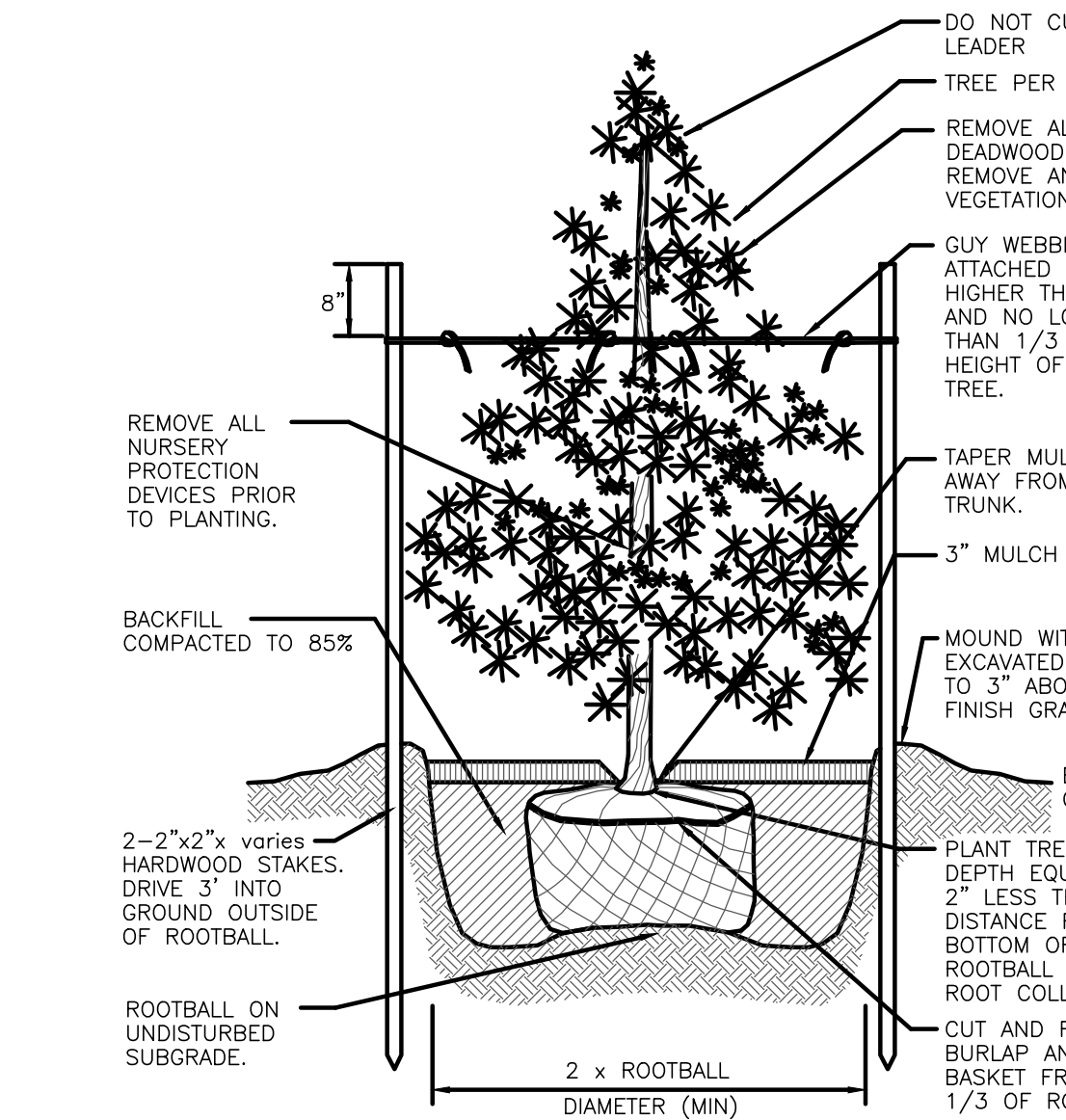
B & B Shrub Planting Detail

NOT TO SCALE



Perennial Planting Detail

NOT TO SCALE



Evergreen Tree Planting Detail

NOT TO SCALE

PLANT LIST:

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AG	ACER GRIBELM PAPER BARK MAPLE	19	2'-2.5'	
AR	ACER RUBRUM RED MAPLE	24	2'-2.5'	
ARD	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	25	2'-2.5'	
CC	CARPINUS CAROLINIANA AMERICAN HORNBEAM	19	2'-2.5'	
LT	LIRIODENDRON TULIPIFERA TULIPTREE	4	2.5'-3'	
GT	GLEDITSIA TRIACANTHOS 'SKYCOLE' SKYLINE HONEY LOCUST	16	2.5'-3'	
NS	NYSSA SYLVATICA BLACK GUM	10	2'-2.5'	
QB	QUERCUS BICOLOR SWAMP WHITE OAK	7	2'-2.5'	
QP	QUERCUS PALUSTRIS PIN OAK	29	2'-2.5'	
QR	QUERCUS RUBRA RED OAK	8	2'-2.5'	
TC	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LINDEN TREE	25	2'-2.5'	

FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
PY	FRUNUS YEDOENSIS YOSHINO CHERRY	16	7'-8'	CLUMP

GENERAL SEEDING MIX (L&S)

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90
APPLICATION RATE: 200 LBS / ACRE		

EVERGREEN TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	42	6'-8'	CLUMP
PS	PINUS STROBUS EASTERN WHITE PINE	12	6'-8'	CLUMP
TP	THUJA PLICATA 'GREEN GIANT' AMERICAN ARBORVITAE	55	6'-8'	CLUMP

EVERGREEN/DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
HM	HYDRANGEA MACRO. ENDLESS SUMMER HYDRANGEA	10	# 5	CONTAINER
IG	ILEX GLABRA INKBERRY	45	# 3	CONTAINER
IMB	ILEX MESERVEAE 'BLUE PRINCE' BLUE PRINCE HOLLY	4	# 5	CONTAINER
IMBP	ILEX MESERVEAE 'BLUE PRINCESS' BLUE PRINCESS HOLLY	2	# 5	CONTAINER
RV	ROSA VIRGINIANA VIRGINIA ROSE	6	# 3	CONTAINER

PERENNIALS/GROUNDCOVERS/ VINES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
RH	RUDBECKIA HIRTA BLACK EYED SUSAN	22	#1	CONTAINER

PLANTING DETAILS PLAN
FOR
COVENTRY CROSSINGS
(A.P.10, LOT 29 & A.P.18 LOT 86)
SITUATED AT
HARKNEY HILL ROAD
COVENTRY, RI
PREPARED FOR
KREG NEW HOMES, LLC
39 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

NO.	REVISION	BY	DATE

PROJECT ENGINEER
SAMUEL HEMENWAY

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JOB NO. 7398-00	DRAWN BY K.Y.Y.
DWG. NO. 7398-00_LLND	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: DECEMBER, 2023

SHEET
L-2.0
6 OF 6 SHEETS