

SITE PLAN SET

FOR

PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10, LOT 42 ZONING DISTRICT GB1 GENERAL BUSINESS 1 ACRE DISTRICT 71 HARKNEY HILL ROAD COVENTRY, RHODE ISLAND

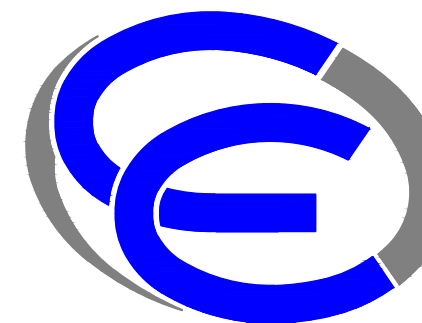
OWNER

AJB REAL ESTATE, LLC
2 STATION STREET
COVENTRY, RHODE ISLAND 02816

APPLICANT

ANDREW BARBER
P.O. BOX 7090
WARWICK, RHODE ISLAND 02886
(401) 265-9392

ENGINEERS



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

Crossman Engineering

Rhode Island
100 Jefferson Blvd., Suite 200
Warwick, RI 02888
Phone: (401) 738-5660

Massachusetts
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Phone: (508) 695-1700

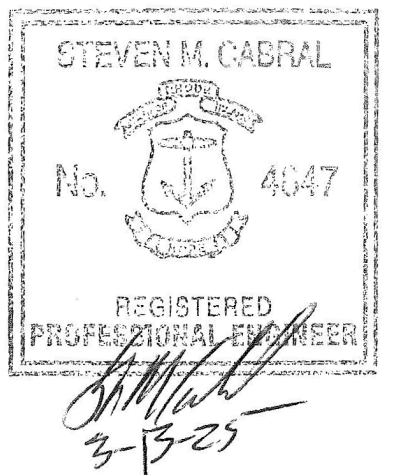
Email: cei@crossmaneng.com

SEPTEMBER 2024
SHEET 1 of 16



LOCATION MAP
NOT TO SCALE

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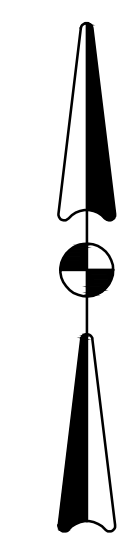
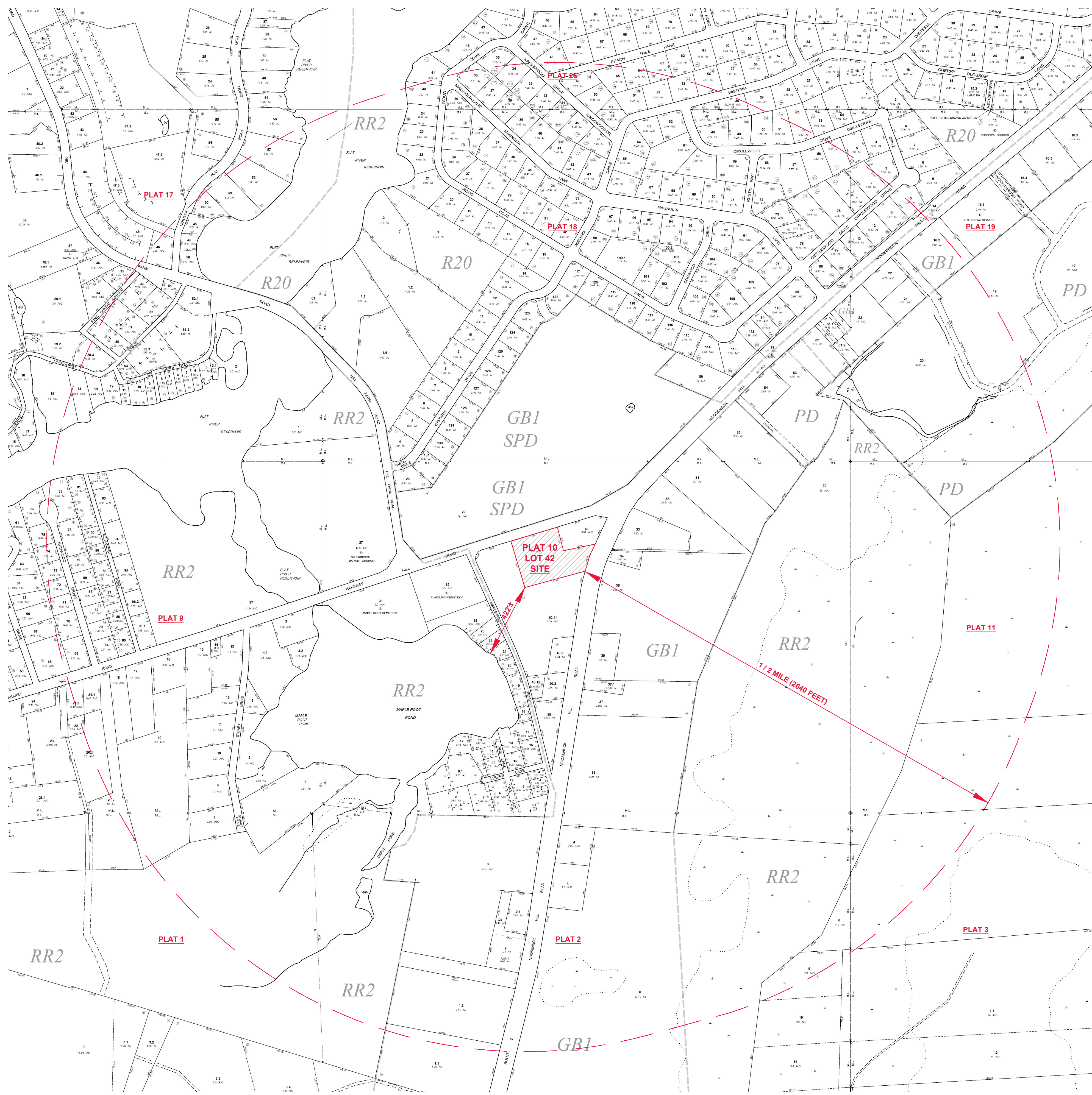
REFERENCE PLANS

PHASE 1 BUILDING REFERENCE PLANS
(3 SHEETS)

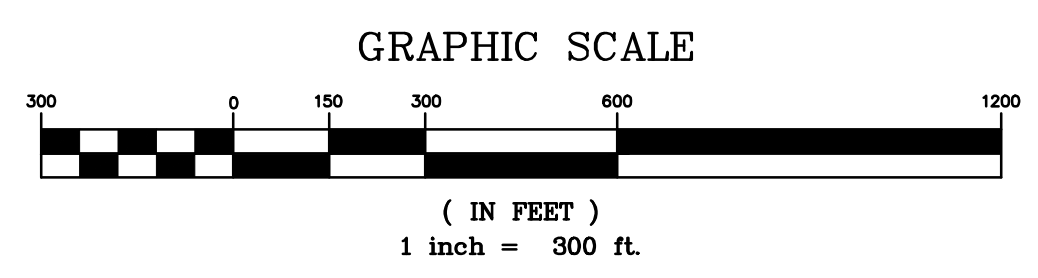
BUILDING RENDERING

REVISIONS

No.	DATE	DESCRIPTION
1	10/16/24	TRC COMMENTS
2	02/20/25	PRELIMINARY SUBMISSION
3	03/13/25	KCWA SUBMISSION



ZONING LEGEND
GB1 = GENERAL BUSINESS DISTRICT 1
SPD = SPECIAL PLANNING OVERLAY DISTRICT





- Civil
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PROJECT TITLE:
PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

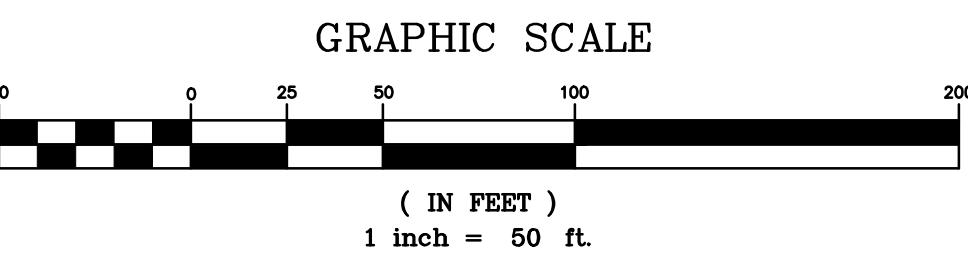
ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:
VICINITY MAP

DATE: SEPTEMBER 2024	SCALE: 1"=300'
DWG. NAME: 2872-03-VICINITY.dwg	

REVISIONS		
NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

DRAWING NUMBER
C2
SHEET: 3 OF 16



EXISTING CONDITIONS

SOILS
MmA: Merrimac Sandy Loam, 0 to 3% Slopes
HkA: Hinckley Gravelly Sandy Loam, 0 to 3% Slopes



POST DEVELOPMENT



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PROJECT TITLE:

PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

AERIAL MAP

DATE: SEPTEMBER 2024

SCALE: 1"=50'

DWG. NAME:

2872-04-AERIAL.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

DRAWING NUMBER

C3

SHEET: 4 OF 16

PROJECT TITLE:

**PROPOSED COMMERCIAL
CONTRACTOR UNITS**

**PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI**

PREPARED FOR:

**ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886**

DRAWING TITLE:

500' RADIUS MAP

DATE:

SEPTEMBER 2024

SCALE:

1"=100'

DWG. NAME:

2872-05-RADIUS.dwg

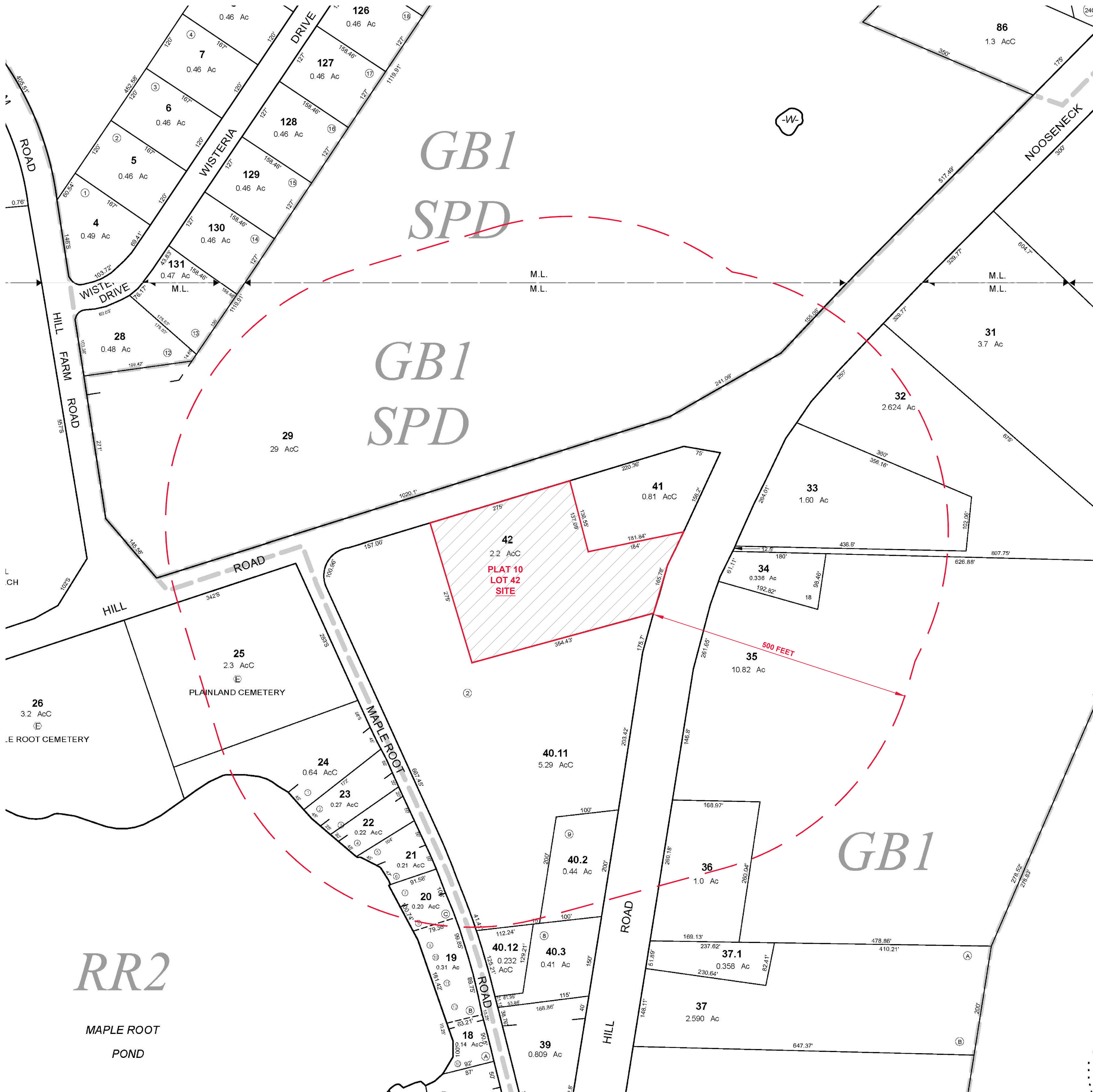
REVISIONS

NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

DRAWING NUMBER

C4

SHEET: 5 OF: 16



ABUTTERS LIST

(AS OF FEBRUARY 2025)

PLAT 10 LOT 19
PHYLLIS M. HUSTON
PHYLLIS M. HUSTON
REVOCABLE TRUST
24 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 20
BRYANS FAMILY TRUST
JACKIE L. & DIANN L. BRYANS,
TRUSTEES
28 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 21
FRED T. & CAROL PERRY
34 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 22
FRED T. & CAROL PERRY
34 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 23
FRED T. & CAROL PERRY
34 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 24
MATTHEW S. GREENWOOD
42 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 25
PLAINLAND CEMETERY
COVENTRY HISTORICAL CEMETERY
0 MAPLE ROOT ROAD
COVENTRY, RI 02816

PLAT 10 LOT 29
JOHN KOSZELA & WILLIAM ECCLESTON
REVOCABLE TRUST
1315 VICTORY HIGHWAY
GREENE, RI 02827

PLAT 10 LOT 32
MAPLEROOT REALTY LLC
C/O IANNOTTI FUNERAL HOME
415 WASHINGTON STREET
COVENTRY, RI 02816

PLAT 10 LOT 33
OCEAN STATE CREDIT UNION
2006 NOOSENECK HILL ROAD
COVENTRY, RI 02816

PLAT 10 LOT 34
ROBIN REEVES
2010 NOOSENECK HILL ROAD
COVENTRY, RI 02816

PLAT 10 LOT 35
NOOSENECK HILL REALTY
2030 NOOSENECK HILL ROAD
COVENTRY, RI 02816

PLAT 10 LOT 36
BOUKARIM HOLDINGS LLC
2070 NOOSENECK HILL ROAD
COVENTRY, RI 02816

PLAT 10 LOT 40.11
BACKSTREET HOLDINGS LLC
P.O. BOX 231
EAST GREENWICH, RI 02818

PLAT 10 LOT 40.2
STEVEN G. SALOIS
5 ALVERO ROAD
COVENTRY, RI 02816

PLAT 10 LOT 41
2011 NOOSENECK HILL ROAD LLC
C/O ASCO GROUP
45 NOOSENECK HILL ROAD
WEST GREENWICH, RI 02817

GRAPHIC SCALE



(IN FEET)

1 inch = 100 ft.

PROJECT TITLE:

PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

EXISTING
CONDITIONS PLAN

DATE:
SEPTEMBER 2024

SCALE:
1"=20'

DWG. NAME:
2872-06-EXCN.dwg

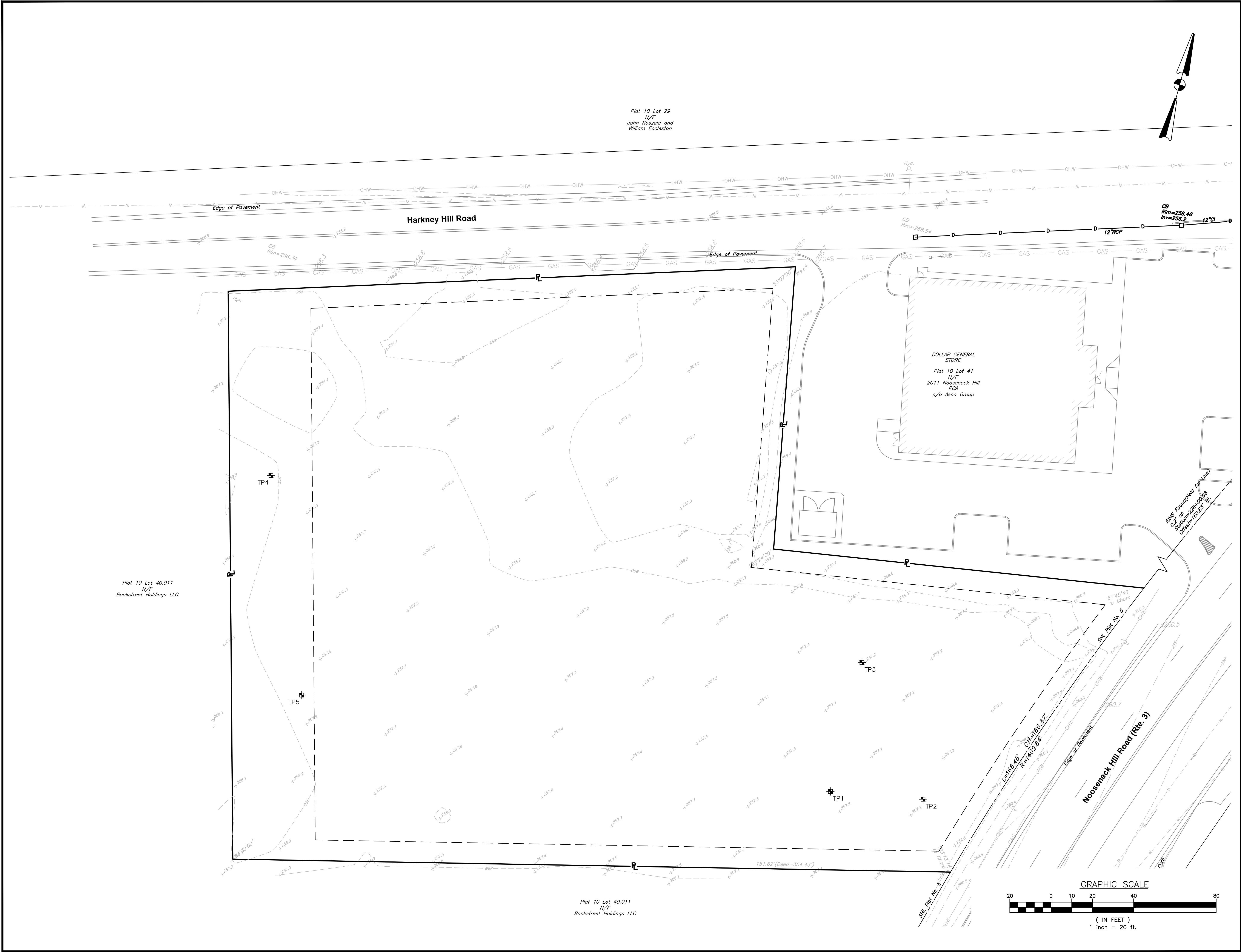
REVISIONS

NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	11/20/24
3	KCWA Submission	03/13/25

DRAWING NUMBER

C5

SHEET: 6 OF: 17



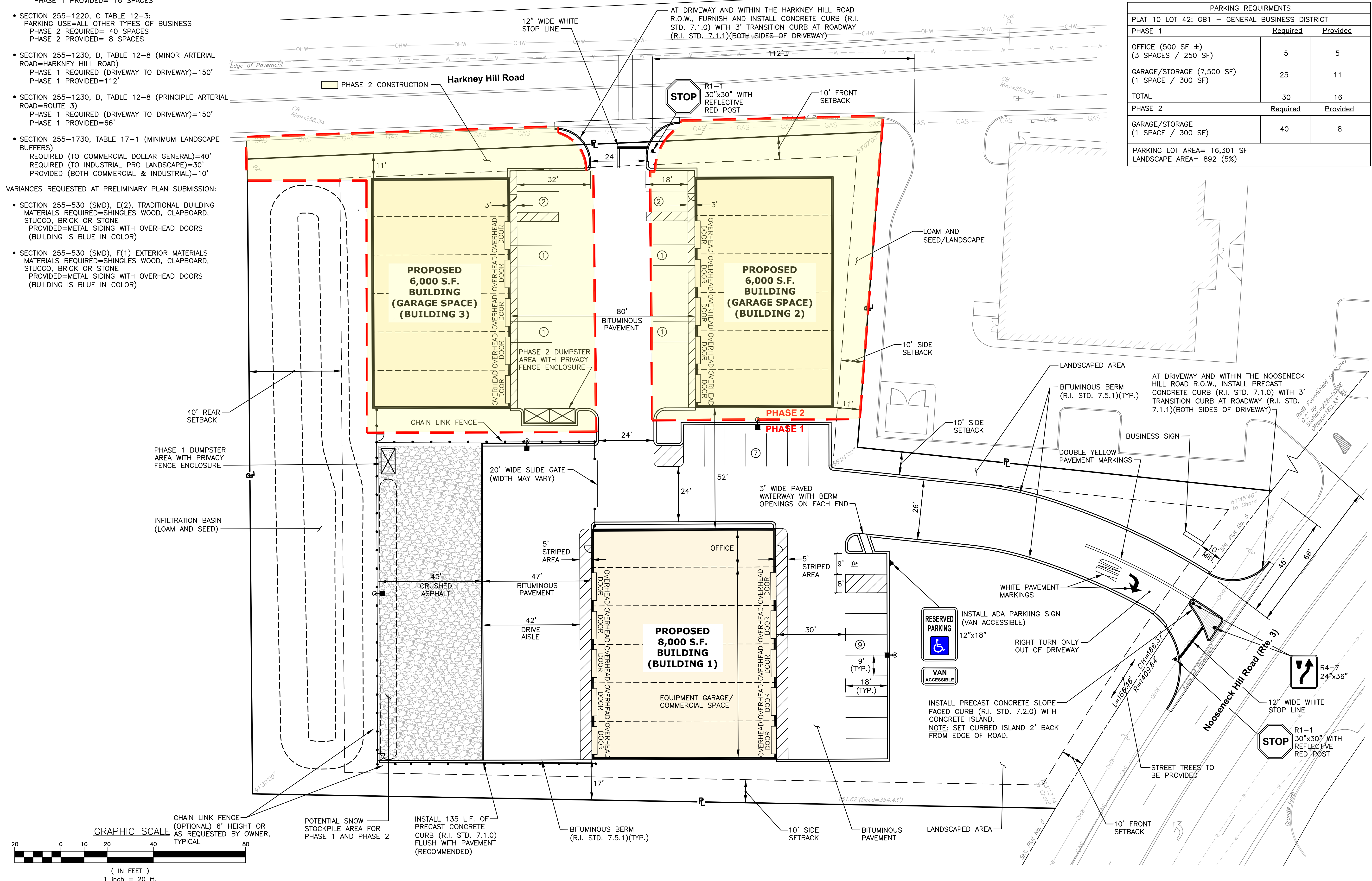
REQUESTED WAIVERS

THE BELOW LIST INCLUDES VARIANCE/WAIVERS RECEIVED BY THE PLANNING BOARD DURING THE MASTER PLAN REVIEW:

- SECTION 255-1210, C (1):
A LOADING SPACE FOR USE UP TO 5,000 S.F.
PHASE 1 REQUIRED=1 LOADING SPACE
PHASE 1 PROVIDED=0 LOADING SPACE
- SECTION 255-1210, C (2):
ADDITIONAL LOADING SPACE FOR ADDITIONAL 10,000 S.F. (OR FRACTION THEREOF)
PHASE 1 REQUIRED=1 ADDITIONAL LOADING SPACE
PHASE 1 PROVIDED=0 LOADING SPACES
- SECTION 255-1220, C TABLE 12-3: PARKING USE (ALL OTHER TYPES OF BUSINESS)
PHASE 1 REQUIRED= 30 SPACES
PHASE 1 PROVIDED= 16 SPACES
- SECTION 255-1220, C TABLE 12-3:
PARKING USE=ALL OTHER TYPES OF BUSINESS
PHASE 2 REQUIRED= 40 SPACES
PHASE 2 PROVIDED= 8 SPACES
- SECTION 255-1230, D, TABLE 12-8 (MINOR ARTERIAL ROAD=HARKNEY HILL ROAD)
PHASE 1 REQUIRED (DRIVEWAY TO DRIVEWAY)=150'
PHASE 1 PROVIDED=112'
- SECTION 255-1230, D, TABLE 12-8 (PRINCIPLE ARTERIAL ROAD=ROUTE 3)
PHASE 1 REQUIRED (DRIVEWAY TO DRIVEWAY)=150'
PHASE 1 PROVIDED=66'
- SECTION 255-1730, TABLE 17-1 (MINIMUM LANDSCAPE BUFFERS)
REQUIRED (TO COMMERCIAL DOLLAR GENERAL)=40'
REQUIRED (TO INDUSTRIAL PRO LANDSCAPE)=30'
PROVIDED (BOTH COMMERCIAL & INDUSTRIAL)=10'

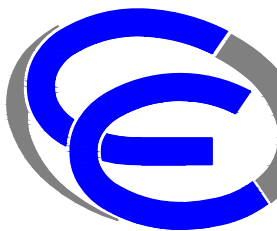
VARIANCES REQUESTED AT PRELIMINARY PLAN SUBMISSION:

- SECTION 255-530 (SMD), E(2), TRADITIONAL BUILDING MATERIALS REQUIRED=SHINGLES WOOD, CLAPBOARD, STUCCO, BRICK OR STONE
PROVIDED=METAL SIDING WITH OVERHEAD DOORS (BUILDING IS BLUE IN COLOR)
- SECTION 255-530 (SMD), F(1) EXTERIOR MATERIALS
MATERIALS REQUIRED=SHINGLES WOOD, CLAPBOARD, STUCCO, BRICK OR STONE
PROVIDED=METAL SIDING WITH OVERHEAD DOORS (BUILDING IS BLUE IN COLOR)



ZONING TABLE		
PLAT 10 LOT 42: GB1 - GENERAL BUSINESS DISTRICT		
PHASE 1&2 USE CODE C.2(07) EQUIPMENT GARAGE COMMERCIAL STORAGE USE CODE E.1(01) GENERAL COMMERCIAL OFFICE		
	Required	Provided
Minimum Lot Area:	43,560 S.F.	2.2 Ac.
Minimum Frontage:	200'	440.78'
Minimum Front Yard:	10'	121' (PHASE 1) 11' (PHASE 2)
Minimum Side Yard:	10'	17' (PHASE 1) 11' (PHASE 2)
Minimum Rear Yard:	40'	148' (PHASE 1) 92' (PHASE 2)
Maximum Building Height:	35'	<35' 31' (PHASE 1&2)
Maximum Lot Coverage:	60%	61% (PHASE 1&2)

PARKING REQUIREMENTS		
PLAT 10 LOT 42: GB1 - GENERAL BUSINESS DISTRICT		
PHASE 1	Required	Provided
OFFICE (500 SF ±) (3 SPACES / 250 SF)	5	5
GARAGE/STORAGE (7,500 SF) (1 SPACE / 300 SF)	25	11
TOTAL	30	16
PHASE 2	Required	Provided
GARAGE/STORAGE (1 SPACE / 300 SF)	40	8
PARKING LOT AREA= 16,301 SF LANDSCAPE AREA= 892 (5%)		



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PROJECT TITLE:
PROPOSED COMMERCIAL CONTRACTOR UNITS

**PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI**

PREPARED FOR:
**ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886**

DRAWING TITLE:
SITE LAYOUT PLAN

DATE: SEPTEMBER 2024
SCALE: 1"=20'
DWG. NAME: 2872-07-SITE.dwg

NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

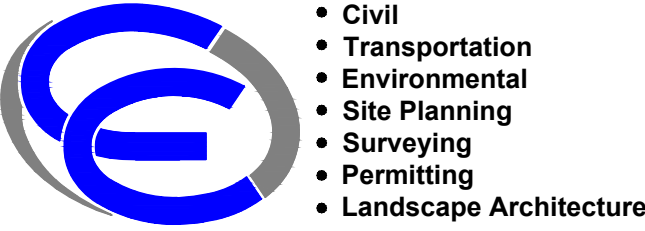
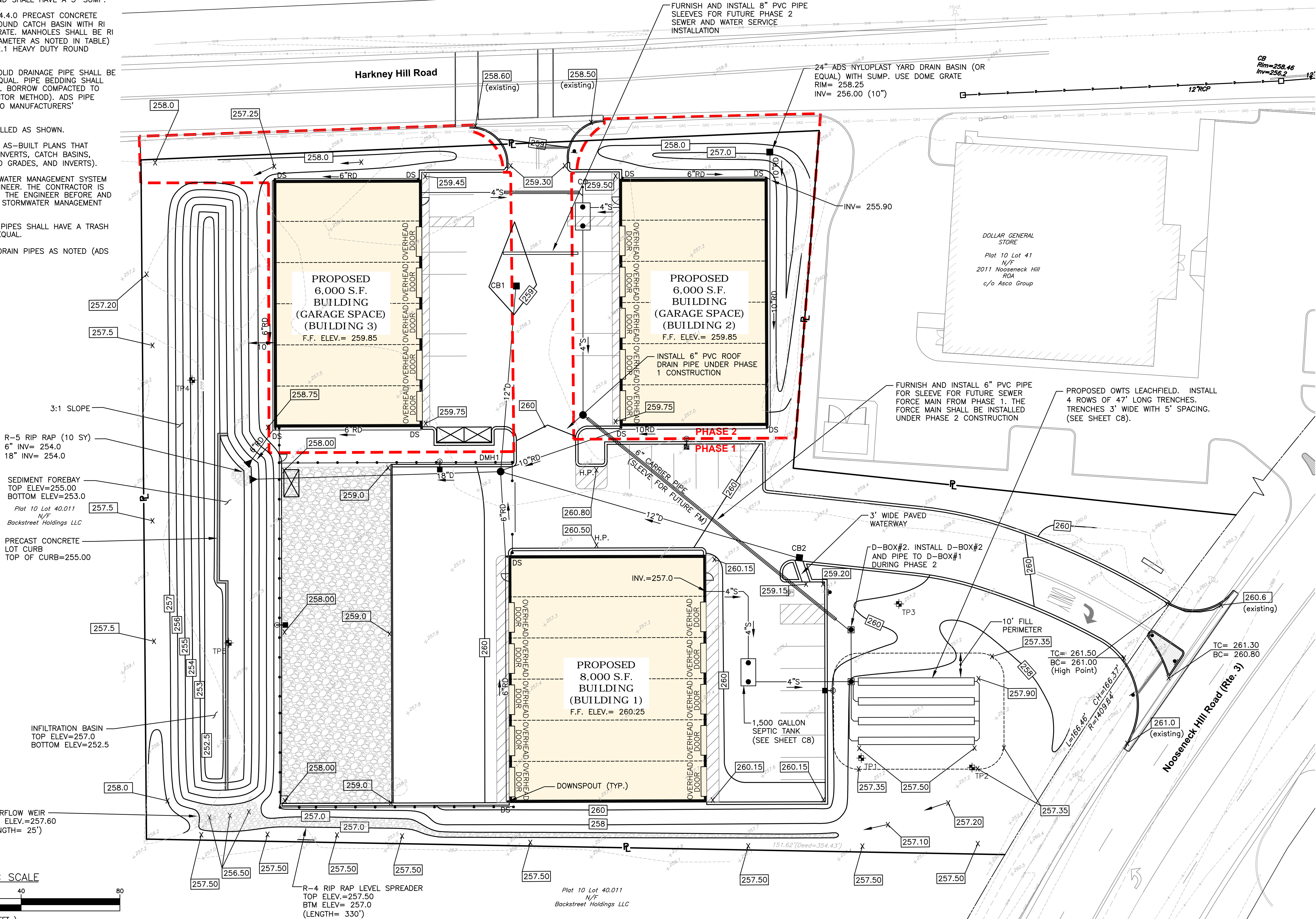
DRAWING NUMBER
C6
SHEET: 7 OF 16

DRAINAGE NOTES

1. THE STORMWATER MANAGEMENT SYSTEM WILL BE DESIGNED TO MEET THE TOWN OF COVENTRY AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT DESIGN STANDARDS.
2. THE STORMWATER BASIN WILL BE INSTALLED UNDER PHASE 1.
3. CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
4. CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING. CONCRETE MANUFACTURER SHALL REVIEW RIM TO TOP OF PIPE ELEVATIONS AND PROVIDE SPECIFIC DETAILS.
5. ALL STRUCTURES SHALL BE DESIGNED FOR H=20 LOADING.
6. ALL CATCH BASINS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES (NO WEEP HOLES) AND SHALL HAVE A 3' SUMP.
7. CATCH BASINS SHALL BE RI STD. 4.4.0 PRECAST CONCRETE (DIAMETER AS NOTED IN TABLE) ROUND CATCH BASIN WITH RI STD. 6.3.0 SQUARE FRAME AND GRATE. MANHOLES SHALL BE RI STD. 4.2.0 PRECAST CONCRETE (DIAMETER AS NOTED IN TABLE) ROUND MANHOLE WITH RI STD. 6.2.1 HEAVY DUTY ROUND FRAME AND COVER.
8. UNLESS OTHERWISE NOTED, ALL SOLID DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR APPROVED EQUAL. PIPE BEDDING SHALL BE IN CRUSHED STONE OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS.
9. ALL ROOF DRAINS SHALL BE INSTALLED AS SHOWN.
10. THE CONTRACTOR SHALL PROVIDE AS-BUILT PLANS THAT INCLUDE DRAINAGE SYSTEM (PIPE INVERTS, CATCH BASINS, STORMWATER BASIN LOCATIONS AND GRADES, AND INVERTS).
11. THE INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE ENGINEER BEFORE AND DURING THE INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM FOR INSPECTIONS.
12. ALL EXPOSED INLET AND OUTLET PIPES SHALL HAVE A TRASH RACK OR SCREEN OR APPROVED EQUAL.
13. USE 6" OR 10" DIA. PVC ROOF DRAIN PIPES AS NOTED (ADS N-12 OR EQUAL).

DRAINAGE STRUCTURE SCHEDULE					
STRUCTURE NO.	RIM ELEV.	INV.(IN) ELEV.	INV.(OUT) ELEV.	FRAME & GRATE OR COVER	R.I. STD. STRUCTURE
CB1	258.75	--	255.75 (12")	R.I. STD. 6.3.0	R.I. STD. 4.4.0(4')
CB2	259.00	--	255.75 (12")	R.I. STD. 6.3.0	R.I. STD. 4.4.0(4')
DMH1	260.10	255.75(2-12") 255.75(6"&10")	254.90 (18")	R.I. STD. 6.2.1	R.I. STD. 4.2.1(5')

Plat 10 Lot 29
N/F
John Koszela and
William Eccleston



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PROJECT TITLE:
PROPOSED COMMERCIAL CONTRACTOR UNITS

**PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI**

PREPARED FOR:
**ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886**

DRAWING TITLE:
**GRADING and
DRAINAGE PLAN**

DATE: SEPTEMBER 2024 SCALE: 1"=20'
DWC. NAME: 2872-08-GRADE.dwg

NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

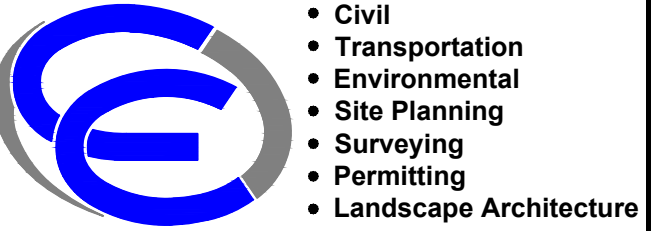
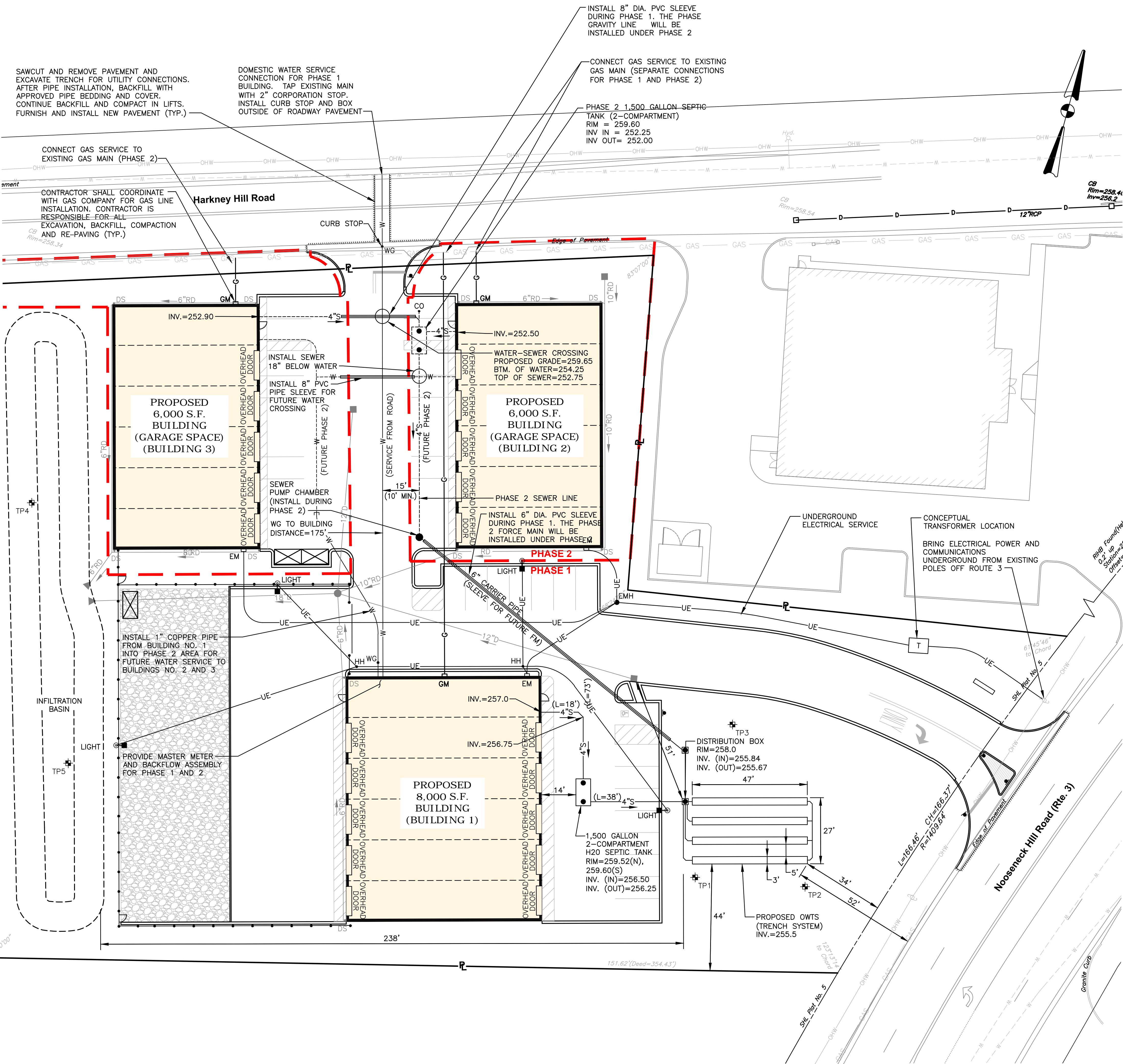
DRAWING NUMBER
C7
SHEET: 8 OF 16

UTILITY NOTES

- CONTRACTOR SHALL COORDINATE NEW ELECTRIC AND COMMUNICATION SERVICE WITH UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF NEW CONDUITS, WIRES AND TRANSFORMERS AS REQUIRED TO SERVICE THIS SITE.
- CONTRACTOR IS REQUIRED TO DIG TEST PITS AT ALL PROPOSED-EXISTING UTILITY TIE-IN AREAS (WATER, GAS AND SEWER). THIS WORK SHALL BE CONDUCTED PRIOR TO INSTALLATION. COORDINATION WITH OWNER AND ENGINEER IS REQUIRED. THE EXISTING SEWER MAIN ELEVATIONS SHALL BE CONFIRMED BY CONTRACTOR PRIOR TO INSTALLATION.
- SITE LIGHTING REQUIREMENTS SHALL BE CONFIRMED PRIOR TO FINAL APPLICATION FOR BUILDING PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF SITE LIGHTING, ELECTRICAL CONDUIT AND HANDHOLE(S) FOR THIS SITE.
- ALL UTILITIES PENETRATING THE FOUNDATION WALL SHALL BE SLEEVED WITH WATER TIGHT FITTINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF UNDERGROUND CONDUIT, GAS, AND COMMUNICATION SERVICE. BID PRICE SHALL INCLUDE PAVEMENT SAWCUT, REMOVAL AND DISPOSAL, EXCAVATION, PIPE/CONDUIT INSTALLATION AND BACKFILL.
- THE PROPOSED OWTS WILL BE DESIGNED TO SERVICE BOTH PHASE 1 AND PHASE 2.
- PROPOSED GAS LINE SIZE SHALL BE VERIFIED BY THE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- UTILITY SERVICE LOCATIONS AT THE BUILDING AS SHOWN ON THIS PLAN MAY VARY DEPENDING ON FINAL DESIGN PLANS.
- CONTRACTOR SHALL VERIFY WATER AND GAS LINE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- THE EXISTING WATER, GAS, AND ELECTRIC INFORMATION HAS BEEN TAKEN FROM PLANS PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- A WATER METER AND BACKFLOW PREVENTION SYSTEM SHALL BE PROVIDED WITHIN EACH BUILDING. PHASE 1 AND PHASE 2 WILL HAVE SEPARATE WATER SERVICES.
- BUILDING SEWER PIPE SHALL BE 4" DIA. PVC SDR 35.
- WATER SERVICE TO BE TYPE K COPPER.
- THE ANTICIPATED SEWER FLOWS GENERATED FROM THIS SITE IS 450 GPD. PHASE 1 (20 EMPLOYEES X 15 GPD./EMPLOYEE) = 300 GPD. PHASE 2 (10 EMPLOYEES X 15 GPD./EMPLOYEE) = 150 GPD.
- THE SOILS ON SITE ARE MAPPED AS SANDS AND GRAVEL, WITH A SEASONAL HIGH GROUNDWATER TABLE DEEPER THAN 10' BELOW GRADE.
- THE OWTS WILL BE SIZED FOR BOTH PHASE 1 AND 2 USES. INSTALLATION WILL OCCUR UNDER THE PHASE 1 CONSTRUCTION.

OWTS NOTE

A SEPARATE OWTS APPLICATION WILL BE REQUIRED FOR THE PHASE 2 BUILDINGS. THE PHASE 2 APPLICATION WILL BE FOR THE PHASE 2: BUILDING SEWER PIPE, SEPTIC TANK, PUMP AND PUMP CHAMBER, AND FORCE MAIN.



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PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

UTILITY PLAN

DATE: SEPTEMBER 2024 SCALE: 1"=20'

DWG. NAME: 2872-09-UTIL.dwg

NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

DRAWING NUMBER

C8

SHEET: 9 OF: 16



Prepared By :

[Back to Quick Links](#)

 Have questions? Call us at (800) 836-7000

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Part Number	Description
T39106	Wet Location Surface Conduit/Wiring box

NOTE:

- (IN FEET)
1 inch = 20 ft.

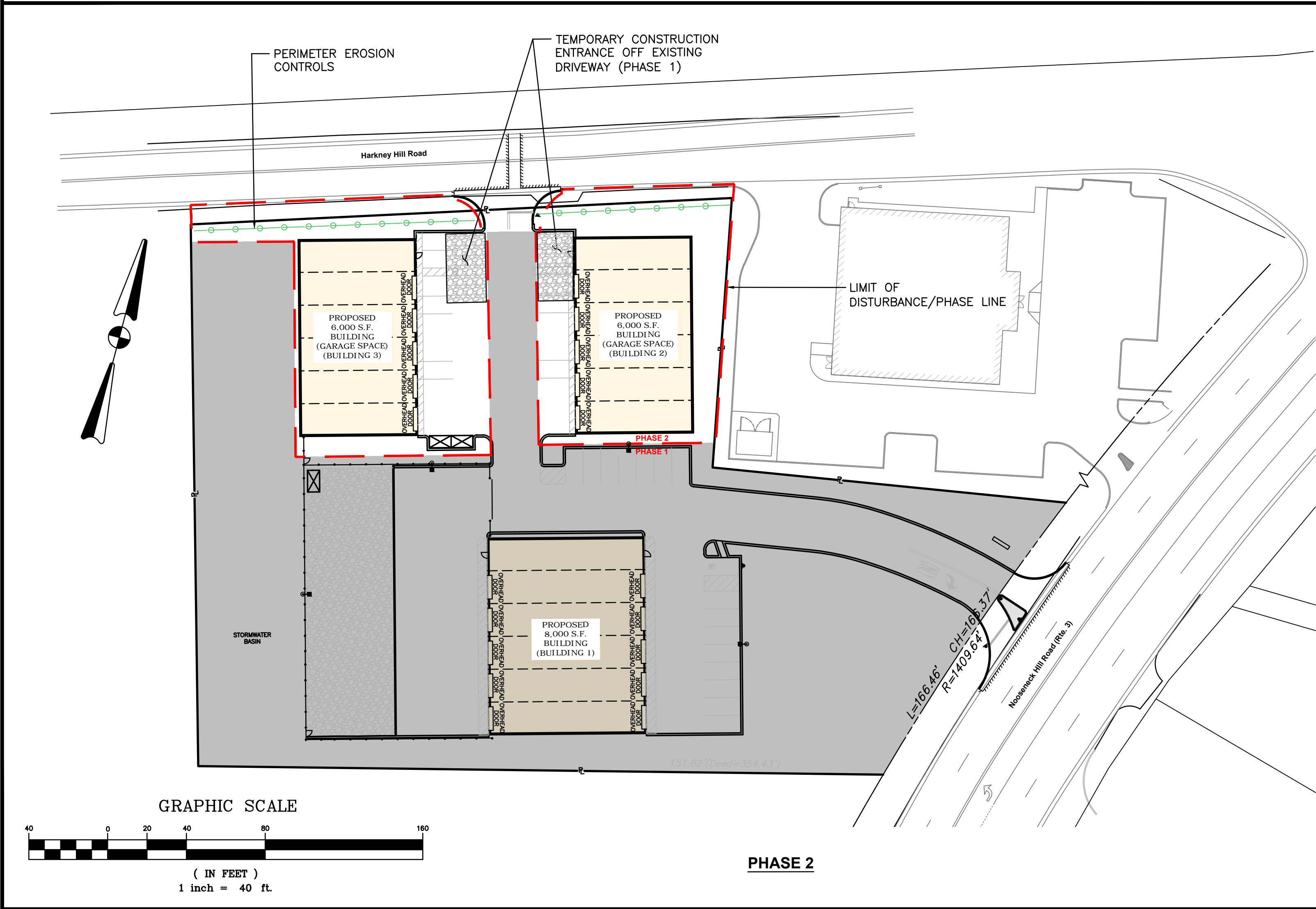
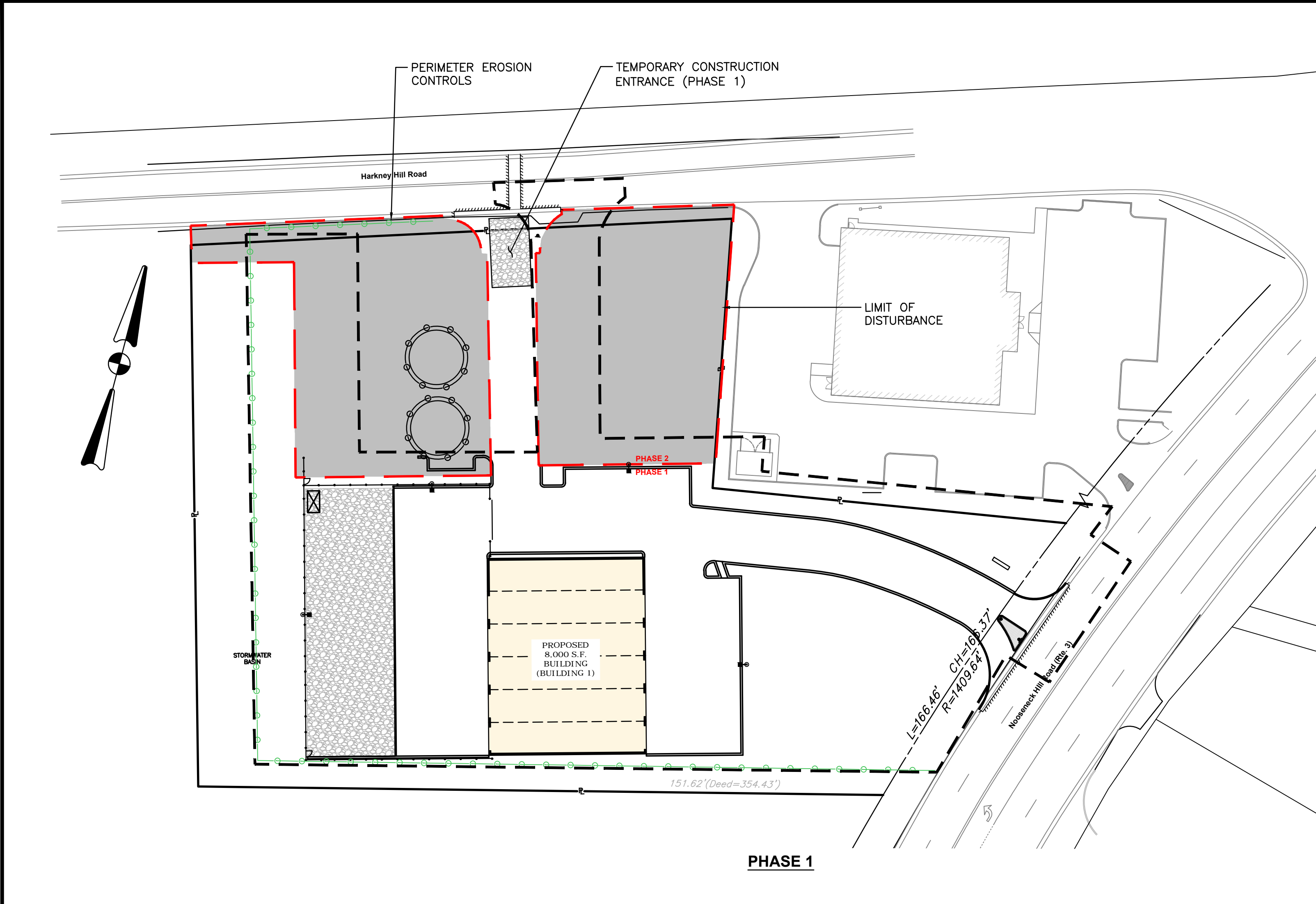


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REVISIONS

DRAWING NUMBER

SHEET 10 OF 16



DUST CONTROL NOTES

- ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:
- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKE FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
- THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

1. PRIOR TO COMMENCING GRUBBING OPERATIONS AND EARTHWORK, STRAW WATTLE SHALL BE PLACED INSIDE SAWCUT EDGE AND ALONG THE DOWNGRADIENT LIMIT OF DISTURBANCE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM, AND ABUTTING PROPERTIES AND THE CONTRACTOR SHALL INSTALL DRIPLINE TREE PROTECTION DEVICES ALONG THE PROPOSED TREELINE/EXISTING TREES TO REMAIN.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL STRAW WATTLE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

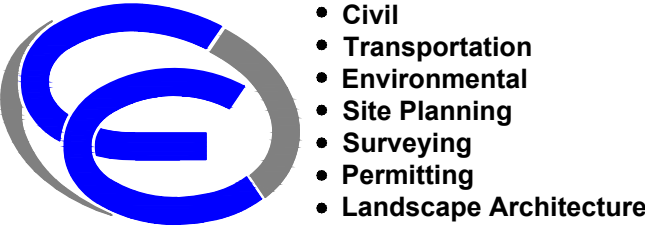
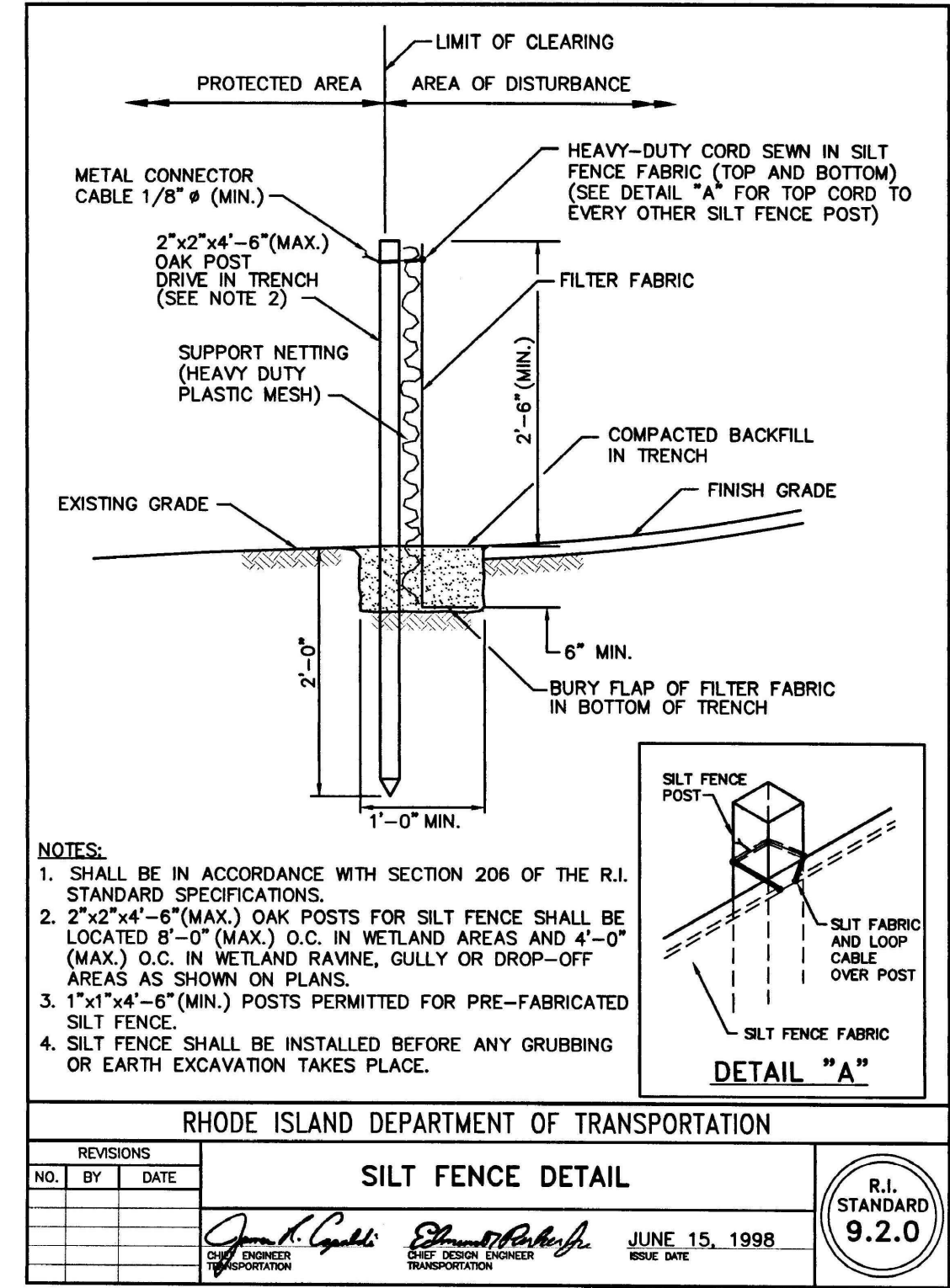
1. CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENT CONTROL PERMIT FROM THE TOWN ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK ONSITE; SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
2. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
3. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO SWEEP DAILY.
4. STRAW WATTLE (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
5. IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE TOWN OR ENGINEER DURING CONSTRUCTION.
6. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
7. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

LEGEND

- LIMIT OF DISTURBANCE
- PERIMETER SOIL EROSION AND SEDIMENT CONTROL MEASURE

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY, AND ROADWAYS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STRAW WATTLE, STAKED HAY BALES OR SILT FENCING.
5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
9. PROPOSED CATCH BASINS SHALL BE PROTECTED BY SILT SACKS.
10. THE STRAW WATTLE MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL STRAW WATTLE IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
11. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF STRAW WATTLE.
12. AN ALTERNATE COMPOST SOCK OR FILTER SOCK PRODUCT MAY BE USED IN LIEU OF STRAW WATTLE UPON APPROVAL OF THE ENGINEER.



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PROJECT TITLE:

PROPOSED COMMERCIAL CONTRACTOR UNITS

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

SOIL EROSION and SEDIMENT CONTROL PLAN

DATE: SEPTEMBER 2024 SCALE: 1"=40'

DWG. NAME: 2872-11-SOIL.dwg

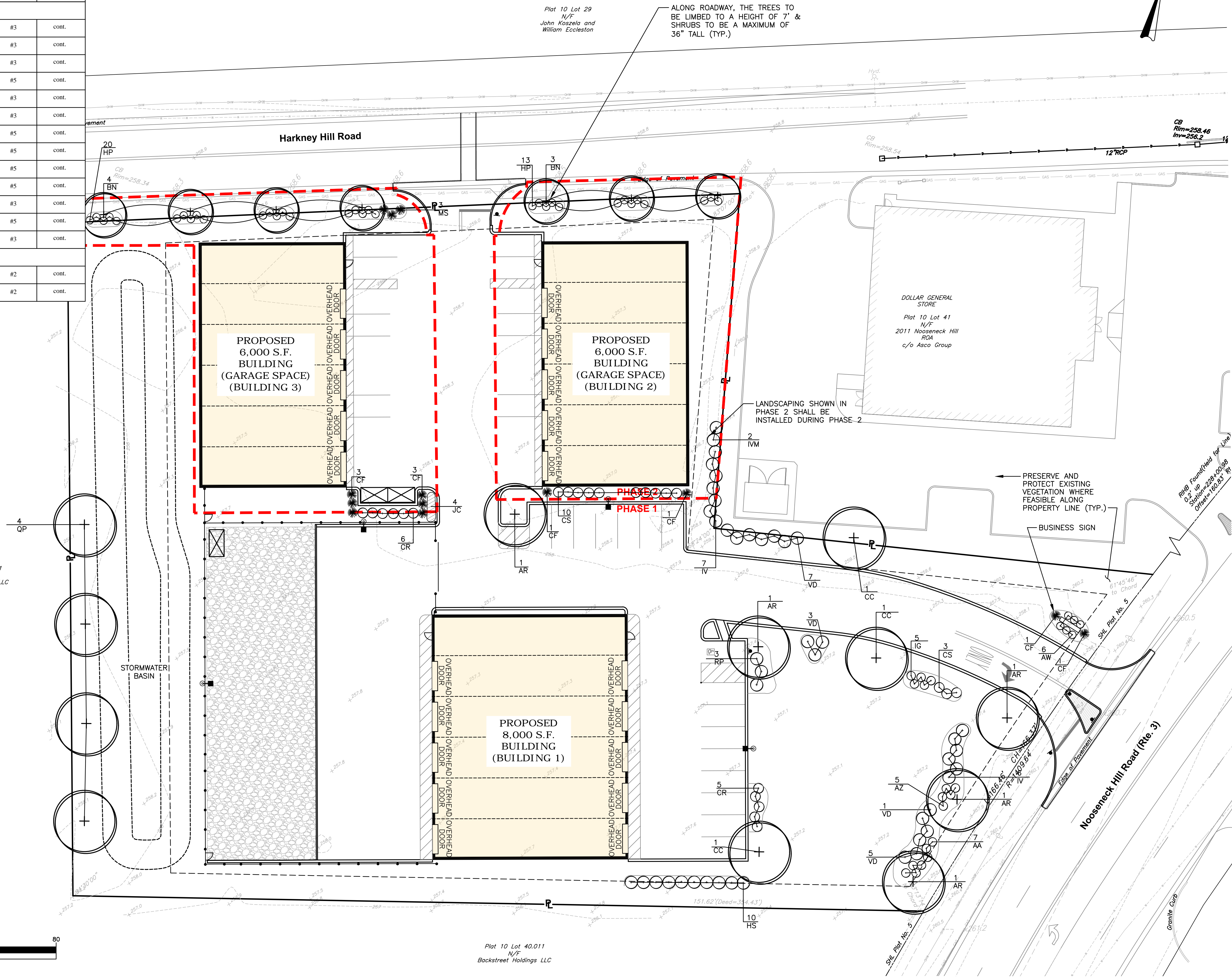
REVISIONS		
NUMBER	REMARKS	DATE
1	TRC Comments	10/16/24
2	Preliminary Submission	02/20/25
3	KCWA Submission	03/13/25

DRAWING NUMBER

C10

SHEET: 11 OF 16

TREES			
Key	Botanical Name <i>Common Name</i>	Size	Remarks
AR	Acer rubrum 'October Glory' <i>Red Maple</i>	2 - 2 1/2 " cal.	B & B
BN	Betula nigra clump 'Heritage' <i>River Birch</i>	10 - 12' ht.	B & B
CC	Cercis canadensis <i>Eastern Redbud</i>	2 - 2 1/2 " cal.	B & B
QP	Quercus palustris <i>Pin Oak</i>	2 - 2 1/2 " cal.	B & B
SHRUBS			
AZ	Azalea 'Rosebud' <i>Light Pink Azalea</i>	#3	cont.
AA	Azalea 'Encore Autumn Amethyst' <i>Dark Pink Re-Blooming Azalea</i>	#3	cont.
AW	Azalea 'Rebloom White Nobility' <i>White Re-Blooming Azalea</i>	#3	cont.
CF	Chamaecyparis pisifera 'Gold Mop' <i>Threadleaf Falsecypress</i>	#5	cont.
CA	Clethra alnifolia 'Ruby Spice' <i>Pink Summersweet</i>	#3	cont.
CR	Cornus sericea 'Farrow Arctic Fire' <i>Dwarf Redtwig Dogwood</i>	#3	cont.
CS	Hibiscus syriacus 'Minerva' <i>Rose of Sharon</i>	#5	cont.
HP	Hydrangea paniculata 'Quick Fire' <i>Pink Panicle Hydrangea</i>	#5	cont.
IG	Ilex glabra 'Gem Box' <i>Gem Box Inkberry</i>	#5	cont.
IV	Ilex verticata 'Sparkleberry' Female <i>Sparkleberry Winterberry</i>	#5	cont.
IVM	Ilex verticata 'Sparkleberry' Male <i>Male Winterberry</i>	#3	cont.
RP	Rhododendron 'PJM' <i>Lavender PJM Rhododendron</i>	#5	cont.
VD	Viburnum dentatum 'Blueberry Muffin' <i>Blueberry Muffin Arrowwood Viburnum</i>	#3	cont.
GROUNDCOVER			
JC	Juniperus chin. 'Procumbens' <i>Japanese Garden Juniper</i>	#2	cont.
MS	Miscanthus sinensis 'Yaku Jima' <i>Compact Maidenhair Grass</i>	#2	cont.



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PROJECT TITLE:

PROPOSED COMMERCIAL CONTRACTOR UNITS

**PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI**

PREPARED FOR

**ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886**

DRAWING TITLE

LANDSCAPE PLAN

DATE: SEPTEMBER 2024

SCALE:
1"=20'

DWC. NAME

2872-12-LAND.dwg

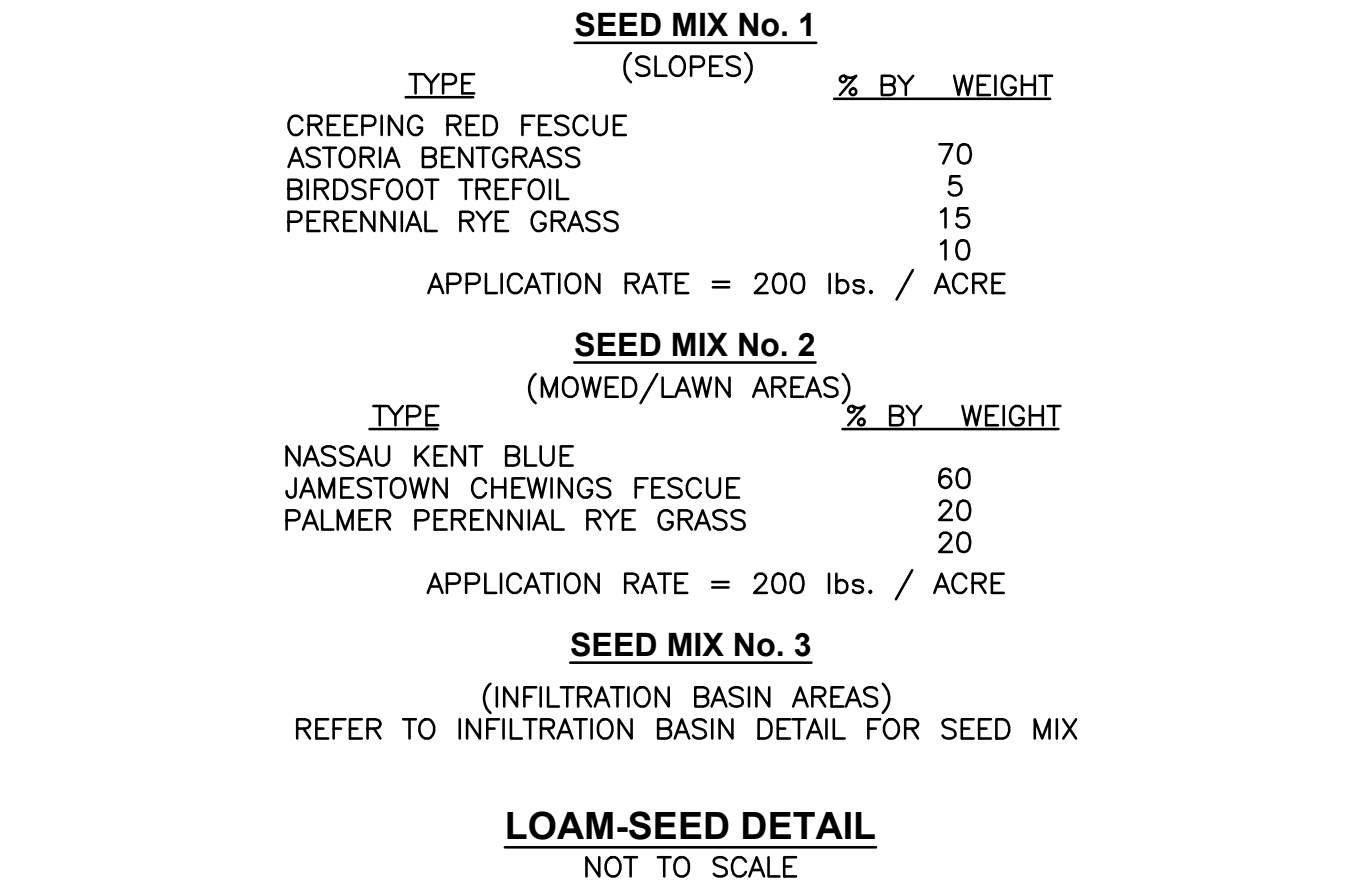
REVISIONS

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DRAWING NUMBER

L1

SHEET 12 OF 16



1. SOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL AREAS DESIGNATED ON PLANS.
2. SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
3. FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
4. LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DICING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
5. APPLICATION OF SEED:
 - A. RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - B. SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:
SPRING SEEDING: MARCH 15 TO MAY 31
FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - C. THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - D. DURING THIS PERIOD, WATER TURF TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
- E. OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
- F. REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- G. SEED:
 - a. SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:



1. FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
2. LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS.
3. NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
4. ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
5. SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING; FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
6. STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
7. WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
8. PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
9. FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
10. LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
11. MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
12. GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.
13. IF NEW TREES ARE PLANTED WITHIN THE ROADWAY RIGHT-OF-WAY OR COMMON AREAS, THE DECIDUOUS TREES SHALL BE 2.5" CALIPER OR GREATER AT THE TIME OF PLANTING.



**PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI**

ANDREW BARBER
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LANDSCAPE DETAILS

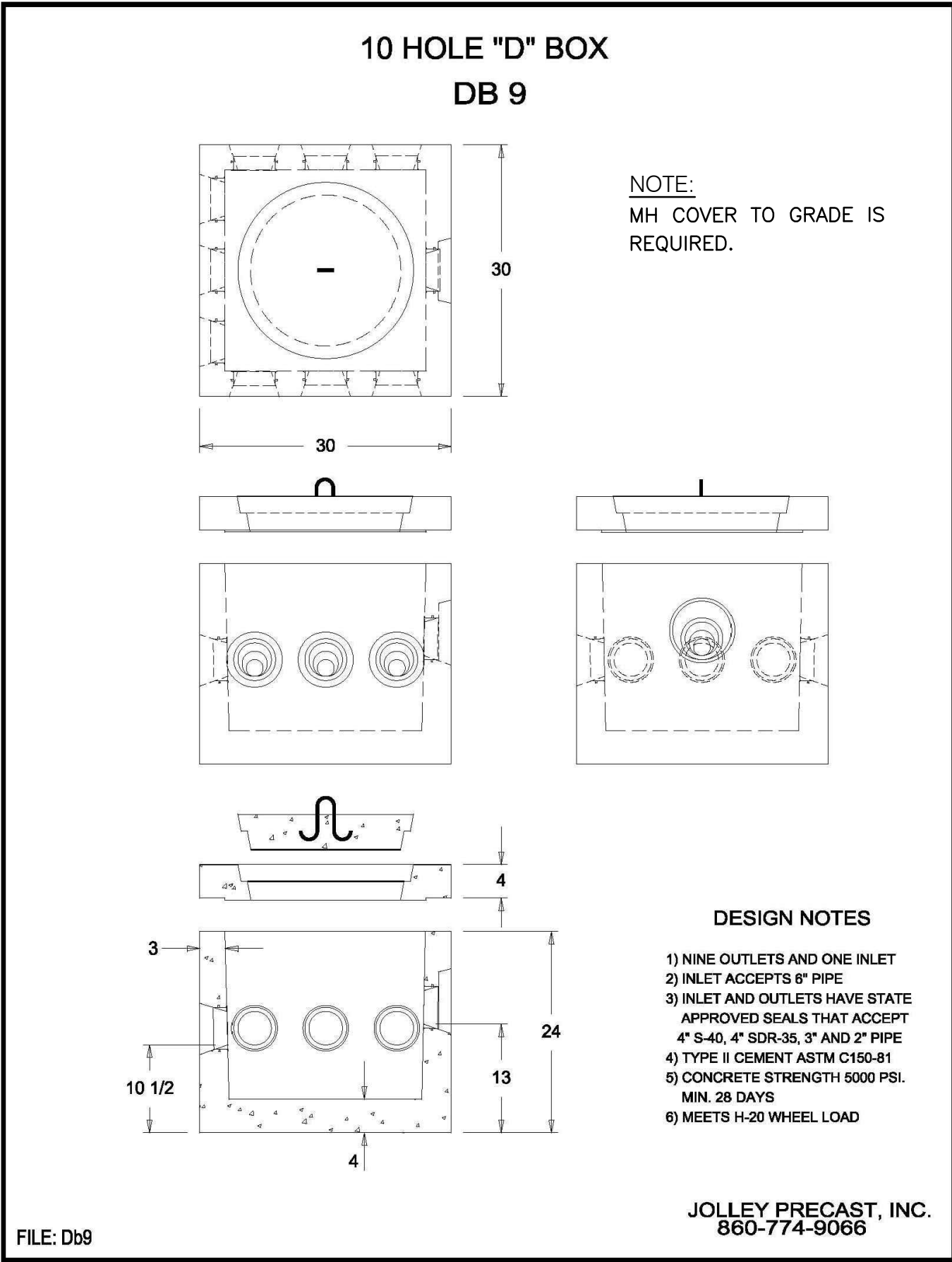
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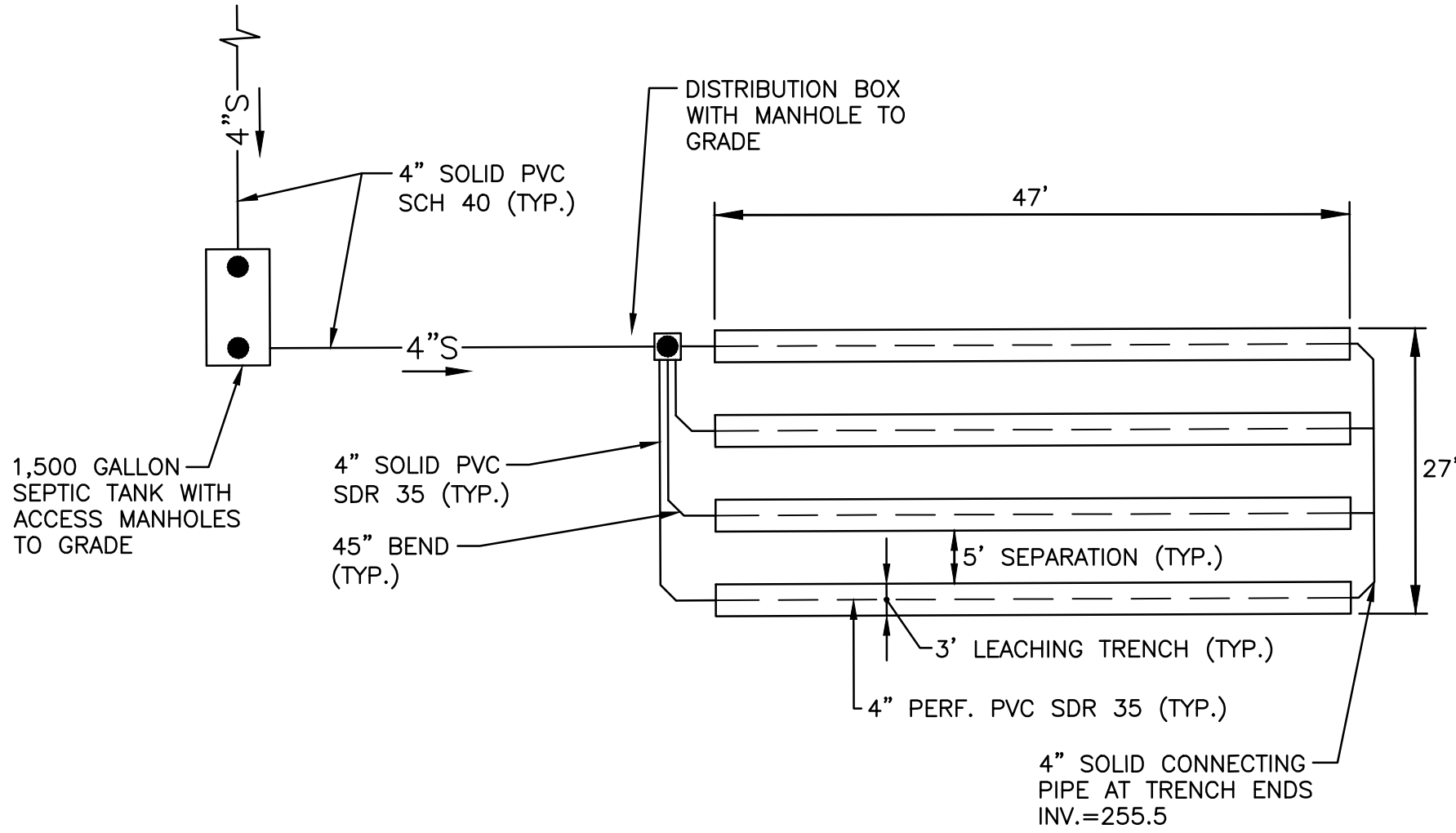
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SHEET. 13 OF 16



D-BOX DETAIL
NOT TO SCALE

NOTE:
ALTERNATE PRECAST MANUFACTURER MAY BE USED BUT WILL REQUIRE APPROVAL FROM ENGINEER PRIOR TO CONSTRUCTION.



LEACHING SYSTEM DETAIL
NOT TO SCALE

DESIGN FLOW:

USE	DESIGN UNITS	UNIT FLOW RATE (gpd/unit)	DESIGN FLOW(gpd)
COMMERCIAL/ CONTRACTOR UNITS	20 EMPLOYEES (PHASE 1)	15 GPD/EMPLOYEE	450 GPD
	10 EMPLOYEES (PHASE 2)		
	30 EMPLOYEES TOTAL		

SEPTIC TANK SIZING

TOTAL FLOW = 450 GAL.
REQUIRED TANK SIZE = 1,000 GALLON TANK
PROVIDED TANK SIZE = 1,500 GALLON TANK

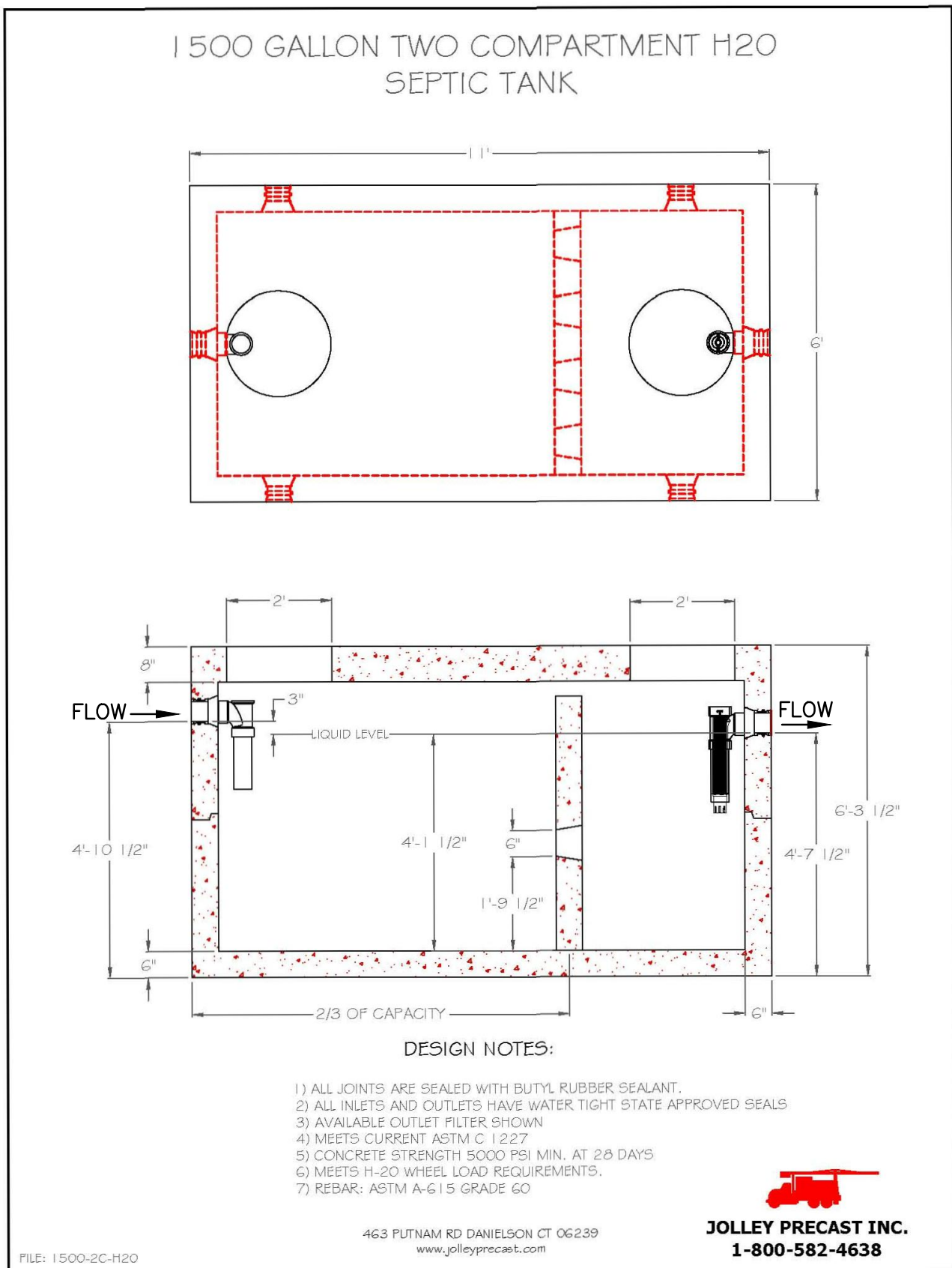
NOTE:
AN EFFLUENT SCREEN SHALL BE INSTALLED IN THE SEPTIC TANK.

LEACHING SYSTEM SIZING:
TYPE OF SYSTEM: TRENCH (6" STONE BELOW PIPE)
LOADING RATE = 0.61 GALS./S.F./DAY
MIN. LEACHING AREA REQUIRED = 450 GPD/0.61 GAL/S.F./DAY = 738 S.F.
TOTAL TRENCH LENGTH REQUIRED = (738 S.F.) / (4.2 S.F./L.F.) = 176 L.F.
TOTAL TRENCH LENGTH PROVIDED = 4 x 45' = 180 L.F.

PHASE NOTE
THE LEACHFIELD IS SIZED FOR PHASE 1 AND 2. WHEN PHASE 2 IS UNDER CONSTRUCTION, A NEW OWTS APPLICATION WILL BE REQUIRED FOR THE PHASE 2: BUILDING SEWER, SEPTIC TANK, PUMP CHAMBER AND PUMP AND FORCE MAIN.

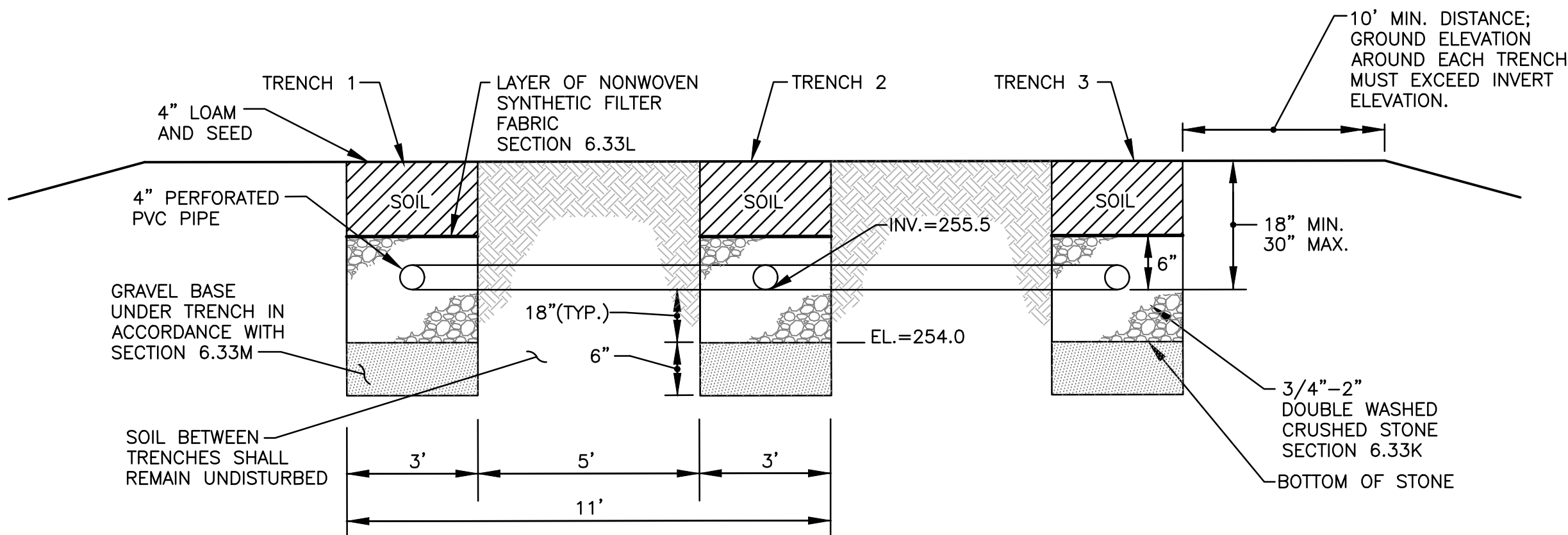
ONSITE WASTEWATER TREATMENT SYSTEM NOTES

1. REMOVE A HORIZON SOIL AND B HORIZON SOILS (Bw1, Bw2 & Bw3) AND ANY UNDESIRABLES FROM THE LEACH FIELD AREA AND FROM THE AREA 5' AROUND THE LEACH FIELD. REMOVE ALL TREES AND BRUSH AROUND SYSTEM PLUS (10) FEET. SOIL REMOVAL IS NOT ALLOWED IN THE WATER TABLE. A MINIMUM 5' OVER DIG AROUND THE LEACH FIELD IS REQUIRED. NO NATIVE A HORIZON, B HORIZON SOILS SHALL REMAIN BETWEEN ELJEN TRENCHES OR ELJEN UNITS.
2. NO VEHICULAR TRAFFIC IS ALLOWED ON LEACH FIELD.
3. THERE ARE NO KNOWN EXISTING WELLS WITHIN 200' OF THE SYSTEM AND THERE ARE NO KNOWN EXISTING OR PROPOSED PUBLIC WELLS WITHIN 500'.
4. MINIMUM ELEVATION OF TRENCH INVERT TO BE MAINTAINED WITHIN 10 FEET OF TRENCHES. INSTALL OWTS GRAVEL IN TRENCH AND ADJACENT TO TRENCHES TO ESTABLISH PROPOSED GRADES.
5. SURFACE RUNOFF TO BE DIVERTED FROM SYSTEM.
6. USE WATERTIGHT BOOT WITH STAINLESS STEEL CLAMP FOR SEPTIC TANK INLET AND OUTLET OPENINGS.
7. ONLY AFTER THE OWTS APPROVAL AND COORDINATION WITH THE DESIGN ENGINEER, THE LICENSED INSTALLER MUST FOLLOW THE R.I.D.E.M. "OWTS RULES AND REGULATIONS OUTLINED IN TITLE 250 - DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, CHAPTER 150 - WATER RESOURCES, SUBCHAPTER 10 - WASTEWATER & STORMWATER, PART 6 - RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS, 07/01/22."
8. NO KNOWN DRAINS, PROPOSED DRAINS OR UNDERDRAINS DISCHARGING INTO A SURFACE WATER SUPPLY ARE WITHIN 100' OF LEACH FIELD.
9. ALL DISTURBED AREAS ARE TO RECEIVE 4" OF LOAM & SEED, UNLESS OTHERWISE NOTED.
10. THERE ARE NO WETLANDS WITHIN 50' OF THE PROPOSED OWTS AND NO WETLANDS WITHIN 200' OF THE SITE. ALL KNOWN WATERCOURSES, WETLANDS, DRAINS AND STORMWATER MANAGEMENT SYSTEMS WITHIN 200' OF THE PROPOSED OWTS ARE SHOWN.
11. GARBAGE DISPOSAL GRINDERS ARE NOT ALLOWED FOR HOUSES.
12. THERE ARE NO PUBLIC SEWERS WITHIN 200' OF THE PARCEL.
13. THE SITE IS NOT WITHIN THE CRITICAL RESOURCE AREA AS DEFINED BY SECTION 6.42-6.45 OF THE OWTS RULES AND REGULATIONS. THE NEAREST CRITICAL RESOURCE AREA IS THE PROVIDENCE WATER SUPPLY PUBLIC WATERSHED IS APPROXIMATELY 2 MILES NORTH OF THE SITE.
14. THE SITE IS NOT WITHIN THE WATERSHED OF THE PUBLIC WATER SUPPLY AS DEFINED IN SECTION 6.44, AND DRAINS WITHIN THE VICINITY DO NOT DISCHARGE DIRECTLY OR INDIRECTLY TO A CRITICAL RESOURCE AREA IDENTIFIED IN SECTION 6.42.
15. NO OWTS CONSTRUCTION SHALL BEGIN UNTIL AUTHORIZED BY R.I.D.E.M. AND THE OWTS DESIGNER.
16. CONTRACTOR MUST NOTIFY ENGINEER 3 DAYS BEFORE START OF CONSTRUCTION
17. CONTRACTOR SHALL INSTALL AN 8" GRAVEL OR CRUSHED STONE LEVELING PAD UNDER THE SEPTIC TANK AND D-BOX.
18. CONTRACTOR SHALL PROVIDE WATER TIGHT CERTIFICATES FOR THE SEPTIC TANK AND D-BOX.
19. PRIOR TO PURCHASE, THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR THE D-BOX, SEPTIC TANK, GRAVEL AND PIPE FOR APPROVAL
20. AT THE TIME OF PHASE 2 CONSTRUCTION, A SEPARATE OWTS APPLICATION WILL BE REQUIRED FOR THE PHASE 2 COMPONENTS, INCLUDING THE PHASE 2 BUILDING SEWER, SEPTIC TANK, PUMP CHAMBER, PUMP AND FORCE MAIN.

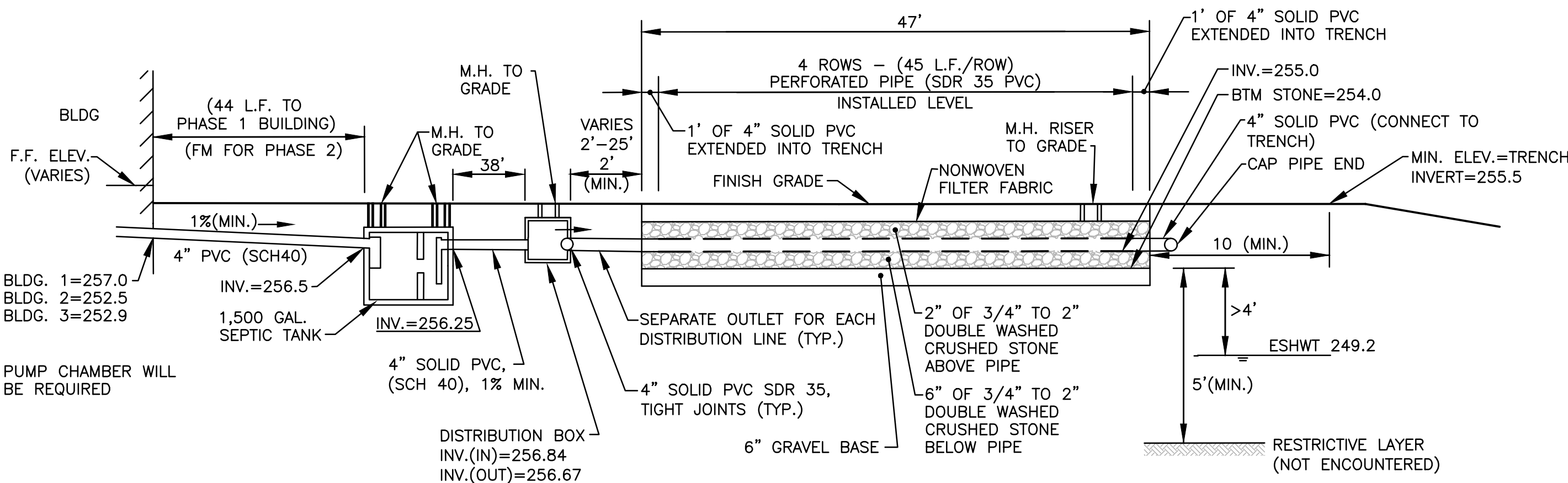


SEPTIC TANK DETAIL
NOT TO SCALE

- NOTES:
1. ALTERNATE PRECAST MANUFACTURER MAY BE USED BUT WILL REQUIRE APPROVAL FROM ENGINEER PRIOR TO CONSTRUCTION.
 2. INLET TEE SHALL EXTEND DOWNWARD AT LEAST 1' BELOW FLOW LINE.
 3. OUTLET TEE SHALL EXTEND DOWNWARD 1/3 THE DEPTH OF THE FLOW LINE.



TYPICAL TRENCH CROSS SECTION
NOT TO SCALE



TYPICAL SYSTEM PROFILE
NOT TO SCALE

CROSSMAN ENGINEERING

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PROJECT TITLE:

**PROPOSED COMMERCIAL
CONTRACTOR UNITS**

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886

DRAWING TITLE:

**MISCELLANEOUS
DETAILS PLAN No. 1**

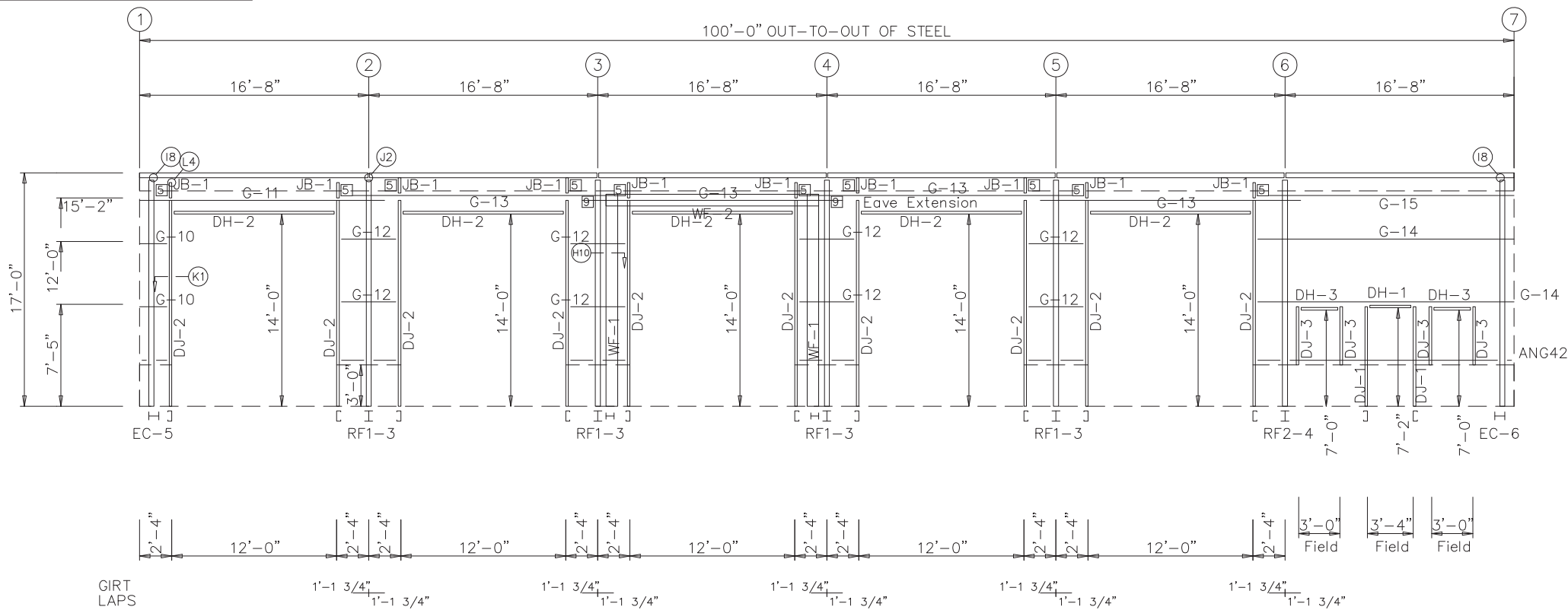
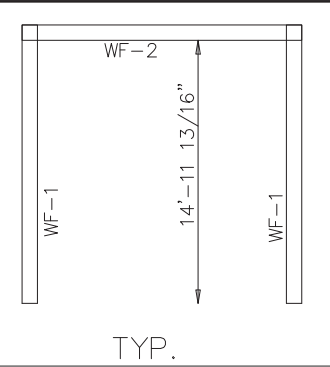
DATE: SEPTEMBER 2024 SCALE: AS SHOWN

DWG. NAME: 2872-14-DET01.dwg

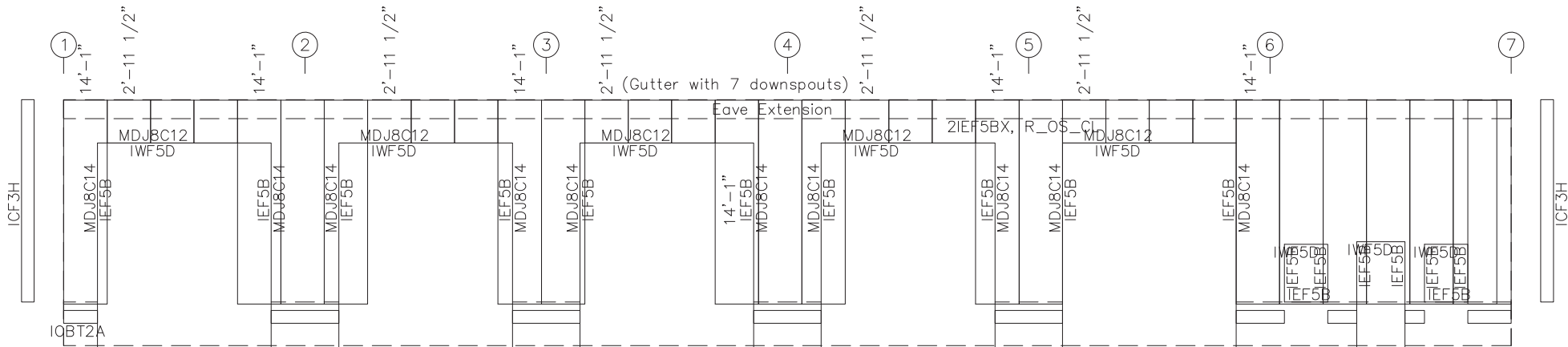
REVISIONS	NUMBER	REMARKS	DATE
1	TRC Comments		10/16/24
2	Preliminary Submission		02/20/25
3	KWA Submission		03/13/25

DRAWING NUMBER

C11.1
SHEET: 14 OF 16



SIDEWALL FRAMING: FRAME LINE A



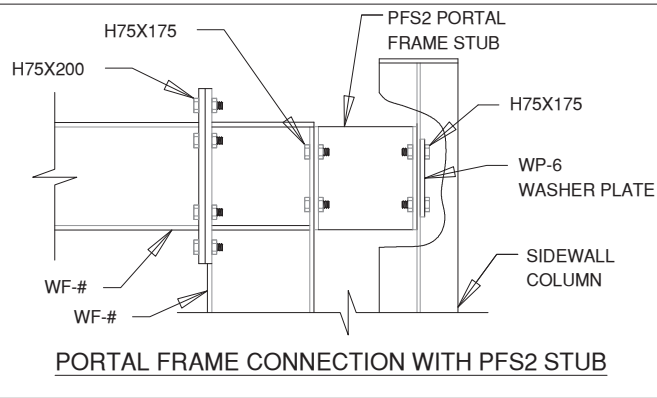
SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Ga. R - Slate Blue

BOLT TABLE				
FRAME LINE A				
LOCATION		QUAN	TYPE	DIA
WF-1 - WF-2		8	A325	3/4"
WF-1 - RF1-3		8	A325	3/4"

MEMBER TABLE			
FRAME LINE A			
QUAN	MARK	PART	LENGTH
2	WF-1	W10X22	15'-10"
1	WF-2	W10X22	13'-6 1/8"
2	DJ-1	08X35C16	7'-4 3/4"
10	DJ-2	08X35C16	15'-1 3/4"
4	DJ-3	08X35C16	4'-4 3/4"
1	DH-1	08X30C16	3'-4"
5	DH-2	08X35C16	12'-0"
2	DH-3	08X30C16	3'-0"
2	G-10	08X25Z16	2'-0"
1	G-11	08X25Z16	17'-9 1/2"
8	G-12	08X25Z16	4'-0 1/2"
4	G-13	08X25Z16	18'-11 1/2"
2	G-14	08X25Z16	18'-8"
1	G-15	08X25Z16	17'-9 1/2"
10	JB-1	08X35C16	1'-0 3/4"

CONNECTION PLATES			
FRAME LINE A			
ID	QUAN	MARK	PART
3	6	c1	
5	10	JC	
9	2	PFS2	



PORTAL FRAME CONNECTION WITH PFS2 STUB

DRAWING IS NOT TO SCALE

TRIM COLORS			
EAVE TRIM	= Arctic White	CORNER TRIM	= Arctic White
BASE TRIM	= Slate Blue	GUTTER	= Arctic White
DOOR TRIM	= Arctic White	DOWNSPOUTS	= Arctic White
RAKE TRIM	= Arctic White		
* LINER TRIM	= Liner panel color		
* SOFFIT TRIM	= Soffit panel color		
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.			



ANDREW BARBER

80'-0" x 100'-0" x 17'-0"

DATE: 4/10/24

REVISION: 0

ENG: MQZ DWN: BJC APPD: CJA

F.O. 28449

ANDREW BARBER

DRAWING STATUS

FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

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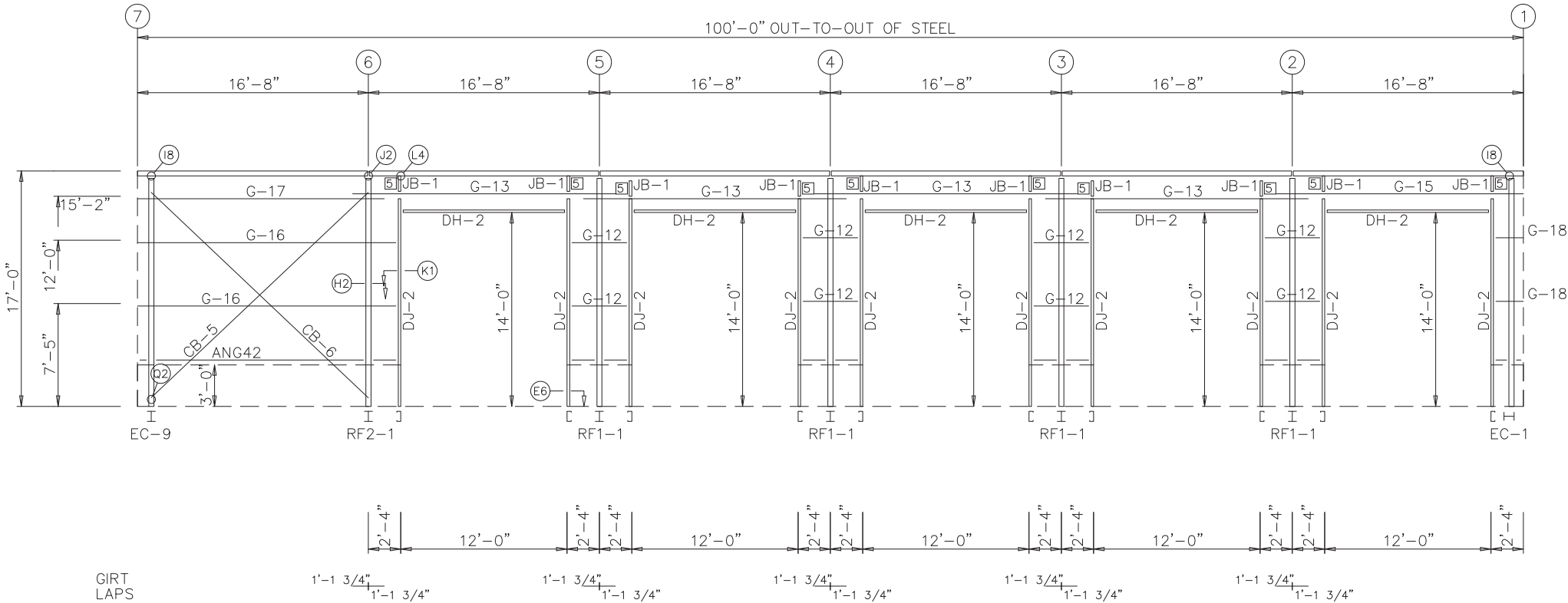
FOR CONSTRUCTION: FINAL DRAWINGS.

MINGQIAO ZHU

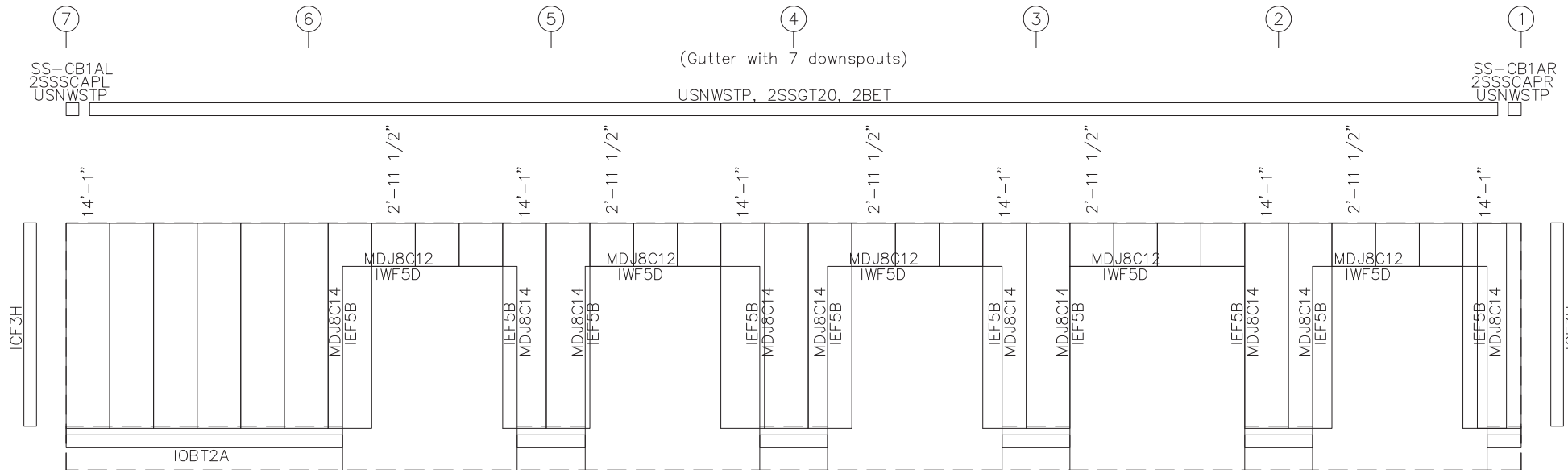


REGISTERED PROFESSIONAL ENGINEER (Civil)

04/19/2024



SIDEWALL FRAMING: FRAME LINE E



SIDEWALL SHEETING & TRIM: FRAME LINE E

PANELS: 26 Ga. R - Slate Blue

MEMBER TABLE			
FRAME LINE E			
QUAN	MARK	PART	LENGTH
10	DJ-2	08X35C16	15'-1 3/4"
5	DH-2	08X35C16	12'-0"
8	G-12	08X25Z16	4'-0 1/2"
4	G-13	08X25Z16	18'-11 1/2"
1	G-15	08X25Z16	17'-9 1/2"
2	G-16	08X25Z16	18'-8"
1	G-17	08X25Z16	17'-9 1/2"
2	G-18	08X25Z16	2'-0"
1	CB-5	CABLE500	19'-3 5/16"
1	CB-6	CABLE500	18'-9 5/8"
10	JB-1	08X35C16	1'-0 3/4"

CONNECTION PLATES		
FRAME LINE E		
ID	QUAN	MARK / PART
5	10	JC



ANDREW BARBER

80'-0" x 100'-0" x 17'-0"

DATE: 4/10/24 REVISION: 0

ENG: MQZ DWN: BJC APPD: CJA

F.O. 28449

ANDREW BARBER

CITY: COVENTRY		ST / PV: RI
REVISION HISTORY		DATE
REV.	DESCRIPTION	
DRAWING STATUS		
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FOR CONSTRUCTION: FINAL DRAWINGS.		

MINGQIAO ZHU

REGISTERED
PROFESSIONAL ENGINEER
(Civil)

04/19/2024

DRAWING IS NOT TO SCALE

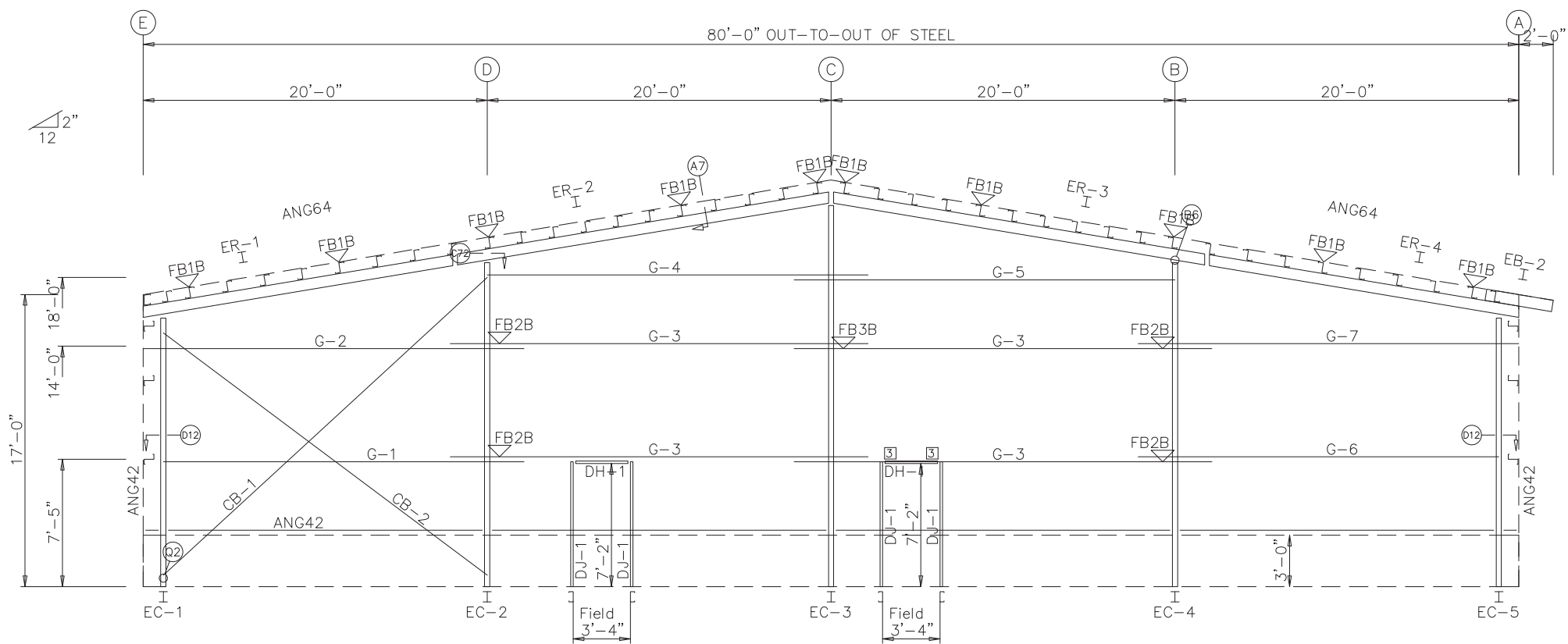
TRIM COLORS

EAVE TRIM	= Arctic White	CORNER TRIM	= Arctic White
BASE TRIM	= Slate Blue	GUTTER	= Arctic White
DOOR TRIM	= Arctic White	DOWNSPOUTS	= Arctic White
RAKE TRIM	= Arctic White		

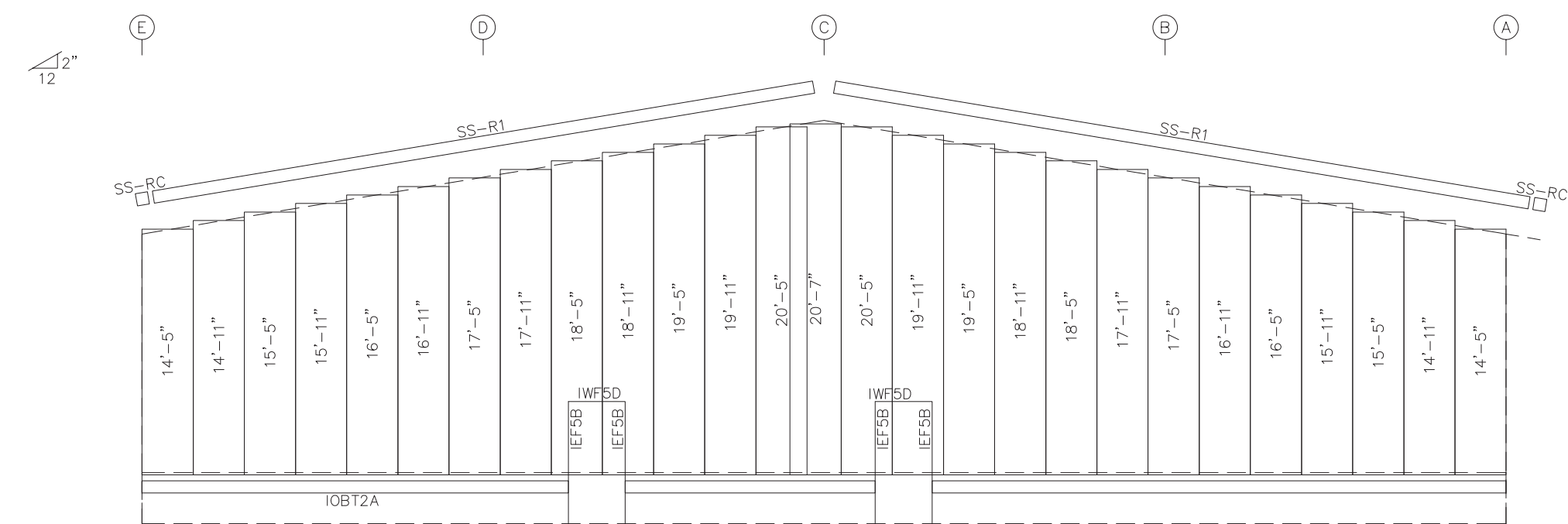
* LINER TRIM = Liner panel color
* SOFFIT TRIM = Soffit panel color
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. R - Slate Blue

BOLT TABLE				
FRAME LINE 1				
LOCATION		QUAN	TYPE	DIA
ER-1/ER-2		8	A325	1/2"
ER-2/ER-3		8	A325	1/2"
ER-3/ER-4		8	A325	1/2"
Cor_Column/Raf		2	A325	3/4"
EC-2/ER-2		2	A325	3/4"
EC-3/ER-3		2	A325	1/2"
EC-4/ER-3		2	A325	3/4"

MEMBER TABLE			
FRAME LINE 1			
QUAN	MARK	PART	LENGTH
1	EB-2	W8X10	3'-1 11/16"
1	EC-1	W10X12	15'-9 1/2"
1	EC-2	W10X12	18'-11 1/8"
1	EC-3	W10X22	22'-0 3/4"
1	EC-4	W10X12	18'-11 1/8"
1	EC-5	W10X12	15'-9 1/2"
1	ER-1	W8X10	18'-4 5/8"
1	ER-2	W8X10	22'-2"
1	ER-3	W8X10	22'-2"
1	ER-4	W8X10	18'-4 5/8"
4	DJ-1	08X35C16	7'-4 3/4"
2	DH-1	08X30C16	3'-4"
1	G-1	08X25Z16	21'-5 1/2"
1	G-2	08X25Z16	22'-1 1/2"
4	G-3	08X25Z16	24'-3 1/2"
1	G-4	08X25Z16	22'-3 1/2"
1	G-5	08X25Z16	22'-3 1/2"
1	G-6	08X25Z16	21'-5 1/2"
1	G-7	08X25Z16	22'-1 1/2"
1	CB-1	CABLE250	23'-11 7/16"
1	CB-2	CABLE250	21'-11 3/16"

CONNECTION PLATES		
FRAME LINE 1		
ID	QUAN	MARK/PART
3	4	c1

FLANGE BRACE TABLE		
FRAME LINE 1		
ID	MARK	LENGTH
1	FB1B	1'-2 3/8"
2	FB2B	1'-3 5/8"
3	FB3B	1'-3 3/4"

DRAWING IS NOT TO SCALE

TRIM COLORS			
EAVE TRIM	= Arctic White	CORNER TRIM	= Arctic White
BASE TRIM	= Slate Blue	GUTTER	= Arctic White
DOOR TRIM	= Arctic White	DOWNSPOUTS	= Arctic White
RAKE TRIM	= Arctic White		
* LINER TRIM	= Liner panel color		
* SOFFIT TRIM	= Soffit panel color		
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.			

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. See detail C7A for field coping of coldform endwall column flange braces.
3. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).



ANDREW BARBER

80'-0" x 100'-0" x 17'-0"

DATE: 4/10/24

REVISION: 0

ENG: MQZ DWN: BJC APPD: CJA

F.O. 28449

ANDREW BARBER

DRAWING STATUS

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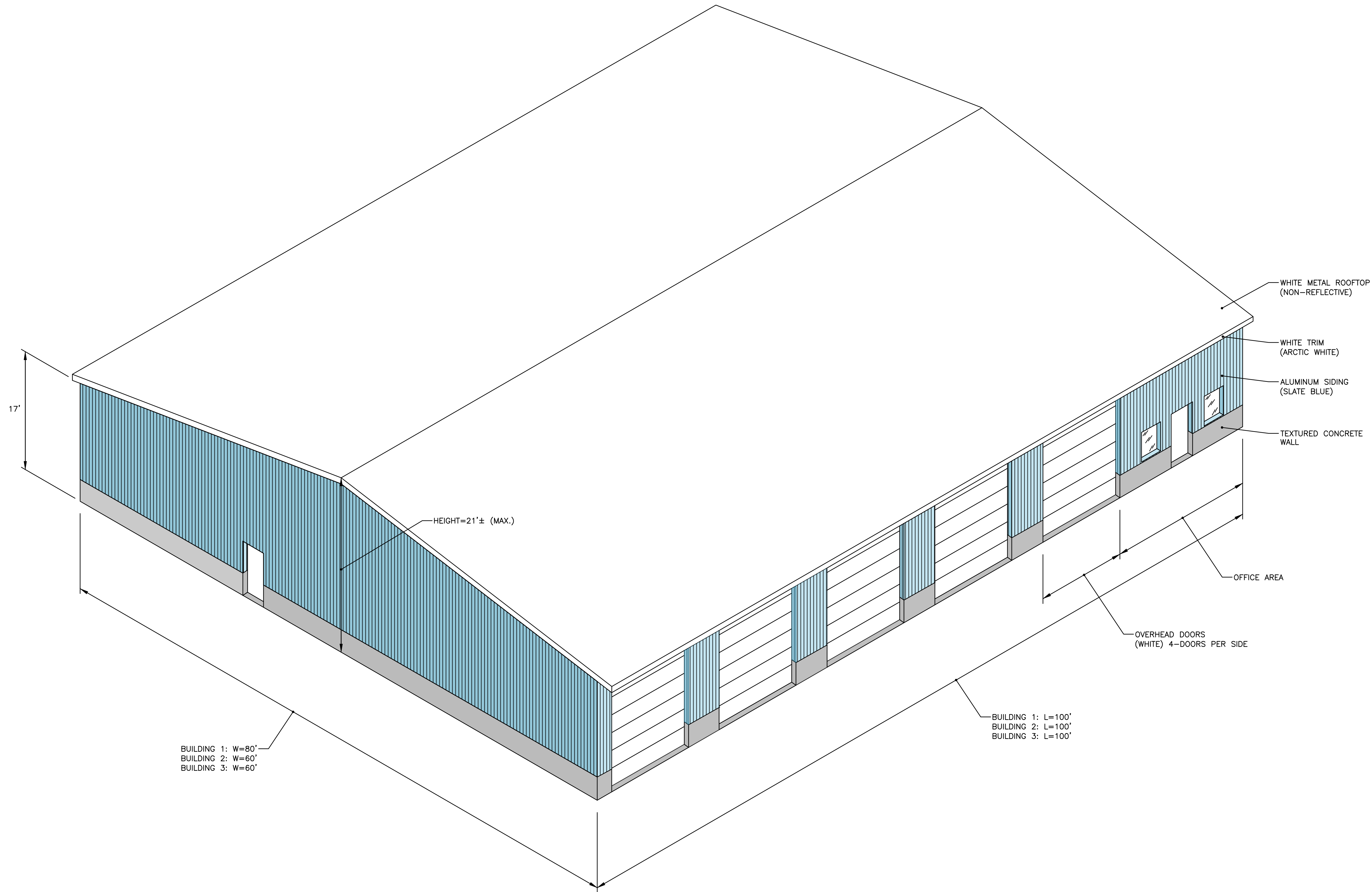
FINAL DRAWINGS.

MINGQIAO ZHU



REGISTERED PROFESSIONAL ENGINEER (Civil)

04/19/2024



PROPOSED BUILDING RENDERING
NOT TO SCALE



CROSSMAN ENGINEERING

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KEY PLAN

PROJECT TITLE:

**PROPOSED COMMERCIAL
CONTRACTOR UNITS**

PLAT MAP 10 LOT 42
ZONING DISTRICT GB1
GENERAL BUSINESS
1 ACRE DISTRICT
71 HARKNEY HILL ROAD
COVENTRY, RI

PREPARED FOR:

**ANDREW BARBER
P.O. BOX 7090
WARWICK, RI 02886**

DRAWING TITLE:

**BUILDING
ISOMETRIC VIEW**

DATE:

DECEMBER 2024

SCALE:

NO SCALE

DWG. NAME:

2872-ISOMETRIC.dwg

REVISIONS

△

NUMBER

REMARKS

DATE

DRAWING NUMBER

C1

SHEET: 1 OF 1